#### TOWN OF BROOKLYN PLANNING AND ZONING COMMISSION Special Meeting Agenda Tuesday, September 19, 2023 6:30 p.m.

#### **3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

#### **MEETING LOCATION:**

Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CTClick link below:OrGo to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a><a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a>OrGo to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a>Dial: 1-646-558-8656Enter meeting ID: 847 6556 4828, then press #, Press # again to enter meeting

- I. Call to Order
- II. Roll Call
- III. Seating of Alternates
- **IV.** Adoption of Minutes: Meeting August 15, 2023
- V. Public Commentary
- VI. Unfinished Business:
  - a. Reading of Legal Notices:
  - b. Continued Public Hearings: None.
  - c. New Public Hearings:
    - 1. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
    - 2. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
    - 3. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.
  - d. Other Unfinished Business:
    - 1. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
    - 2. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
    - 3. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver
    - 4. **SD 23-001:** Two-lot subdivision including 3 acres on Day Street (Map 43/Lot 6), Applicant: Jeff Weaver.

#### VII. New Business:

- a. Applications:
  - 1. **SP 23-005:** Special Permit for sit-down café and restaurant (tea, beverages, ice cream, baked goods, soup, sandwiches), retail gift shop and catering at 8 Wolf Den Road, Applicant: Creamery Tea House, Owner: Julie MacCormack.
  - 2. **SPR 21-004mod:** Site Plan modification for ground-mounted solar panels at 5 Front Street and 29 Tiffany Street, 1.8 acres, R-10 Zone, Applicant: CHIP Fund 6 LLC & CHIP Fund 8 LLC.
  - 3. **ZRC 23-006:** Modification to Appendix 10.D: Floodplain Management Regulations of the Floodplain Overlay Zone/ (FEMA/NFIP), Applicant: PZC.
- b. Other New Business:
  - 1. Discussion of potential subdivision on Old Tatnic Hill Road.

#### VIII. Reports of Officers and Committees

- IX. Public Commentary
- X. Adjourn

Michelle Sigfridson, Chairman

#### TOWN OF BROOKLYN PLANNING AND ZONING COMMISSION Special Meeting Tuesday, August 15, 2023 6:30 p.m.

#### **3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

MEETING LOCATION:							
Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT							
Click link below:		Go to https://www.zoom.us/join					
https://us06web.zoom.us/j/84765564828	or	Enter meeting ID: 847 6556 4828					
Dial: 1-646-558-8656							
Enter meeting number: 847 6556 4828, the	n press	#, Press # again to enter meeting					

#### **MINUTES**

- I. Call to Order Carlene Kelleher, Acting Chair, called the meeting to order at 6:36 p.m.
- II. Roll Call Carlene Kelleher, Allen Fitzgerald, Lisa Herring, Seth Pember, Gil Maiato, Michelle Sigfridson arrived at 6:40 p.m. (all present in person). John Haefele was absent with notice. Brian Simmons and Karl Avanecean were absent.

Staff Present (in person): Jana Roberson, Town Planner and Director of Community Development; Austin Tanner, First Selectman (arrived at 6:40 p.m.).

**Also Present in Person:** Peter Parent, P.E., CHA; Bill Couture; Attorney Daniel Brennan; Mindy Delp; J.S. Perreault, Recording Secretary. There were two additional people seated in the audience.

Present via Zoom: Steve Townsend; Sharon Loughlin; Bob Kelleher.

- **III.** Seating of Alternates None.
- IV. Adoption of Minutes: Meeting August 2, 2023

Motion was made by A. Fitzgerald accept the Minutes of the Special Meeting of August 2, 2023, as presented.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (5-0-0). M. Sigfridson was not present at the time of this vote.

#### V. **Public Commentary** – None.

#### VI. Unfinished Business:

a. Reading of Legal Notices:

Legal Notice for SP 15-006 mod, SP 22-006, and ZRC 23-005/ZC 23-002/SRC 23-001, published August 2, 2023 and August 9, 2023.

- b. Continued Public Hearings: None.
- c. New Public Hearings:
  - 1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

C. Kelleher opened the public hearing.

Peter Parent, P.E., CHA, represented the Applicant. Steve Townsend was present via Zoom. Bill Couture (developer) and Attorney Daniel Brennan were also present regarding this Application.

Mr. Parent gave an overview (plans were displayed as discussed):

- This is a modification of the rear half of the CVS/Hometown Bank site for which they have been before the PZC several times.
- They had previously come before the Commission to add self-storage as an allowed use in the Zone.
- This is similar to what had been previously proposed. The conceptual layout is for two buildings for self-storage on the east side (behind McDonalds) and continuing with the previously-proposed commercial use on the west side.
- Mr. Parent displayed and explained sheet #3 of the plans. They intend to keep the existing parking around the existing spa and medical office building, expanding that parking as was previously proposed in the development plan that had the large commercial building which they are keeping, essentially, the same with a small bump-out and extended area, parking in front and in the rear, and loading dock on the side. The self-storage would be a contained area with a perimeter fence for security, paved drive isles, and doors on all four sides for access.
- Drainage (sheet #5 of the plans) All of the existing parking and roof area is collected by an existing drainage system, discharged through a water-quality treatment unit and then discharged to the wetlands to the west. All of the new development area will be collected by a separate systems of catch basins and discharged through an additional water-quality treatment unit and discharge to the water-quality swale to the north.

Mr. Parent explained that the previous owner had entered into an agreement with the Town of Brooklyn and allowed the Town to construct a serpentine water-quality swale on the west side of the property and there is more linear water-quality swale on the north side of the property, in exchange for the development on this property not having to provide on-site detention for peak flows. Mr. Parent stated that they are providing water-quality in compliance with that agreement, but they are not providing any on-site detention for peak flows.

- Landscaping (sheet #7 of the plans) The intensive Landscaping Plan is in accordance with the Regulations. They are swapping out an invasive species with another species as suggested by J. Roberson.
   Mr. Parent explained that an existing landscape berm that had been installed with one of the previous construction projects will remain and is to be expanded to the east. He indicated where plantings would be.
- Mr. Parent said that this proposal is very similar to what had been previously approved.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION:**

• L. Herring asked if they are only doing the self-storage at this time, not the commercial building. She asked if there is office space in the storage buildings.

Mr. Parent explained that the self-storage has an interested developer and that they are still seeking tenants for the commercial space. When they find a tenant, they would do that portion.

Bill Couture, the developer, explained that they would make an office out of one of the 5' x 10' storage units near the gate entrance. It won't be

a manned facility with office hours. It will have a swinging door and there will be a slot where people can drop their payments. Most of the self-storage industry is transacted online. There will be very minimal foot traffic at the site

• C. Kelleher asked if all of Syl Pauley's comments have been resolved. J. Roberson stated that they have and she referred to an email from Mr. Pauley to Margaret Washburn (dated August 7, 2023) in which he states that all of his comments had been addressed and that the plans were revised accordingly. Ms. Roberson explained that this Application has been reviewed by the IWWC and that Mr. Pauley's comments were from an engineering perspective that involved a lot of review of the previous approval, the drainage, Stormwater Management Regulations and whether and how they are being met, and he is satisfied.

Steve Townsend commented about his confidence in the experience of Mr. Couture who owns/operates self-storage facilities. He asked that Mr. Couture comment about how he operates his existing facilities and how he views this site in Brooklyn.

Mr. Couture explained how he and his wife operate their two facilities (one in Putnam and one in Plainfield). He has been in the business for five years. He stated that he is a commercial loan officer and has multiple borrowers who have self-storage facilities. His wife, Kim, is the day-to-day operations manager. They have taken older style facilities and brought them up to date with technology (upgraded security systems/ability to rent units through your phone). He said that there is still a demand for self-storage in Town. Mr. Couture explained that a 100-unit facility is proposed and he said that it would be very low impact as he expects an average 2-3 car count per day, once it is stabilized. He feels that it will be a successful site and that it would work well in the proposed area.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

• **A. Fitzgerald** asked if the lighting is dark-sky compliant. Ms. Roberson explained that there is a lighting plan and that it is LED lighting with full cut-off fixtures (detail is on sheet #8 of the plans).

#### **QUESTIONS/COMMENTS FROM THE PUBLIC:**

- **Robert Ross,** Plaza Street, spoke about drainage concerns and asked who would be liable for washouts or erosion. He said that it is a Townmaintained swale and the Town only goes in there once every few years. He suggested putting a pipe into the retention pond to hold it back a little bit more, rather than letting it free-flow into the 4-foot channel. He feels that there should be some kind of protection for the neighborhood. Mr. Parent explained that the swale is slated to be maintained a little more regularly than it has been.
- **Dawn Merchant**, 33 Plaza Street, explained that she is very concerned about the drainage because it gets to be like a pond in the back of her house.

Mr. Parent indicated on the plan and explained about the designed waterquality swale along the back of Ms. Merchant's property which, by design, fills up with water when it rains. He explained that there is a great deal of area that discharges to it, but it was included in the original design calculations by J&D. They accommodated for this property to be developed when they designed both of the swales and the way that the agreement was written, between the Town and the previous owner, was that they had the right to discharge from their development into those swales. So, the Applicant is trying to provide the water quality per that agreement and are discharging in as safe a way as possible. He explained that the have an erosion control outlet designed per State standards, very shallow pipe, low velocities. They are doing what the can for the potential for erosion and are providing the water-quality treatment.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- **A. Fitzgerald** asked if anyone has as-built that swale.
  - Mr. Parent explained that it had been several times.
  - Ms. Roberson stated that there is an as-built as it exists.

Mr. Parent stated that he does not believe that there are contour lines on the current existing conditions plan, but they have surveyed it in the past. Mr. Parent explained and indicated that it is grown in with vegetation and there is some maintenance that needs to be done, but nothing has moved considerably.

Mr. Tanner asked about Mr. Parent's earlier comment about maintenance and asked who is to maintain it.

Mr. Parent explained that it is the Town's responsibility to maintain it. Mr. Tanner asked if they had checked with the Town.

Mr. Parrent stated that they had several conversations and that the IWWC is going to encourage the Town to maintain it more regularly. He, again, explained about the agreement and how the two water-quality swales were designed as an overall project to improve the water quality of the Quinebaug River. The serpentine swale takes the discharge from Route 6 and the linear swale takes a good portion of the Ocean State Job Lot parking lot into it and it all funnels into the wetland at the end of Plaza Street, then all of that water makes its way towards Day Street and the River.

• L. Herring asked Ms. Merchant about what happens behind her property.

Ms. Merchant explained that she has photos of her yard, basement and garage, but she did not have them with her. She said that she had been told that it is the Town's problem and she has not received any help. Ms. Roberson displayed sheet #2 of the plans and indicated the riprap, berm, existing fence and Ms. Merchant's house.

• **G. Maiato** asked if this development could cause more of a problem for Ms. Merchant.

Ms. Roberson stated that she defers to the Engineers and she said that Syl Pauley was satisfied with the Stormwater Report. She explained that the original agreement was in 2004 and that is when this easement was put into place and it was part of the original approval for a full development of this property (the original commercial structure). She explained that although she was not employed by the Town at that time, it has been confirmed that at that point in time the Town took responsibility for both of the swales.

**Mr. Maiato** asked if the Town is liable to fix Ms. Merchant's problem if this development causes her more of a problem.

Ms. Roberson said that she does not know about that, but she believes she has a problem. Ms. Roberson asked her what the situation is today since it rained earlier.

Ms. Merchant explained that it is very wet back there and that in the thirty years that she has lived there, she believes that the Town has only maintained it one time.

Mr. Tanner stated that they clean out the one by the Bank regularly.

Robert Ross explained that you keep adding from Route 6 into that lowlying, stormwater area and it only holds so many gallons. He said that he believes there is only an 18-inch pipe that goes down and ties-in across Day Street and goes out to the River, so he feels that this may be part of the problem. He said that we get a lot more rain now than we did in 2004 which, he said, is one of the reasons why they changed the laws so no water can leave the area. He suggested putting a set of 4' x 4' galleys the length of the berm in the back to retain some of the water before it actually went out. He said that it would filter through the ground and nobody may even see it. It would be an added expense, but he feels that it would be less hassle.

• **A. Fitzgerald** asked what needs to be cleaned out. Mr. Ross explained that he doesn't know if the pipe is big enough to handle all of the water coming out of the swamp.

Mr. Fitzgerald asked if the pipe is sufficient enough.

Mr. Parent stated that the swales are designed to treat the water quality. At the time, the wetland was designed as being the detention portion of it. They have not mottled it beyond that original design.

**Mr. Fitzgerald** stated that, when they approved previously, they should have taken into account the run-off of the whole area.

Ms. Roberson stated to the standards of the day which have changed as well as climate conditions have changed.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

 Mr. Ross asked, again, if something happens, who is responsible. Mr. Maiato stated that he does not feel that the Town should be responsible. He feels that the Applicant should be responsible. Mr. Pember and Mr. Fitzgerald explained that the agreement is in place and that the communication hasn't been very good. M. Sigfridson commented that the agreement says that the Town has the

responsibility to maintain the swale, but what if it were determined that upgrades needed to be made? Would the Town have the right to make those upgrades?

Mr. Parent explained that the Town has an easement over both of the swales, they had an easement to construct them and they were constructed under a Town contract. So, if the Town feels that upgrades or modifications needs to be made, they have the right to do so. Ms. Roberson stated that she has concern as to whether the water is flowing in the wrong direction. She asked if it should be flowing west. Mr. Parent said "yes" and indicated how it should be flowing. He explained that it is a relatively low area and Ms. Merchant's lawn is very close to the elevation of the swale, so he can see how, in a very large rainfall, her yard would potentially flood.

#### **QUESTIONS/COMMENTS FROM STAFF:**

- Ms. Roberson asked if Mr. Parent has topography for that portion of the site. Mr. Parent stated that he has topography from 2014. Ms. Roberson stated that it shouldn't have changed since then.
- Ms. Roberson said that she saw a sheet showing that the berm is there.
- The landscaping on the berm seems okay.
- The fence is there.
- Ms. Roberson said that she was unable to walk the whole property as it was too vegetated. She asked about the location of the swale between the residences and the fence.

Mr. Parent explained that there is the landscape berm and a fence on the backside of the berm, then the swale, and then the residences. There is access from Ocean State Job Lot.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

• L. Herring asked about the cost of fixing the problem Mr. Parent explained that it would depend on what was determined as needing to be fixed. He said that, based on his walk-through, he feels that all that needs to be done, at this point, is mowing. There didn't appear to be anything blatantly out of place. There was more discussion with Mr. Ross.

There was more discussion with Mr. Ross.

- **G. Maiato** stated that he feels it should be addressed.
- **S. Pember** explained that the PZC is not in a position to hold up this project as this site has already been approved based on the existing swale. The PZC cannot condemn this project based on what may or may not happen in the future, as far as what is Town responsibility. Ms. Roberson commented that it has been previously approved for a similar scale of development and the drainage system was designed based on a very similarly scaled development. Not the same building layout, but approximately the same impervious area.
- **S. Pember** suggested that a letter be written to the First Selectman. Mr. Ross stated that if Ms. Merchant has problems with it, somebody is going to hear about it.

Mr. Pember stated that the PZC doesn't have the authority, unless we want to go back and undo everything that was done back in 2004. He questioned whether they could.

Ms. Roberson said that she doesn't think so, but there were actually several approvals over the years. The swales were probably installed after the first approval. She explained that this Application is **SP 15-006 mod** because we are modifying an approval that took place in 2015. Mr. Parent explained about the different approvals and he noted that the impervious area in this Application is considerably less than the impervious area in the original design. Ms. Roberson stated agreement.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

• **Robert Ross** asked why you couldn't take that pipe and go out into the serpentine. He said that there is a 7-foot retaining wall there. He said that the same amount of water will still get to the same spot, but it won't get discharged into the swale. He said that the swale is holding its own right now.

Mr. Parent explained that, with the original approval, they had originally proposed discharging the lower portion directly into the serpentine swale and, for whatever reason (he does not remember), they ended up discharging after the outlet, not into the swale. He thinks it was based on comments received.

There was discussion regarding Mr. Ross question about possibly discharging into the existing basin and trying to get the elevation from there. Mr. Parent explained that it would require IWWC approval.

#### **QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that the IWWC has approved this plan.
- Ms. Roberson offered that a site walk could be scheduled.

• Ms. Roberson stated that she was not aware of the flooding in Ms. Merchant's yard and she offered that Syl Pauley could be consulted about it.

Mr. Pember commented that the drainage is more of a Town problem, so he does not think that a site walk would change anything.

There was discussion. Ms. Roberson referred to the easement that was recorded in 2005 and was reapproved by the PZC in 2015.

Mr. Pember suggested that Syl Pauley could take a second look and make recommendations, but he doesn't feel that it would change the owner's responsibility on this project.

Ms. Sigfridson agreement with Mr. Pember and added that it would be a good idea to have Mr. Pauley look at the swales and the swamp area to see if there is something that can be done easily to address the issues.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

• A. Fitzgerald asked if the original developer constructed the swale or was it subcontracted out.

Mr. Parent stated that the Town subcontracted it out. Mr. Fitzgerald asked if Mr. Parent would provide as-built and topo information. Ms. Roberson stated that she may already have that information.

Mr. Pember asked about timeline.
 Ms. Roberson stated that the public hearing could be continued.

Mr. Townsend voiced concern that the Commission is linking his ability to move forward with this project to the Town dealing with a drainage issue in the swale. He felt that they addressed it when it was turned over to the Town, the swale was built, and their agreement was that they would be able to discharge into that swale. He said that he is not comfortable with holding up his project while the Town, which has gone through a number of studies on it own. J&D did the original engineering, Syl Pauley has reviewed it twice, it's been approved by the IWWC, and does not see any reason why he should be held up on this project while the Town looks up what it may need to do going forward.

Mr. Pember explained that he wanted to be sure to stay within the timeline. Ms. Sigfridson explained that when she suggested having Mr. Pauley look at it, she meant separate and apart from this Application, based on concerns being raised by property owners in that area.

Mr. Pember stated that, regardless of what the PZC does, he feels that the Town Engineer needs to go in there and look at it, which is not going to hold up Mr. Townsend's project. He stated agreement with Ms. Sigfridson.

Mr. Ross and Ms. Merchant both stated that they are not looking to hold up the project, they are just concerned about the drainage and who is responsible.

#### **QUESTIONS/COMMENTS FROM STAFF continued:**

Ms. Roberson commented that there is a lot of water going onto this
property from Ocean State Job Lot and she said that there is also room on
that property for some on-site infiltration. She said that there should be
opportunities for the Town to pursue infiltration to the east.
Robert Ross, again, asked who is responsible if the water builds up.
Ms. Roberson stated that per the easement, the Town is responsible.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- Ms. Sigfridson commented on the importance of getting ahead of this in our Planned Commercial Zone so projects won't get held up in that general area.
- Ms. Kelleher suggested that writing a letter is a good idea to get this problem stated and identified so that the Town can coordinate doing something to address it.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

Robert Ross commented that he is sure that the elevation of the swamp has come up 6-8 inches in 20 years because of leaves, debris, etc.
 Mr. Fitzgerald stated that that is why he asked about the as-built topo.
 Mr. Fitzgerald asked if it is designed to infiltrate to the bottom.
 Mr. Parent explained that a portion is and the soils there are fairly sandy.
 Discussion continued with Mr. Ross.

#### **QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that the Callery pear is considered an invasive species and the Applicant has agreed to replace them with Pin Oak.
- Ms. Roberson explained that the storage facility was allowed through a zone change and the feeling, at the time, was that that was an appropriate use off of Route 6, not taking up frontage, and not being very visible to the public. She referred to the Route 6 Corridor Guidelines which talk about appearance in many different ways. She said that it very specifically calls out chain-link fence as something to be avoided. She stated that black-coated, chain-link fence is specified for around the storage facility which she feels will be very visible. She displayed and explained about photos of other kinds of fencing and different ways of screening dumpsters in the neighborhood. Ms. Roberson asked if the Applicant would consider a different king of fencing that would more effectively hide the buildings and the dumpster.

Mr. Parent stated that screening the dumpster would be something that they would be willing and able to do. Hiding the buildings, from a site security standpoint, with a more decorative fence would be something that they could consider, but he does not think they would want to provide something opaque.

Mr. Couture explained about the chain-link fencing at his Putnam facility and about how a fence that blocks the view of the building encourages intruders to get in and, therefore, is less secure. People who rent selfstorage want their units to be secure. He said that they want to avoid criminal activity. He commented that this is more of a rear lot that is already mostly blocked by McDonald's, Auto Zone, the side of Ocean State Job Lot, and plus they have the fence facing the residential portion. Ms. Roberson referred to the Architectural Plan which was submitted with the IWWC Application.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

• Robert Ross commented that he feels that the black chain-link fence with no slats would look much better with seeing the buildings rather than making it look like a horse corale. He can see it for the dumpster to hide the garbage and debris. He said that if the place is running the way it is supposed to, the parking lot should be kept clean and the appearance of the buildings should be well kept. He said that you won't see the black fence from a distance, but it would give them security.

Mr. Couture stated that there will not be a dumpster with the self-storage facility as there will be no trash.

#### **QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented about the dumpster in the back that the smaller building would utilize. Mr. Parent stated that is incorrect and he indicated the location where they are providing another dumpster alongside McDonald's.
- Ms. Roberson referred to and displayed the Architectural Plan. She said that it may be a long time before the other building is built and she said that the storage facility is all that might be seen for some time. She said that her impression of the zone change was that it would be allowed because it wasn't very visible. She said that there are other ways to do advertising. She said that this is going to be creating people's mental images of our Community and so, she feels that a more aesthetic style of fencing would be appropriate for those publicly facing sides.
- Ms. Roberson asked if all of the vegetation on the eastern property boundary and along the whole perimeter with McDonald's needs to be removed and replaced with junipers because the existing vegetation seems to be doing a pretty good job of buffering.

Mr. Parent explained that there is quite a bit of grading that needs to happen along the Auto Zone side, but there is also quite a bit of property between the curb and the property line that wouldn't be disturbed. Same thing on the McDonald's side, there is a considerable difference between their parking lot and the property line. Some of the existing vegetation will stay.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

• Robert Ross asked if there would be a landscaped island between the fence and CVS.

Mr. Parent explained that the fence would be going to the property line, the raised island is very narrow, so no trees or shrubs there.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

• A. Fitzgerald commented that he does think that you would be able to see very much of the buildings. From a security standpoint, he said that he wouldn't want it blocked in.

Ms. Roberson stated that a more aesthetic fence is not going to be opaque. She said that you can still see through it, but it's not chain-link. She said that the black coating kind of makes it disappear and then, you're looking at a storage building.

Ms. Sigfridson stated that the buildings are not attractive. It is what it is. Mr. Ross commented that he understands both sides.

- A. Fitzgerald asked what color the garage doors would be. Mr. Couture said that there are unlimited color choices and gave his Putnam facility as an example: beige siding with forest green doors. He said that he is open to suggestions.
- Ms. Roberson displayed the aerial of the Putnam Facility.
- A. Fitzgerald asked if the buildings are pre-fab metal.
- Mr. Couture stated that they are.
- Mr. Fitzgerald suggested a 6-foot high, black picket fence (aluminum post) that he had seen around another storage facility in Windham and also Brooklyn Self-Storage as an aesthetic alternative to the chain-link. Ms. Roberson and Ms. Sigfridson agreed that it sounds nice.

Mr. Ross stated that it is a nice-looking fence.

Mr. Couture stated that that was the other option that they had considered if the proposed fencing doesn't work. Mr. Couture explained that it comes down to cost. The aluminum posts are really nice, but they are also really expensive. He asked if it would be possible to do two sides with the chain-link, He said that the back facing the residential already has chain-link.

Ms. Roberson stated that a lot of the fencing has already been installed (along most of the property lines). She stated the ornamental aluminum fencing for the parts that are most prominent and the dumpster. She asked what the Applicant was thinking for a dumpster enclosure.

Mr. Parent stated that they could do something more opaque, similar to CVS and McDonald's.

Ms. Roberson commented that she doesn't feel that CVS's is the best and suggested more like McDonald's (steel frame with vertical wood panels, painted a neutral color).

Ms. Sigfridson suggested a darker beige.

Mr. Couture stated that he is not than picky regarding the color scheme.

#### **QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that it is her understanding that they do not yet have approval from the WPCA.
   Mr. Parent stated that they have not reached out to the WPCA. The storage units do no have sewer or water.
- Ms. Roberson commented that the Applicant has stated that they do not have tenants for the commercial portions of the building.
- Ms. Roberson explained that "commercial space" is not listed as a use in the Zoning Regulations (not defined enough). She explained how she addressed this in her Staff Guidance/sample motion. She and Ms. Sigfridson explained to Mr. Townsend that Automobile Sales, Automotive Service Station, and Gas Station were also not included in the previous approval.

Mr. Townsend stated, "Okay."

Ms. Roberson read aloud, for the Record, from Section 4.D.2.3, the business-related uses that would be included for the commercial building: Retail; Personal Services; Restaurant including Fast Food; Office, Business or Administrative; Bank; Licensed Health Services; Banquet Hall or Caterer's Establishment; Hotel/Motel; Child Daycare Center or Adult Daycare Center; Health Club and/or Membership Club; Theater; Indoor Sports and Recreation; Itinerant Seasonal Vendors; and Retail Sale of Cannabis. She said it is everything for that Zone with the exception of the three automotive uses.

There were no further comments.

Motion was made by A. Fitzgerald to close the public hearing for Application **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC. Second by L. Herring. No discussion.

Motion carried unanimously by voice vote (6-0-0).

At this time, M. Sigfridson assumed the position of Chair for the remainder of the meeting.

2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Mindy Delp represented herself and explained that she would like to have permission to have a craft shop. She said that previously, she had argued that it was unrealistic for everything sold in the shop to have to be produced by one person - herself. She explained that she would like to have a wide variety of products, involving other local artisans, to offer the Community. She explained that is a labor of love for her and that she is not doing this to make money, so it would be advantageous to the other artisans as she would not be taking a huge percentage of sales as most galleries take 40-50 percent. She said that it would be fun for her to produce and sell things and interface with other local artisans.

Ms. Sigfridson explained that Ms. Delp had previously submitted and application which had been withdrawn to give the Commission the opportunity to consider amending the Regulations to allow other people to show their work. The Commission did change the Regulations to allow that and now, Ms. Delp has resubmitted an Application specific to her property for her project. Ms. Delp stated agreement and explained that the wording had been changed from "the craftsperson" to "a craftsperson."

Ms. Roberson explained that the wall signage was increased as the Regulations had not addressed signage for State Route Business Enterprises and Ms. Delp would like to do a "Barn Quilt" wall sign (photos were included in packets to Commission Members). Ms. Roberson displayed and explained photos of the property that she had taken from the road earlier in the day. Ms. Delp spoke of the historic building, built in the early 1800's, that may have been used as a toll-collecting station. Ms. Roberson stated that it is in the Bush Hill National Register Historic District.

Ms. Roberson explained that there was some lot clearing done on the property (she displayed photos) which Ms. Delp would like to include in this Application. Trees, brush, and invasive vines were removed. There is a pretty substantial stonewall along the southern property boundary. Some large stones had been pulled from the ground along the western property boundary and were placed alongside of the stonewall for now.

Ms. Delp stated that she had enclosed the heating/cooling unit as Ms. Roberson had suggested to her. Ms. Roberson explained that, in preparation for using the building, a mini-split system had been installed. Ms. Roberson pointed out that the condensate line, shown in the photo, had been painted the color of the house making it blend in beautifully. She suggested another item in the photo that could also be painted to blend in with the building.

Ms. Roberson showed a photo of the driveway and indicated the approximate location of the parking spaces.

Ms. Roberson explained that the wood clearing, which could be subject to special permit, is now included in this Special Permit Application. So, it is covered in regards to the Scenic Route 169 Overlay Zone which regulates clearing of anything in view from the road. She said that it was found that Ms. Delp's clearing just exceeded ½ acre which triggers a stormwater soil erosion and sedimentation control plan. Ms. Roberson stated that she and Margaret Washburn have been out there and there is no soil movement. It is, basically, staying on-site and it is re-vegetating, so everything is good there. Ms. Washburn has signed-off

as the Wetlands Agent. Ms. Delp explained Ms. Washburn's findings: the stone wall is continuous along the back of the property where drainage would occur, if there was any to occur; and the slope is a couple of degrees, at best. Ms. Delp stated that a silt fence has been installed all along the stone wall. Ms. Roberson clarified that it is along the western side, which is the direction of the slope. Ms. Roberson noted that you can see the large stones. Ms. Roberson mentioned that there is a driveway which was not visible in the photograph that she had displayed. She asked Ms. Delp what her proposal is for this area.

Ms. Delp explained that her hope is that it will look better now that the half-dead ash trees and invasive vines and the whole area have all been cleared (without knowing that a permit was needed). She explained that she plans to plant conifers all across the front (eastern side of the property) along with another type of trees to form a living fence across the east side of the property so that not much of the property would be visible in a few years as these trees grow three feet per year. She explained that she would also like to plant fruit trees toward the back of the property (western side) near the vegetable garden she currently has there. Ms. Roberson stated that the trees would be for screening. Ms. Delp agreed and stated also along the stone wall on the southern part of the property. She said that she would need approximately 40-50 trees and she feels that it will look better than it did originally. Ms. Delp mentioned the Cease & Desist Order that had been issued and stated that she would like to get started on the work again to get rid of the rocks and level the land a bit and do the planting, but these things can't be done until what is there from the clearing is removed. Ms. Roberson explained about how the clearing was added onto this special permit application. She said that combining projects into a single application is suggested to everyone. Ms. Sigfridson commented that she did not see anything on the plan addressing that portion of the property, the clearing or the proposed planting. Ms. Roberson displayed and explained/orientated a sketch of the property, noting the following: stone wall; street sign (front of property); State culvert for run-off from School property; eastern property boundary; the pile of rocks and trees (depicted in another photo); approximate location for fruit trees and bushes; location of proposed tree planting for screening.

There was discussion regarding applicable Regulations (Soil Erosion & Sedimentation Control - Section 7.F.5 and the Scenic Route 169 Overlay Zone). Ms. Roberson explained about Staff approval and Site Plan Review. She said that there was concern about drainage, at first, but it was found not to be an issue. However, Ms. Roberson said that she felt that the sitework, within view from Route 169, should come before the PZC.

Ms. Sigfridson stated that she feels that we may be overstepping bounds and that she had a couple of concerns with this Application. She gave an example that she wouldn't want people to have to have their site plan modified to change one particular plant for a different one. Also, for this specific Application, she clarified that the PZC is not suggesting that the Green Giant trees are what is necessary to be planted along Route 169. Mr. Fitzgerald stated agreement with Ms. Sigfridson and also commented that the contractor that did the clearing should have known better. Discussion continued. Ms. Delp explained that a neighbor had offered to allow the large stones/boulders to be thrown over the stonewall onto his property or she may sell them. Ms. Roberson explained that incorporating them into the existing stonewall would damage it.

Ms. Delp submitted, to Staff, the certified mailing to the four abutters.

There were no comments from the public.

Motion was made by C. Kelleher to close the public hearing for Application **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (6-0-0).

3. **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Ms. Roberson explained that in 1985 Brooklyn joined the National Flood Insurance Program and have been using Regulations adopted at that time, with very minor changes over the years, and a mapping that was developed in 1985 has been in affect up, and to, today.

Ms. Roberson explained that FEMA has re-mapped the flood zones and that we are mandated to update our Town Flood Management Regulations. Previously, this had been in an Ordinance adopted at a Town Meeting which delegated the Authority of enforcement to the PZC. There is a Section in the Zoning Regulations that refers to the Ordinance. We have a Flood Plain Overlay Zone. The previously FEMA mapping was so bad that we could not put it on the Zoning Map, but the new mapping is much better and can be added to the Zoning Map.

Ms. Roberson has spoken with the State's Floodplain Coordinator, and was informed that FEMA does not care if it is an ordinance or a regulation (e.g. zoning regulation) as long as it is adopted before September 7, 2023. Ms. Roberson suggested taking the Flood Pain Regulations out of the Ordinance, where it is separated from the Zoning Regulations, and put the whole thing in the Zoning Regulations. Ms. Roberson explained that all of the proposed changes reflect the new NFIP fully incorporated into our Zoning Regulations. The full requirements are in Appendix D (included in packets to Commission Members), there is a page in our Zoning Regulations that points you to look in the Appendix, and references in the Subdivision Regulations have also been updated. Should the Commission choose to adopt this new approach, the Ordinance would become obsolete and can be removed from the Town Code. The Town Clerk researched this and found that you do not need a Town Meeting to rescind the Ordinance. Mr. Tanner stated that he does not agree with that and he will speak with the Town Clerk about it. Ms. Roberson said that FEMA doesn't care and she said that she had researched it and it has been checked by the Floodplain Coordinator.

Ms. Roberson explained that there are two sections that are the PZC has some discretion over and she referred to the Appendix D:

- Market Value (page 5) There was discussion and consensus of the Commission was for Option #2 - The property's tax assessment.
- Substantial Improvement (page 6) There was discussion about exemption in the definition vs. the variance procedure. Consensus of the Commission was for exemption. Ms. Sigfridson asked that the Record reflect that the Commission Members nodded for exempting historic structures.

Motion was made by A. Fitzgerald to close the public hearing for Application **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Second by C. Kelleher. No discussion.

Motion carried unanimously by voice vote (6-0-0).

#### d. Other Unfinished Business:

1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

Motion was made by A. Fitzgerald to approve the Special Permit modification application of Townsend Development Associates, LLC to create a self-storage facility and commercial space at 538 Providence Road in the Planned Commercial Zone, identified in the files of the Brooklyn Land Use Office as SP 15-006 mod, in accordance with all final documents and testimony submitted with the application with the finding that the proposal is consistent with Sec. 4.D.5. (Additional Special Permit Criteria), the Route 6 Corridor Design Guidelines, and Sec. 9.D.5 (Special Permit Criteria) of the Zoning Regulations. Such approval includes the following conditions and modifications:

1. The Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals and signed by the Commission Chair shall be recorded along with the Record of Special Permit in the office of the Town Clerk.

2. Prior to conducting any site work, the applicant shall apply for a Zoning Permit from the Zoning Enforcement Officer. Approval from the Water Pollution Control Authority will be obtained before applying for a Zoning Permit for the commercial structure.

3. The Special Permit modification approval pertains to one 6,300 s.f. self-storage building, one 8,400 s.f. self-storage building, and a 19,360 s.f. commercial building. Since commercial tenants have not been identified, any business-related use contained in Sec. 4.D.2.3. of the Zoning Regulations may be located in the commercial building <u>except</u>: automobile sales, automotive service station, or gas station. Potential commercial tenants must obtain a Zoning Permit from the Zoning Enforcement Officer and must comply with the Zoning Regulations and this approval.

4. Callery pear trees will be replaced with Pin Oak (Quercus palustris).

5. Chain link fencing with slats will be replaced with decorative aluminum fencing along the southern and western facing sides adjacent to the storage facility. The dumpster shall be surrounded by an opaque or nearly-opaque enclosure. The final design to be approved by the Zoning Enforcement Officer as part of the Zoning Permit.

Second by G. Maiato. No discussion.

Motion carried unanimously by voice vote (6-0-0).

2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Motion was made by S. Pember to waive the site plan requirement for Application **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp. Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (6-0-0).

Motion was made by C. Kelleher to approve the Special Permit application of Mindy Delp to create a State Route Business Enterprise for Craftsperson at 481 Pomfret Road, identified in the files of the Brooklyn Land Use Office as SP 22-006, in accordance with all final documents and testimony submitted with the application with the finding that the proposal is consistent with Sec. 6.B.2. (State Route Business Enterprise Standards), Sec. 5.A.5 (Route 169 Design Standards) and Sec. 9.D.5 (Special Permit Criteria) of the Zoning Regulations. Such approval includes the following conditions:

1. The Record of Special Permit shall be recorded in the office of the Town Clerk.

2. Prior to conducting the use, the applicant shall apply for a Zoning Permit from the Zoning Enforcement Officer.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (6-0-0).

Brooklyn Planning and Zoning Commission Special Meeting Minutes - Hybrid Tuesday, August 15, 2023

3. **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Motion was made by G. Maiato to approve the changes to the Zoning Regulations, Zoning Map, and Subdivision Regulations with the finding that the changes will aid in the protection of public health, safety, welfare, and property values; are consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations; and are consistent with the requirements of the National Flood Insurance Program. These changes will become effective fifteen days from publication in accordance with CT General Statutes Section 8-7d. These regulations will supersede and replace the existing flood damage prevention ordinance contained in Chapter 12 of the Brooklyn Town Code.

Second by A. Fitzgerald.

Discussion:

• C. Kelleher noted that Mr. Tanner had stated that the removal of the Ordinance would need to be done by Town Meeting. M. Sigfridson stated that the PZC cannot remove the Ordinance. Mr. Tanner explained that it would be superseded. Ms. Roberson stated that this doesn't do anything to the Town Code, but it does make it clear that we are regulating this completely through Zoning. Ms. Sigfridson stated that the proposed changes did not need to be mentioned in this motion to approve as they were discussed during the public hearing.

Motion carried by voice vote (5-0-0). A. Fitzgerald was not present at the time of this vote.

- 4. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart. \***Awaiting Sept. 6 public hearing**\*
- 5. **SD 23-001:** Two-lot subdivision including 3 acres on Day Street (Map 43/Lot 6), Applicant: Jeff Weaver.

Ms. Roberson explained that they had just received a Zone Change Application and are within the timeframe on the subdivision. This will be on a future agenda.

#### VII. New Business:

#### a. Applications:

1. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Aces Hardware.

Motion was made by S. Pember to schedule the public hearing for **SP 23-004**: Special Permit for aboveground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware for the special meeting of the Planning and Zoning Commission to be held on September 6, 2023 at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom. Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (6-0-0).

2. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.

Motion was made by S. Pember to schedule the public hearing for **ZC 23-003**: Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver for the special meeting of the Planning and Zoning Commission to be held on September 6, 2023 at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom. Second by G. Maiato. No discussion.

Motion carried unanimously by voice vote (6-0-0).

#### b. Other New Business: None.

VIII. Reports of Officers and Committees – None.

There was discussion regarding a property in the VCD.

#### **IX. Public Commentary** – None.

#### X. Adjourn

#### M. Sigfridson adjourned the meeting at 9:18 p.m.

Respectfully submitted,

J.S. Perreault Recording Secretary

#### TOWN OF BROOKLYN PLANNING AND ZONING COMMISSION NOTICE OF PUBLIC HEARING

The Planning and Zoning Commission will hold a public hearing on September 6, 2023 starting at 6:30 p.m. via Zoom and in-person at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT on the following:

- **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
- **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
- **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.

#### Please publish August 23 and 30<sup>th</sup>

#### PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN

CONECTICUT

Received Date \_\_\_\_

JUL 2 0 2023

RECEIVED

Application #SP\_<u>23-003</u> Check #\_<u>024</u>

#### **APPLICATION FOR SPECIAL PERMIT**

Name of Applicant Wal-Mart Real Estate Business Trust	one <u>(479)270-7024</u>
	one
Address 65 Lasalle Road, West Hartford, CT 06107	
Contact Person_Jeff BordPhone_(860)333-8900	<u>0 Fax (508)480-9080</u>
Name of Attorney Address Phone Fax	
Property location/address_450 Providence Road, Brooklyn, CT Map#41Lot#10ZonePCTotal Acres_25.48 Sewage Disposal: Private PublicExistingXProj Water: Private PublicExistingXProj	oosed
Proposed Activity Online grocery pick up addition with parking modifications	S
Compliance with Article 4, Site Plan Requirements	
Is parcel located within 500 feet of an adjoining Town? <u>No</u>	
The following shall accompany the application when required:	
Fee \$_610.00State Fee (\$60.00)3 copies of plans4.5.5 Application/ Report of Decision from the Inland Wetlands Commissi4.5.5 Applications filed with other Agencies12.1 Erosion and Sediment Control Plans	
The owner and applicant hereby grant the Brooklyn Planning and Zoning of Selectman, Authorized Agents of the Planning and Zoning Commission permission to enter the property to which the application is requested for inspection and enforcement of the Zoning regulations and the Subdivision Town of Brooklyn	n or Board of Selectman, or the purpose of
Applicant:	Date
(Signed on behalf of Wal-Mart Real Estate Owner: Mile Rutherford Business Trust)	

\*Note: All consulting fees shall be paid by the applicant

#### PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN CONECTICUT

Received Date \_\_\_\_\_\_ Action Date\_\_\_\_\_ Application #SP<u>F\_23-003</u> Check#<u>024</u> No.

#### **APPLICATION FOR SITE PLAN REVIEW**

Name of Applicant Wal-Mart Real Estate Business Trust Mailing Address 2608 SE J Street, Bentonville, AR 72716	Phone_ (479)270-7024 Phone
Name of Owner <u>Wal-Mart Real Estate Business Trust</u> Mailing Address <u>2608 SE J Street, Bentonville, AR 72716</u>	Phone_(479)270-7024 Phone
Name of Engineer/Surveyor <u>Bohler Engineering</u> Address <u>65 Lasalle Road, West Hartford, CT 06107</u> Contact Person <u>Jeff Bord</u> Ph	one_(860)333-8900 Fax_(508)480-9080
Property location/address <u>450 Providence Road, Brooklyn</u> Map # <u>41</u> Lot # <u>10</u> Zone <u>PC</u> Total Acro	
Proposed Activity <u>Online grocery pick up addition with park</u>	ing modifications
Change of Use: Yes No <u>X</u> If Yes, Previous Use Area of Proposed Structure(s) or Expansion <u>5,955 SF</u>	
Utilities - Septic: On Site Municipal Water: Private Public	_ ExistingX Proposed _ ExistingX Proposed
Compliance with Article 4, Site Plan Requirements	
The following shall accompany the application when re	quired:
Fee\$_\$610.00State Fee (\$60.00)3 copies of4.5.5 Application/ Report of Decision from the Inland We4.5.5 Applications filed with other Agencies12.1 Erosion and Sediment Control PlansSee also Site Plan Review Worksheet	
Variances obtained	Date
The owner and applicant hereby grant the Brooklyn Plar Selectman, Authorized Agents of the Planning and Zonir to enter the property to which the application is request enforcement of the Zoning regulations and the Subdivisi	ng Commission or Board of Selectman, permission red for the purpose of inspection and
Applicant:	Date
Applicant:(Signed on behalf of wal-Ma Owner: Mile Rulerford Business Trust)	rt Real Estate Date_July 18, 2023   14:17 CDT

\*Note: Any consulting fees will be paid by the applicant

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# **PROPOSED SITE PLAN** DOCUMENTS

— FOR —

12

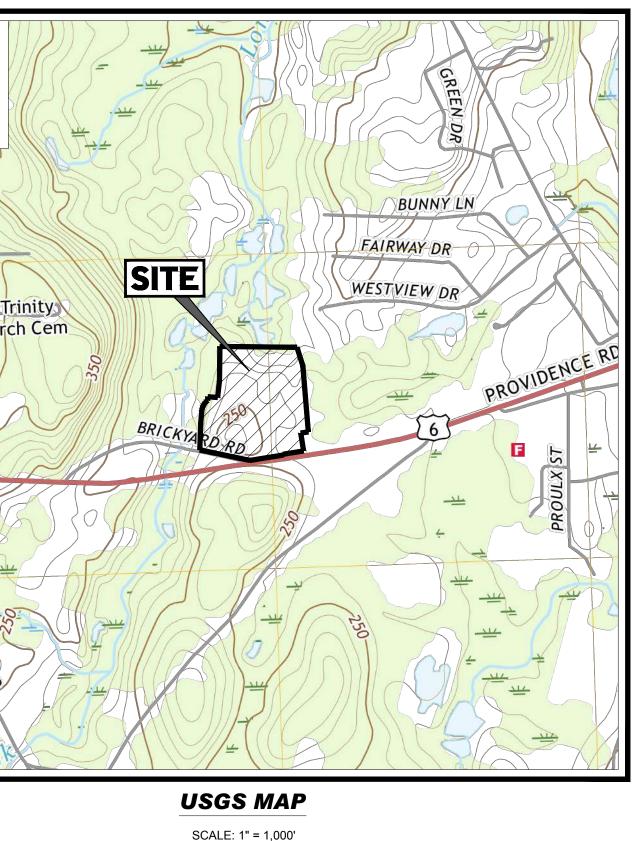
13

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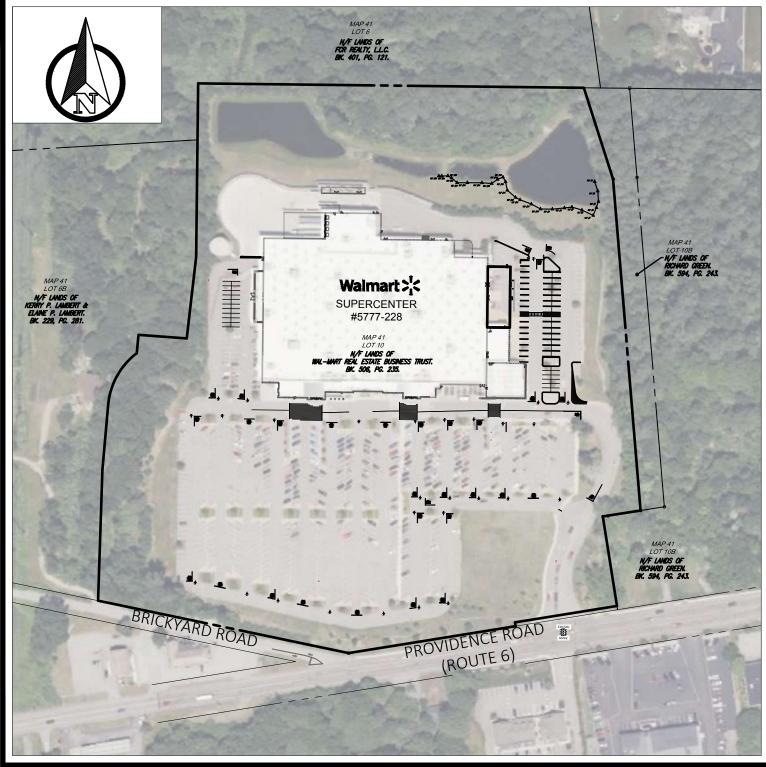


# **STORE #5777-228** PROPOSED **PICKUP AND SIGNAGE / STRIPING IMPROVEMENTS AND BUILDING EXPANSION**

LOCATION OF SITE: 450 PROVIDENCE ROAD, TOWN OF BROOKLYN WINDHAM COUNTY, CONNECTICUT



SOURCE: DANIELSON CONNECTICUT USGS QUADRANGLE



SITE MAP SCALE: 1" = 200' SOURCE: 2023 MICROSOFT CORPORATION

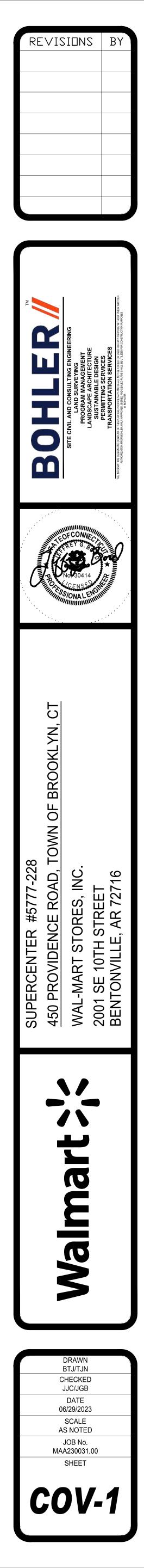


15	16	17	18	19	20	21	22

## DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	COV-1
GENERAL NOTES SHEET	NS-1
EXISTING CONDITIONS PLAN	EC-1
OVERALL SITE PLAN - STOP SIGNS AND MARKINGS PLAN	SSM-1
DEMOLITION AND SITE CONSTRUCTION PLAN	SECP-1
DEMOLITION AND EROSION CONTROL PLAN	DM-1
SITE PLAN	SP-1
GRADING, DRAINAGE, & UTILITY PLAN	GD-1
SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET	SECP/SSM DETAILS
DETAIL SHEET	DTL-1
DETAIL SHEET	DTL-2
DETAIL SHEET	DTL-3
SPECIFICATIONS SHEET	CSS-1
SPECIFICATIONS SHEET 2	CSS-2
LIGHTING PLAN (BY OTHERS)	1 SHEET
ARCHITECT PLAN (BY OTHERS)	2 SHEETS
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	2 SHEETS

# **COVER SHEET**



SENERAL NOTES	GENER
DNTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL JBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN	1. LOCATIONS ANY CONS FIELD PRIO BEGINNING
<ul> <li>"ALTA/NSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, DATED: 05/30/2023</li> <li>"INITIAL REPORT OF GEOTECHNICAL INVESTIGATION", PREPARED BY WHITESTONE ASSOCIATES, INC., DATED: 05/31/2023</li> </ul>	2. CONTRACT
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.	TELEPHON WITH THE F DAMAGE TO UTILITIES D
ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.	3. IT IS THE C ASSOCIATE
PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED.	BETWEEN CONTRACT CONSTRUC COMPLETE
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THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE	DEMOLITIO HAVE BEEN STATUTES,
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AMBIGUITIES WHICH EXIST. . DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN	SIDEWALKS OWNER/DE EARTHWOF
ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. . THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT,	ALL APPLIC ROADWAY 10. ALL FILL, C
NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE	BE COORDI AT A MINIM COMPACTIO
MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.	11. THE CONTF AND TRENO OSHA, AS V PELATED E
. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR	RELATED F 12. PAVEMENT REMOVAL (
ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF	13. THE TOPS ( APPLICABL
CONSTRUCTION. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.	14. DURING TH CONSTRUC FROM THE PROVIDE T
. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH	15. THE CONTR CONTRACT
RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. . THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE	(EXCEPT W ANY DISCR WITHOUT F ENGINEER
FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.	16. PROPOSED GUTTER GF
COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO	17. IN THE EVE IMMEDIATE
PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND	18. CONTRACT MUST SUPF 19. STORM DR
ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY	POLYETHYI SILT TIGHT 20. STORM ANI
CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.	21. STORMWA FINAL ARCH
BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR	22. SEWERS C FEET HORI WATER MA
TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE	WHE     MECI     SO B
RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.	MUS <sup>-</sup> 23. WATER MA REQUIREM
NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL	AWWA STA 24. CONSULTA
CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR	SUBSTANC
ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.	
. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT	
PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.	
2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE. 3. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.	
ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.	
5. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.	
5. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE. 7. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.	
CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A	
RESULT OF SAID FAILURE. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS	
RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.	
AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.	
<b>SENERAL SITE NOTES</b> THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES	
ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION BREVENTION BLAN (SWERP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION CONTROL AND AND STORMWATER POLLUTION	
PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.	
ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH	
JURISDICTION OVER THE PROJECT. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY	
OTHERWISE. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING	
AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED). ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI)	
UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT. THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL PERMITTING PROCEDURES.	
THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT.	
<ul> <li>WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.</li> <li>WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND</li> </ul>	
WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN.	
. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROVIDE FIELD MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN.	

8	9	10	11	12	13	14	15	16	17	18	19	20	21	22

## RADING & UTILITY PLAN NOTES

ING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF XCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE MENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE FINVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. ICALLY AND HORIZONTALLY LOCATE ALL LITH ITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS. WATER, ELECTRIC, SANITARY AND STORM SEWER OPTIC CABLE FTC WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS OJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY S RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE PONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND ONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME. OCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE AMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY D OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES IND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES,

NCES AND CODES. INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES. SIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION TH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE AND ALL OTHER APPLICABLE TATUTES LAWS ORDINANCES AND CODES AND FURTHER IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO RVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION RACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME. CES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN TILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS. ERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED NTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN REPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS

THIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE ORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, SUBBASE MATERIAL FOR PHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR RESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. ICLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND MENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR I (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. ID BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST IE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, TH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, LL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION JRES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF HER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS TED TO EXCAVATION AND TRENCHING PROCEDURES CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM

JST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED. NHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. N OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF

FY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY AT THE COMPLETION OF WORK. Y RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION.

IRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT UIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION PER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN GES. COSTS. INJURIES. ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME. ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% IRB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. IS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS. D TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK. NLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY E) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR PE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE. VER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE. IN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON

TARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 UCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE HER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME. ATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING P-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED LL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH AIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE ECT AT THE TIME OF APPLICATION.

LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS ANTS ON, ABOUT OR UNDER THE PROPERTY

## **GENERAL DEMOLITION NOTE**

- 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: • "ALTA/NSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT AS
- "INITIAL REPORT OF GEOTECHNICAL INVESTIGATION", PREPARED BY 2 CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH T
- AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS 3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RE
- 4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMA REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLIT
- IMPROVEMENTS. 5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCU SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIF RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION
- IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND S REQUIREMENTS, STATUTES, ORDINANCES AND CODES. 6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIB A.OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME OF
- THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WO B.NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGIN C.INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL
- D.IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL EXCAVATION. E.LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDII FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS (
- APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UND F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES G ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILIT THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR M
- AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCO H COORDINATION WITH LITH ITY COMPANIES REGARDING WORKING "( PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE
- I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MAT CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIAT
- 7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB \$ AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO
- 8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NE OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONT CONDITION. OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIR 9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT AC
- THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDAN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENG 10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED T GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADE
- 11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONS PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. T REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES. 12. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A
- OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST B ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO
- 13. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS ( GOVERNMENTAL AGENCIES WITH JURISDICTION 14. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT / AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLET AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE
- 15. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESS PERSONS AT ANY TIME.
- 16. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE
- 17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING I MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURE PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH
- WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO 18. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLIT COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. 19. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHI RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOO OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

# ADA INSTRUCTIONS TO CON

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION I

- SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH AL AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REG FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH T
- ARE <u>NOT</u> LIMITED TO THE FOLLOWING: • PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- DIRECTION.
- THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, REPLACE NON-CONFORMING CONCRETE. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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<text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text>	ASSOCIATES, DATED: 05/30/2023 Y WHITESTONE ASSOCIATES, INC., DATED: 05/31/2023
<text><text><text><text><text><list-item><list-item><list-item><text><text><text><text></text></text></text></text></list-item></list-item></list-item></text></text></text></text></text>	THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS TO SAME.
<text></text>	RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
<text></text>	MATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO ITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE
<text></text>	CURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE HIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND I OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES,
ORK. INSERT AND LOAD. SOL CONSERVATION DISTRICT, 74 HOURS PRIOR TO THE START OF WORK. IN MEASURES PRIOR TO SITE DISTURBANCE. IN MEASURES PRIOR TO TO THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE MEASURES PRIOR THAT EAR NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITES. IN AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITES. IN MINISCRETONION THAT THE CONTRACTOR MUST PROVENENTS. INTERCREDUE UTILITY PROMINER AND OWNER WHITTIN NOTIFICATION THAT THE EXISTING UTILITES DEVICE PROVIDERS OF THE TEMPORANCE OF MEMOLITON INTO THE FREEVENENTS. INTERCREDUE UTILITY PROMINER AND OWNER WHITTIN NOTIFICATION THAT THE EXISTING UTILITES. INTERCREDUE UTILITY PROMINER AND OWNER WHITTIN NOTIFICATION THAT THE EXISTING UTILITES. INTERCREDUE UTILITY PROMINER AND OWNER WHITE AND THE ADDRECT PLANS AND SPECIFICATIONS. THE INTERCREDUE OF ON WEEKNER AND OWNER AND EXISTEM FOR UTILITES MAD AND INTERCREDUE OF OWNER AND EXISTEME OF THE DISCREDUE OF OWNER AND INTERCREDUE OF OWNER AND INTERCREDUE OF MUST PROVIDENT OF THE TRANSMERTAL. INTERCREDUE OF THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC. INTERCREDUE OF OWNER AND EXISTEME OF THE DIFFERENCE OF THE DISCREDUE OF THE WEEKNER. INTERCREDUE OF OWNER AND EXISTEME OF THE MEDICATION WHILE BE DISCREDUE TO AND INCER THE WITHIN INTERCREDUE OF OWNER AND AND PROVIDENCE OF AND INTER THE ADDREDUE TO THE MEDICATION IN THE PROVIDED TO THE OWNER AND INTERFERENCE ONE NOT AND INTERFERENCE ONE THE ADDREDUE TO THE MEDICATION ONE AND INTERFERENCE ONE NOT THE OWNER AND ADDREDUE TO AND EXISTEME VIER THE OWNER AND ADDREDUE TO THE OWNER AND ADDREDUE TO THE OWNER AND ADDREDUE TO THE OWNER AND ADDREDUES TO THE OWNER AND ADDREDUE TO THE OWNER AND ADDREDI	BLE FOR/TO:
<text><text><text><text><list-item><list-item><list-item><text></text></list-item></list-item></list-item></text></text></text></text>	ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT ORK.
<text><text><text><text><text><list-item><list-item><list-item></list-item></list-item></list-item></text></text></text></text></text>	GINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
<text><text><text><text><text><text><list-item><list-item></list-item></list-item></text></text></text></text></text></text>	DL MEASURES PRIOR TO SITE DISTURBANCE.
OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE MISERGENDE UTITIES. IS AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. IT SUBJORCE PROVIDERSIS FOR THE TEMPORANY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY USET PROVIDE THE UTITIES PROJECTIONAL AND UTILITY COMPANY REQUIREMENTS. OFF.PEAK HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MININZE THE MERACT ON THE AFFECTED CRAAKE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. OFF.PEAK HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MININZE THE MERACT ON THE AFFECTED AT NA DODITIONAL LOSS TO THE OWNER. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT FLAMS AND SPECIFICATIONS, THE DESCRIPTION THE ORIGINAL COST TO THE OWNER. STERIES AFETY OR SUPERVISION. CONTRACTOR MUST FROCEED WITH THE DEMOLITION IN A SYSTEMATIC DEMOLITION THE SEMANTIC DEMOLITION CONTRACTOR SAFETY. STERIES AFETY OR SUPERVISION. CONTRACTOR MUST FROCEED WITH THE DEMOLITION IN A SYSTEMATIC DEMOLITION OF MAY THE DEMOLITION AND STRUCTURES, AND ANY THE STRUCTURES, AND ANY THE ORIGINAL COST TO AND CONTRACTOR SAFETY. SECOND REMOVER AND ENDERING FROM AND STRUCTURES, CAND ANY THE CONTRACTOR'S SOLE EXPENSE. CONTRACTOR'S SOLE EXPENSE. CONTRACTOR'S SOLE EXPENSE. CONTRACTOR'S ONE REMOVAL, OF FOUNDATION WALLS, FOOTINGS, OR THEM RATEFALS. WITHIN AND ANY THE CONTRACTOR'S AND ENDERING AND SPECIFICATIONS, AND THE MERTINAL SWITHIN AND AND ANY THE CONTRACTOR'S AND ENDERING AND SPECIFICATIONS, AND THE MERTINAL SWITHIN AND AND AND AND AND AND AND AND AND AN	ALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY
<text><text><text><text><text><text><text></text></text></text></text></text></text></text>	JDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE INDERGROUND UTILITIES.
UNDER PROVIDE THE UTILITY ENGINEER AND OWNEER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES SEQUANCE UTIL NURSISCICTIONAL AND UTILITY COMMANY REQUIREMENTS. COMPACE AND AUXISSICICTIONAL TO SUPERVISE AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED E AT NO ADDITIONAL COST TO THE OWNER. TRENAL THE REMOVAL OF WILLING IN ONT ADDRESSED IN THE PROJECT FLANS AND SPECIFICATIONS. THE E AT NO ADDITIONAL COST TO THE OWNER. SI STE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC DENSIBIE PUBLIC AND CONTRACTOR SAFETY. UNCESSARY TO REVERTING ON CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC DENSIBIE PUBLIC AND CONTRACTOR SAFETY. UNCESSARY TO REVERT MOVEMENT, SETLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN TACTORS REPROVEMENT SAID EXPENSION. UNCESSARY TO REVERT MOVEMENT, SETLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY THE CONTRACTORS SOLE EXPENSION. UNCESSARY TO REVERT MUST INCLUDED THE RESTORATION OF ANY ITEMS REPAIRED TO THE PROFECTION AND AN INCLEMENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLIANCE WITH APPROVED TO SUPPORT NEW IMPROVEMENTS AND DEFERORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND COCUR IMMEDIATION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHEN SUPPORT NEW IMPROVEMENTS AND DEFERORMED IN COMPLIANCE WITH THE RECOMMENDATION TRETING THAT IS UND BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORTIES. ALL THE REQUIRED RED TO REPORT THE DEMOLITION ACTIVITIES. MACKFILL MUST BE LOCORED FOR TO CONTRACTOR AND COCUR IMMEDIATION IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC UBBARTON TESTING THAT IS INTERDED. ANAMER TO ENSURE MINIMUM INTERFERENCE WITH HONDS, STREETS, SDEWALKS, WALKWAYS, AND RE RECEIVED FOR THE DEMOLITION NEUCH A MANNER AS TO PREVENT THE ENTRACTOR WIST ORDAL CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC UBBARTION TESTING THAT IS INTERMENTED AVENT AND DEFENSION ALL AL	ES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
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	IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA GULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. M PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO IT THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT

PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTR
I THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD

• LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY • PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE • DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA

 WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION. MODIFICATION. REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS. FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA

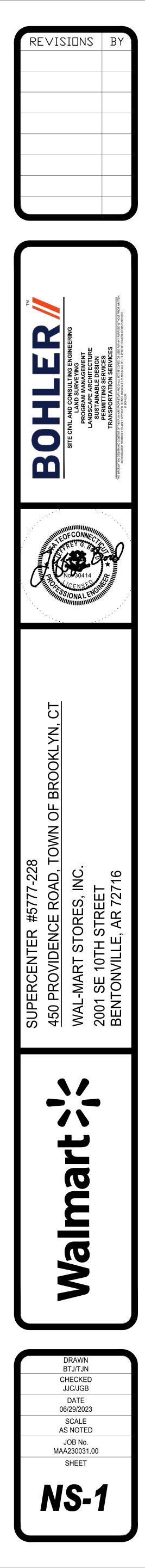
CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND

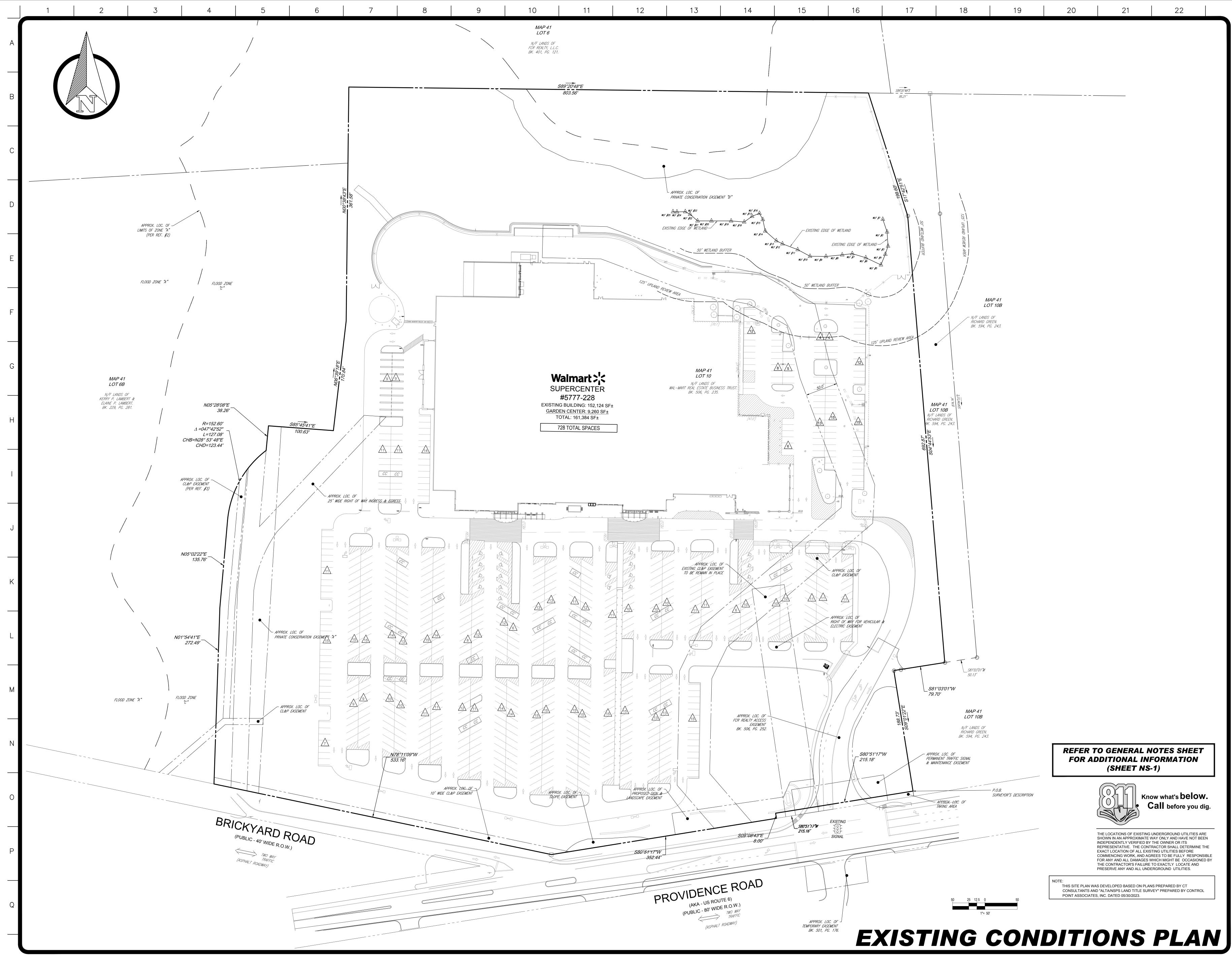
	TYPICAL ABE	BREV	IATIONS
KEY	DESCRIPTION	KEY	DESCRIPTION
BC	BOTTOM CURB	PROP.	PROPOSED
тс	TOP CURB	TBR/R	TO BE REMOVED AND REPLACED
BOC	BACK OF CURB	TBR	TO BE REMOVED
BW	BOTTOM OF WALL GRADE	TPF	TREE PROTECTION FENCE
TW	TOP OF WALL	BLDG.	BUILDING
EXIST.	EXISTING	SF	SQUARE FEET
BM.	BENCHMARK	SMH	SEWER MANHOLE
EOP	EDGE OF PAVEMENT	DMH	DRAIN MANHOLE
ዊ	CENTERLINE	STM.	STORM
FF	FINISHED FLOOR	SAN.	SANITARY
V.I.F.	VERIFY IN FIELD	CONC.	CONCRETE
GC	GENERAL CONTRACTOR	ARCH.	ARCHITECTURAL
HP	HIGH POINT	DEP.	DEPRESSED
LP	LOW POINT	R	RADIUS
TYP.	TYPICAL	MIN.	MINIMUM
INT.	INTERSECTION	MAX.	MAXIMUM
PC.	POINT OF CURVATURE	No. / #	NUMBER
PT.	POINT OF TANGENCY	W.	WIDE
PI.	POINT OF INTERSECTION	DEC.	DECORATIVE
PVI.	POINT OF VERTICAL INTERSECTION	ELEV.	ELEVATION
STA.	STATION	UNG.	UNDERGROUND
GRT	GRATE	R.O.W.	RIGHT OF WAY
INV.	INVERT	LF	LINEAR FOOT
DIP	DUCTILE IRON PIPE	LOD	LIMIT OF DISTURBANCE
PVC	POLYVINYL CHLORIDE PIPE	LOW	LIMIT OF WORK
HDPE	HIGH DENSITY POLYETHYLENE PIPE	L.S.A.	LANDSCAPED AREA
RCP	REINFORCED CONCRETE PIPE	±	PLUS OR MINUS
S	SLOPE	0	DEGREE
ME	MEET EXISTING	Ø / DIA.	DIAMETER

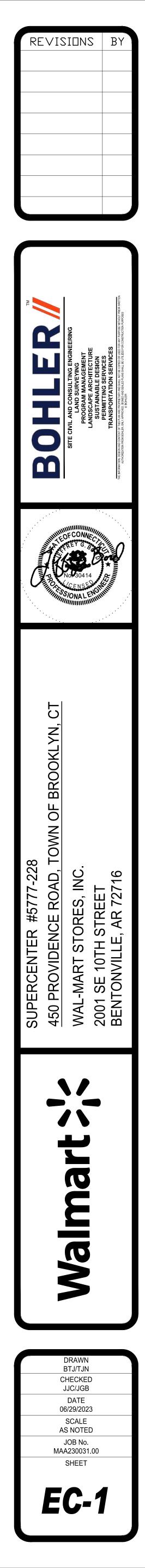
ΤΥΡ	ICAL LEGI	END
EXISTING		PROPOSED
	PROPERTY LINE	
	SETBACK	
	EASEMENT	
	CURB	
Ø	STORM MANHOLE	Ô
S	SEWER MANHOLE	Ô
	CATCH BASIN	Ĩ
₩F#5	WETLAND FLAG	
	WETLAND LINE	
× 54.83	SPOT ELEVATION	53.52
× TC 54.58 G 53.78	TOP & BOTTOM OF CURB	TC=54.32 BC=53.82
53	CONTOUR	
	FLOW ARROW	<b>5</b> %
	PAINTED ARROW	Ļ
	RIDGE LINE	
G	GAS LINE	GGG
<i>TT</i>	TELEPHONE LINE	₹
E	ELECTRIC LINE	EE
WW	WATER LINE	WW
ОНОН	OVERHEAD WIRE	—— ОН——— ОН———
= = = = = = = = = = = = =	STORM PIPE	
==========	SANITARY LINE	S
10	PARKING COUNT	
-	SIGN	-
$\diamond$	LIGHT POLE	
	GUIDE RAIL	I
ø	UTILITY POLE	ø

**REFER TO OVERALL SITE PLAN - STOP** SIGNS AND MARKINGS PLAN FOR **ZONING ANALYSIS TABLE AND LAND USE / ZONING INFORMATION & NOTES** 

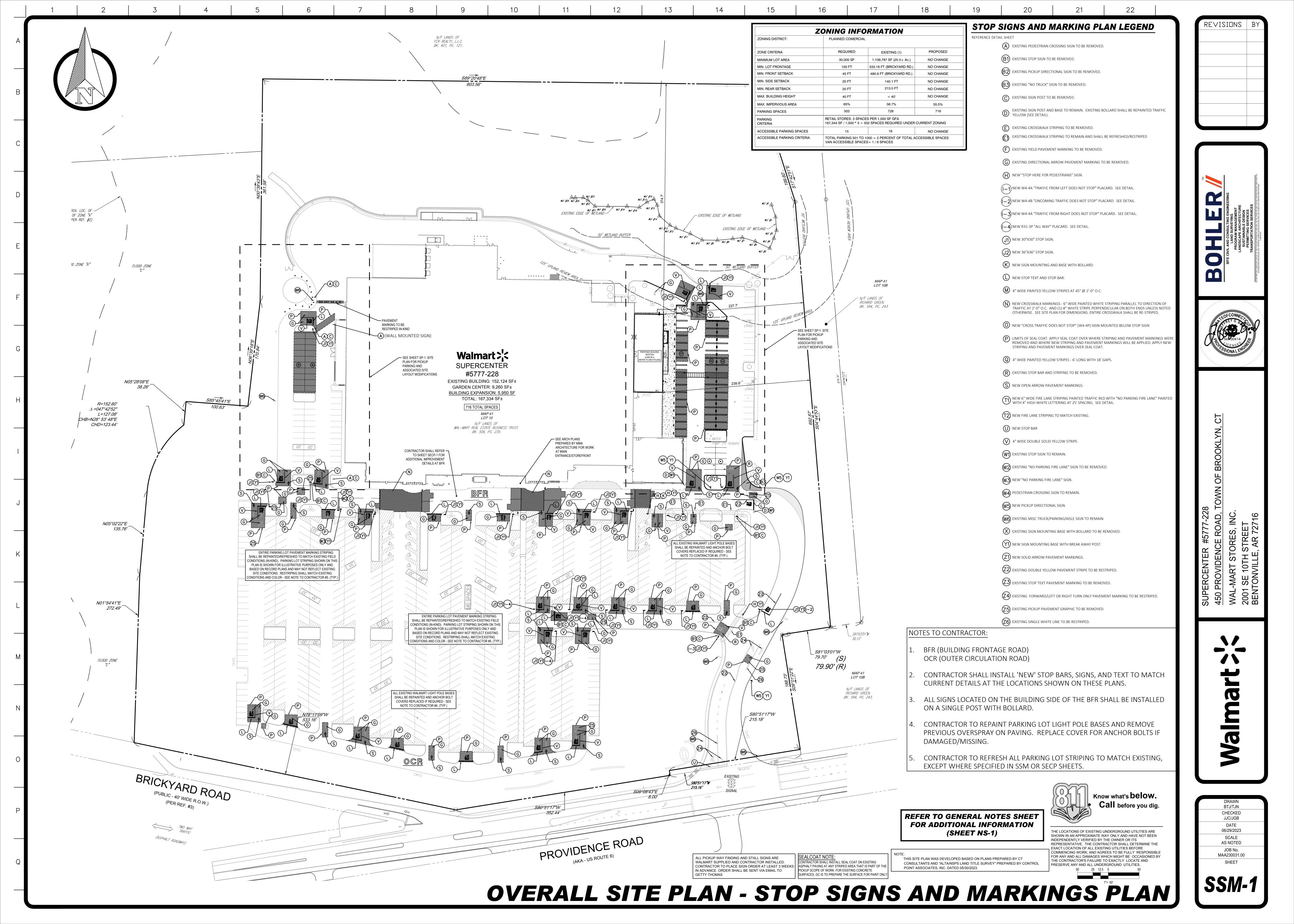
# **GENERAL NOTES SHEET**

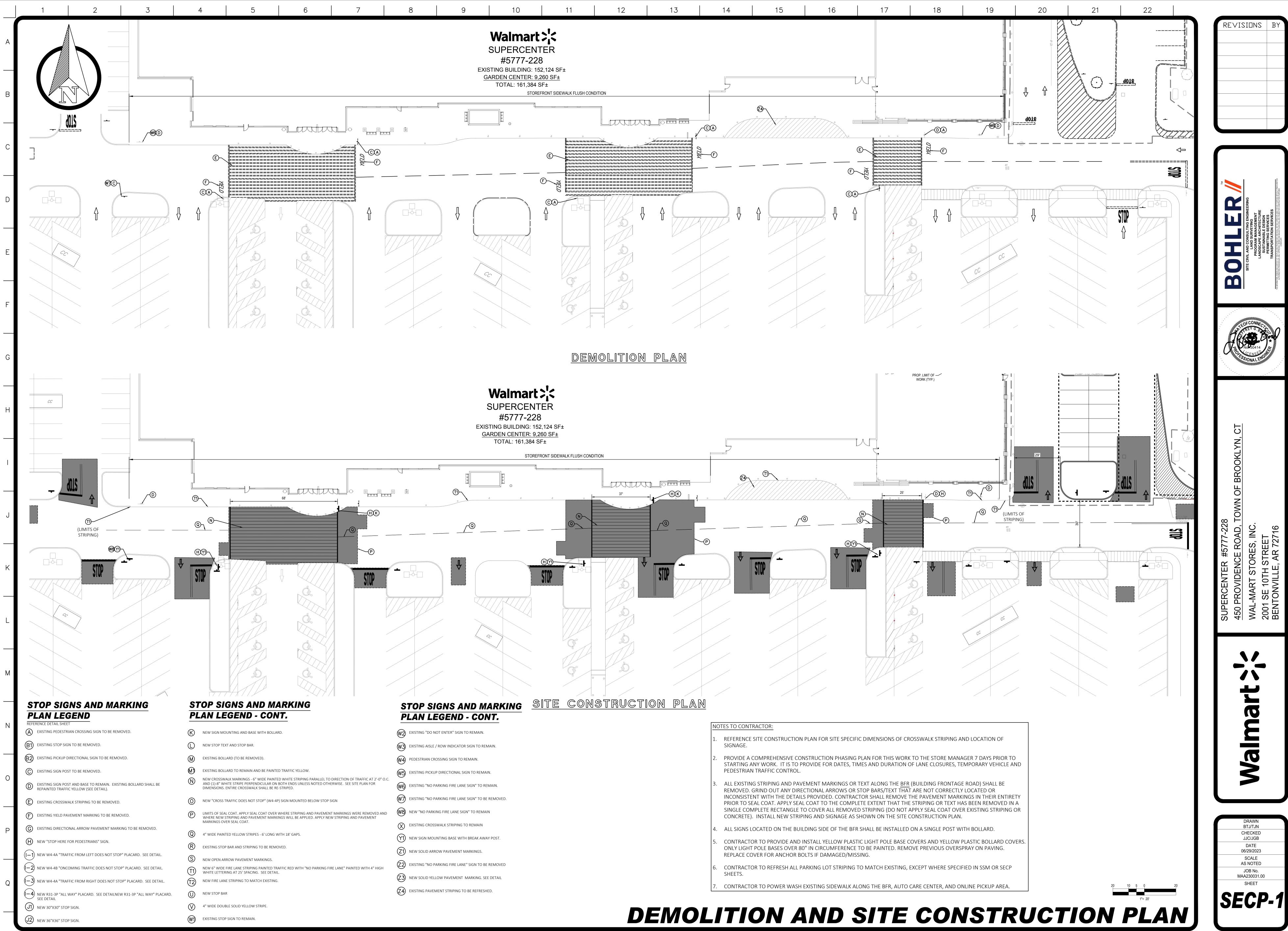


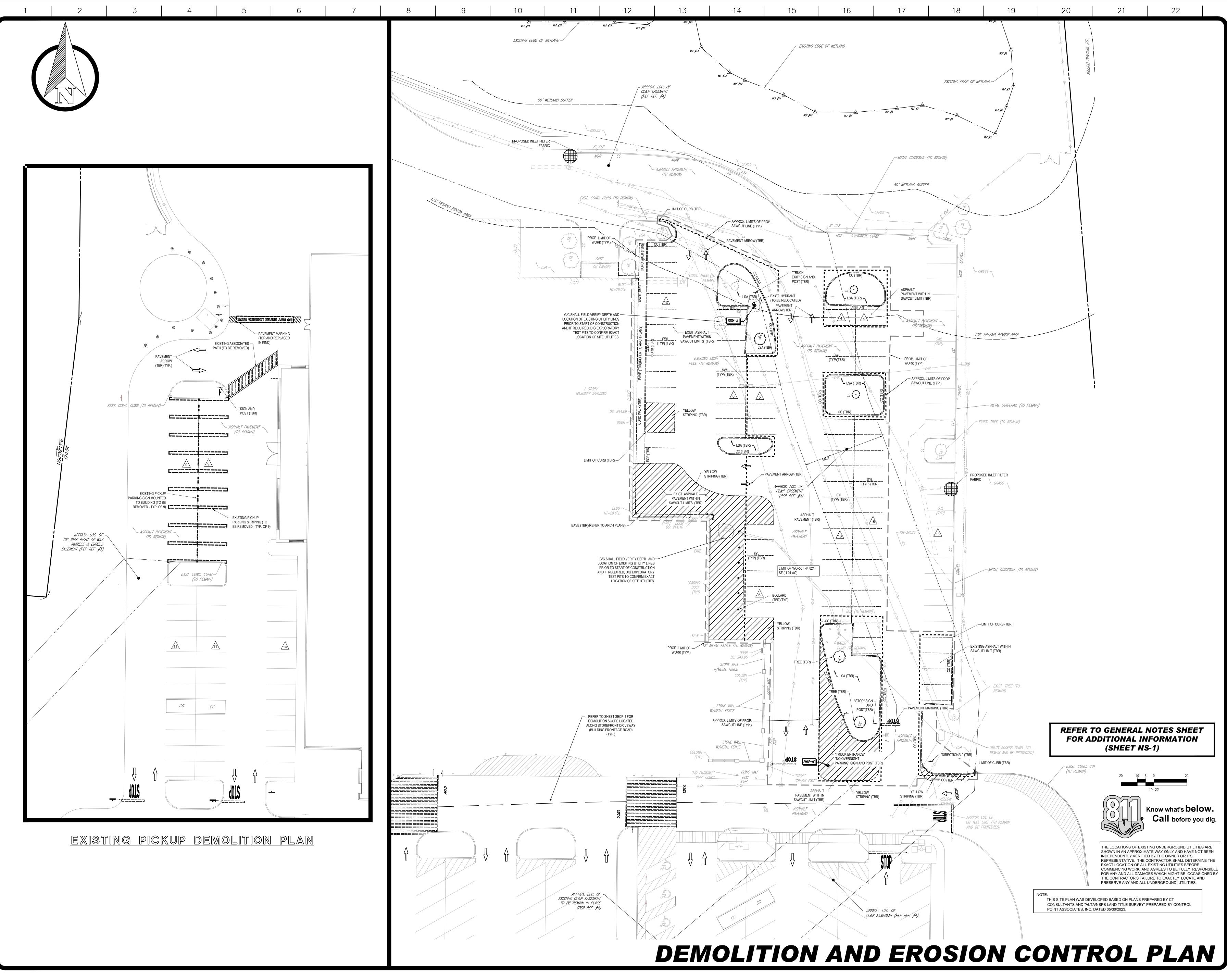


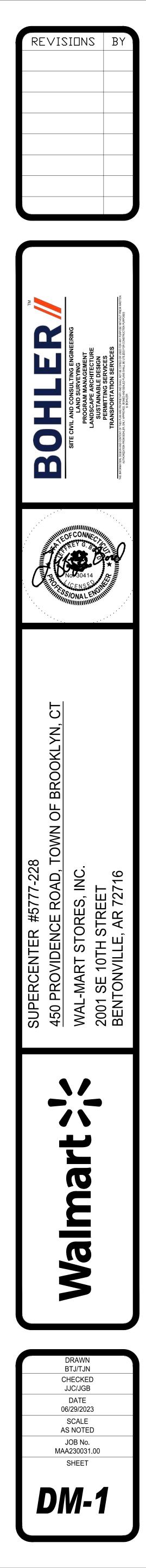


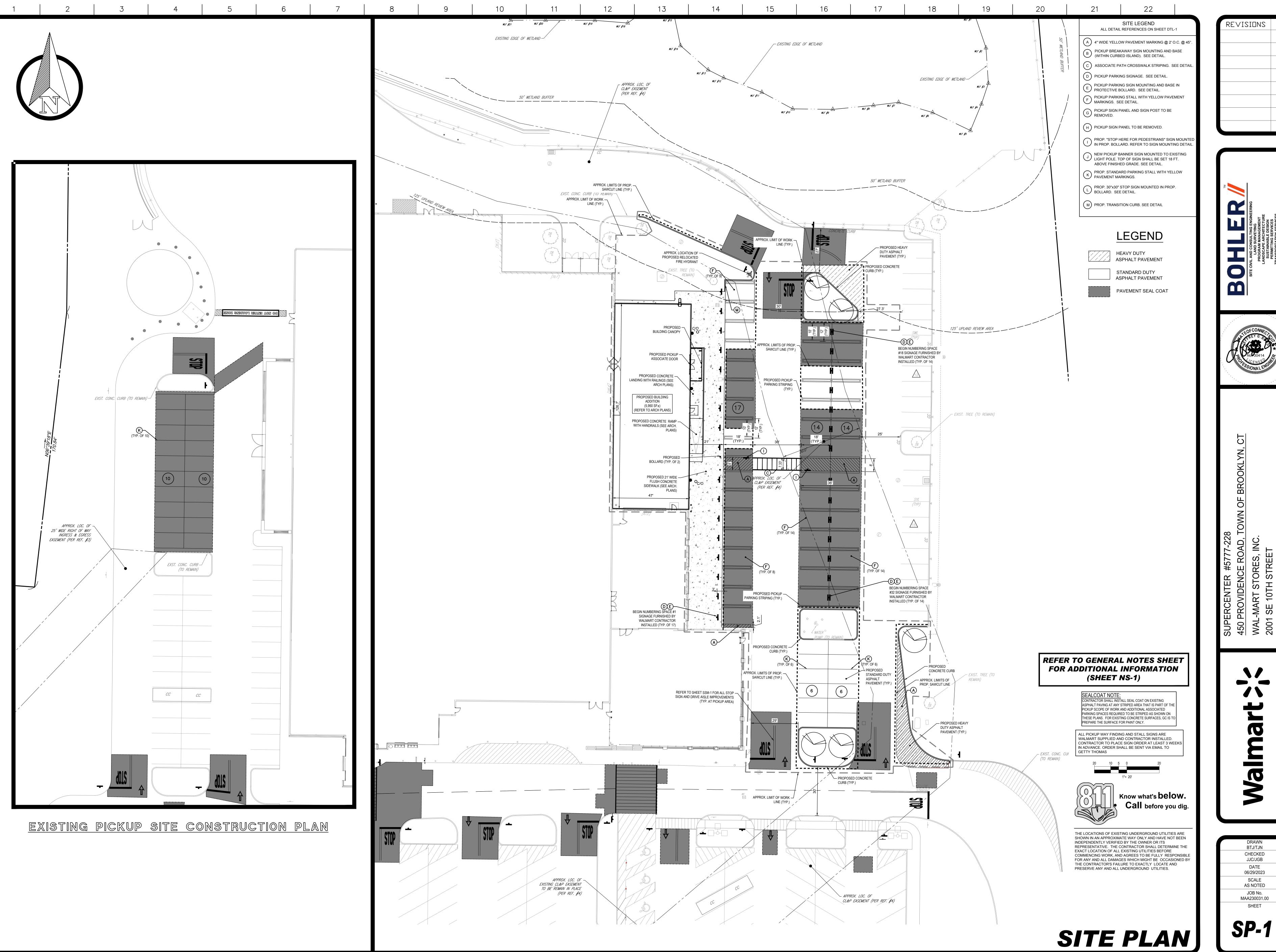






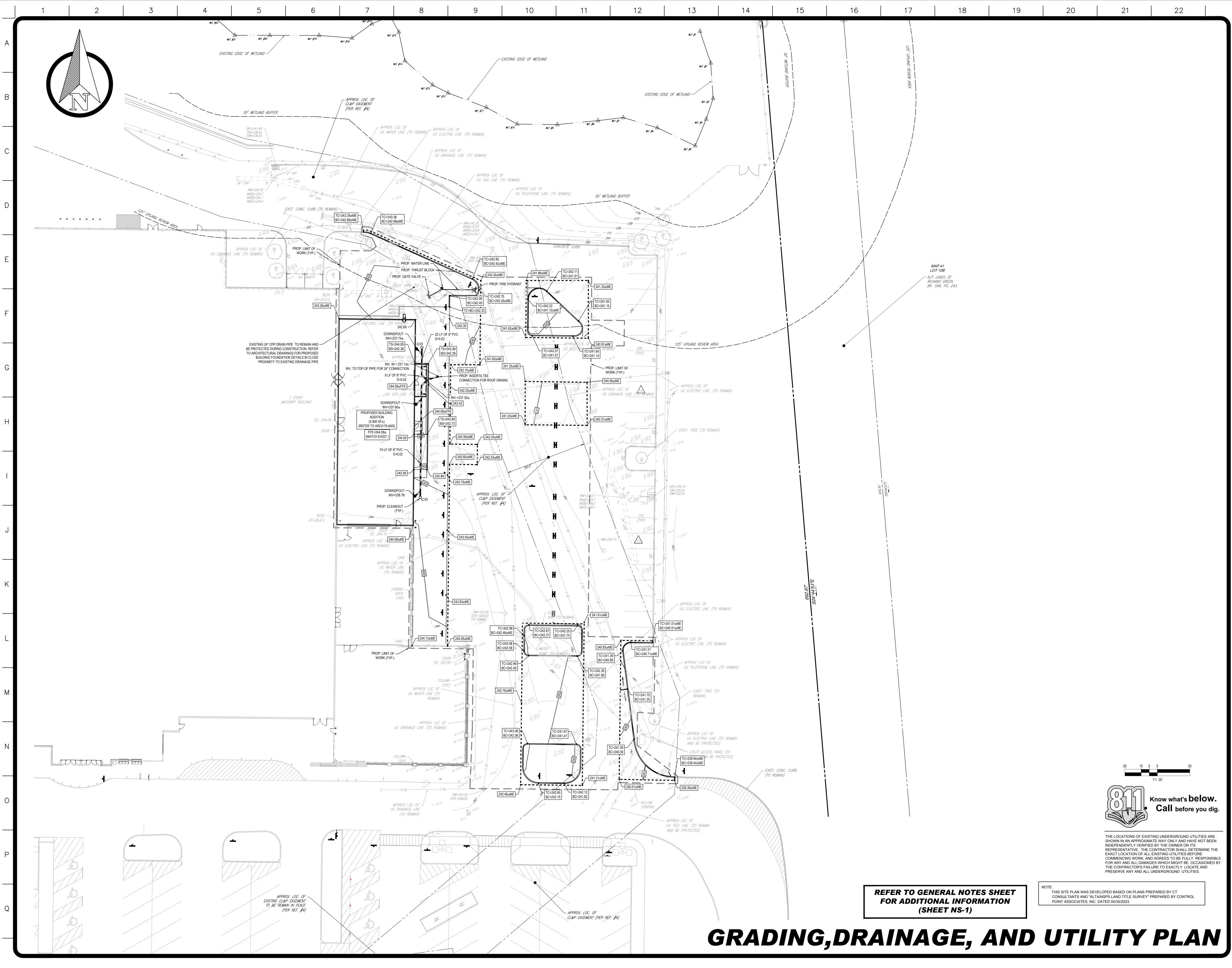


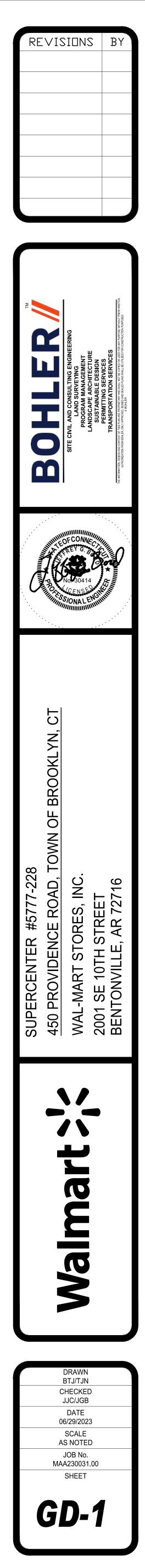




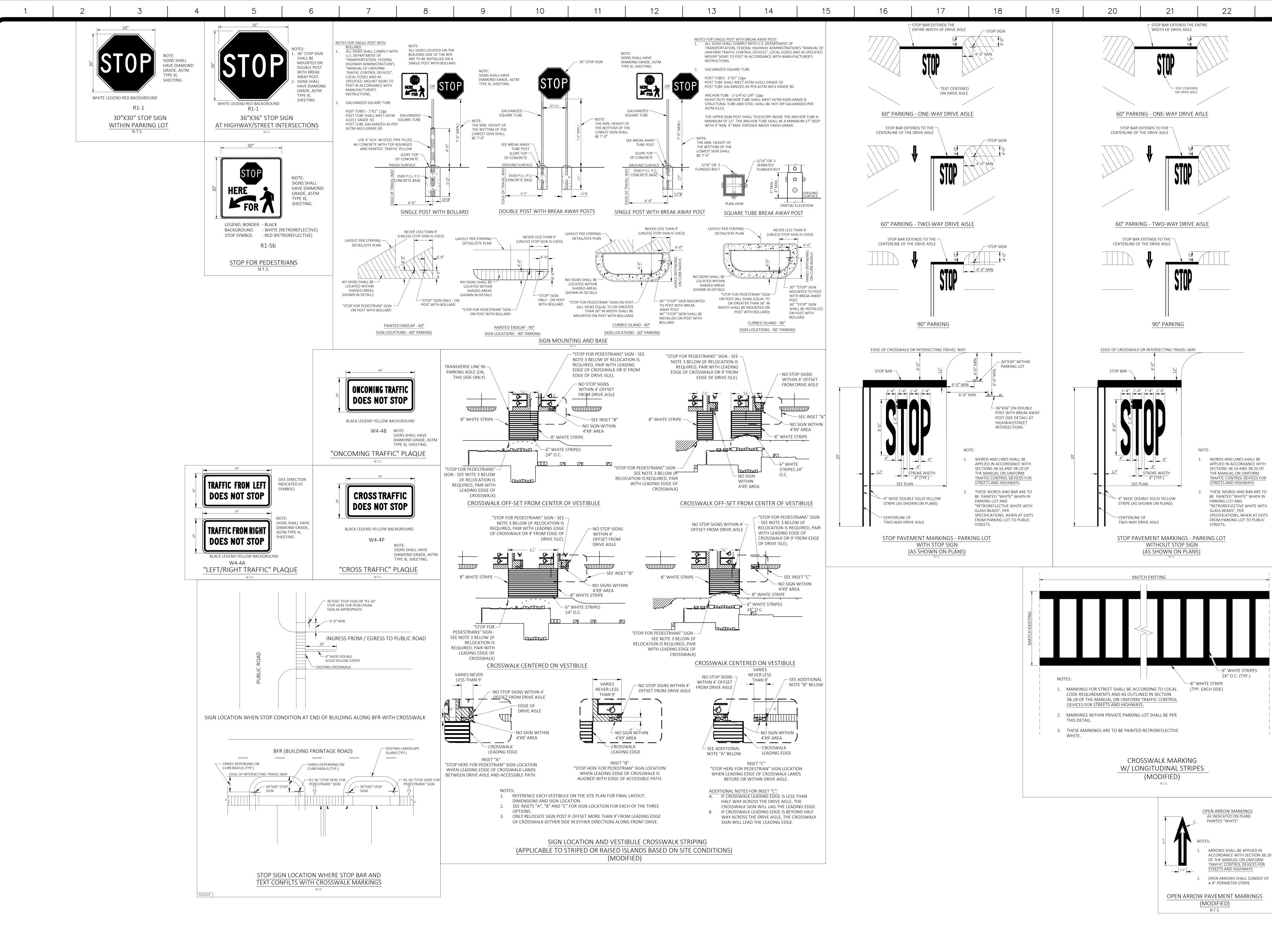
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# REVISIONS $\mathbf{O}$ шг $\geq$ BV D DRAWN BTJ/TJN CHECKED JJC/JGB DATE 06/29/2023 SCALE AS NOTED JOB No. MAA230031.00 SHEET

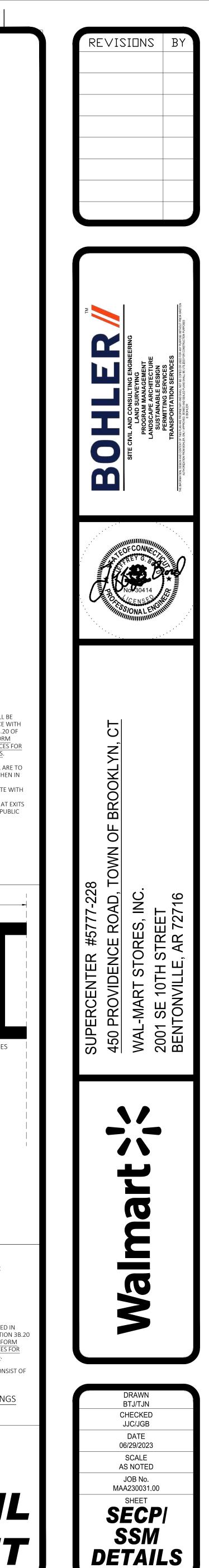


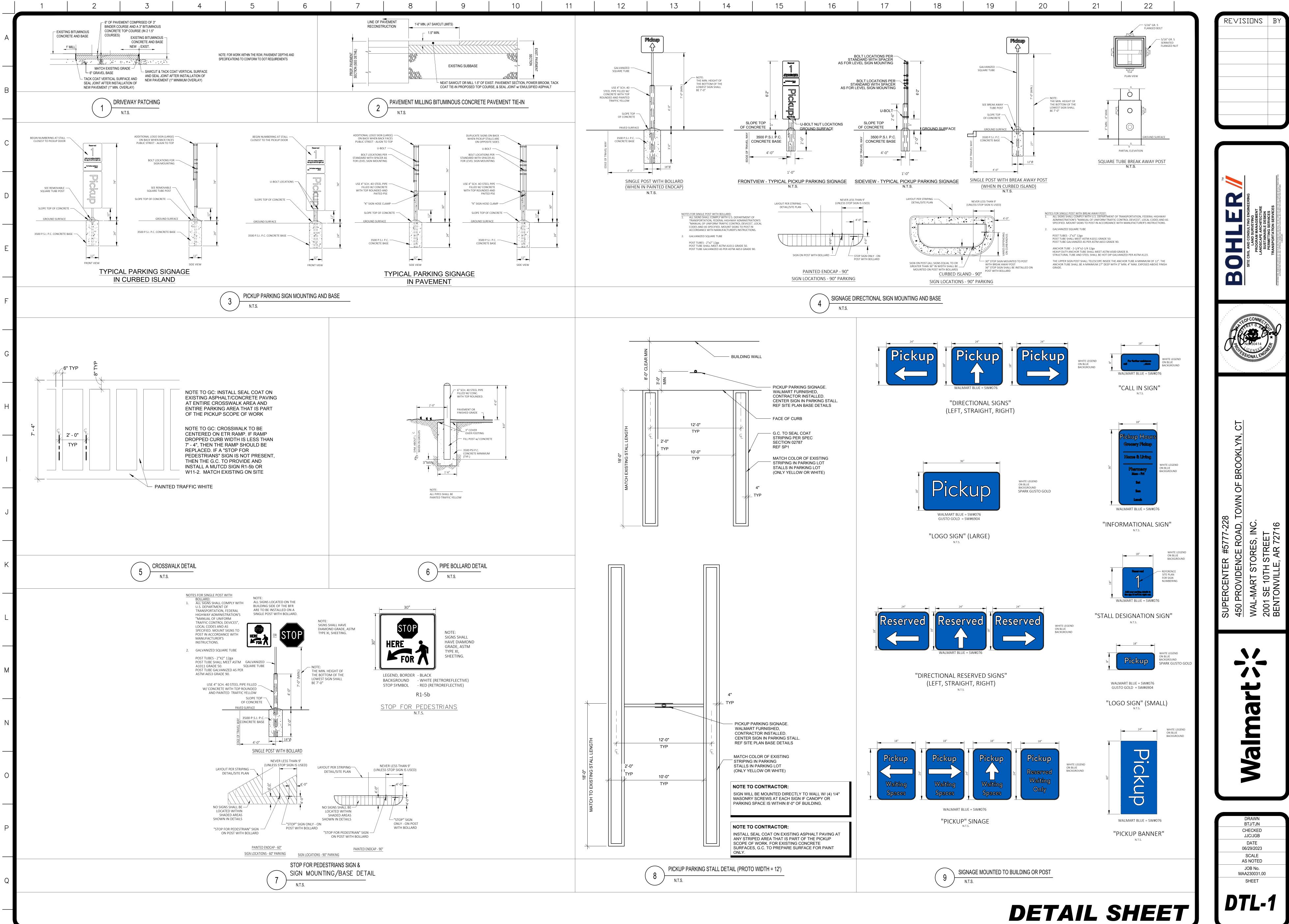


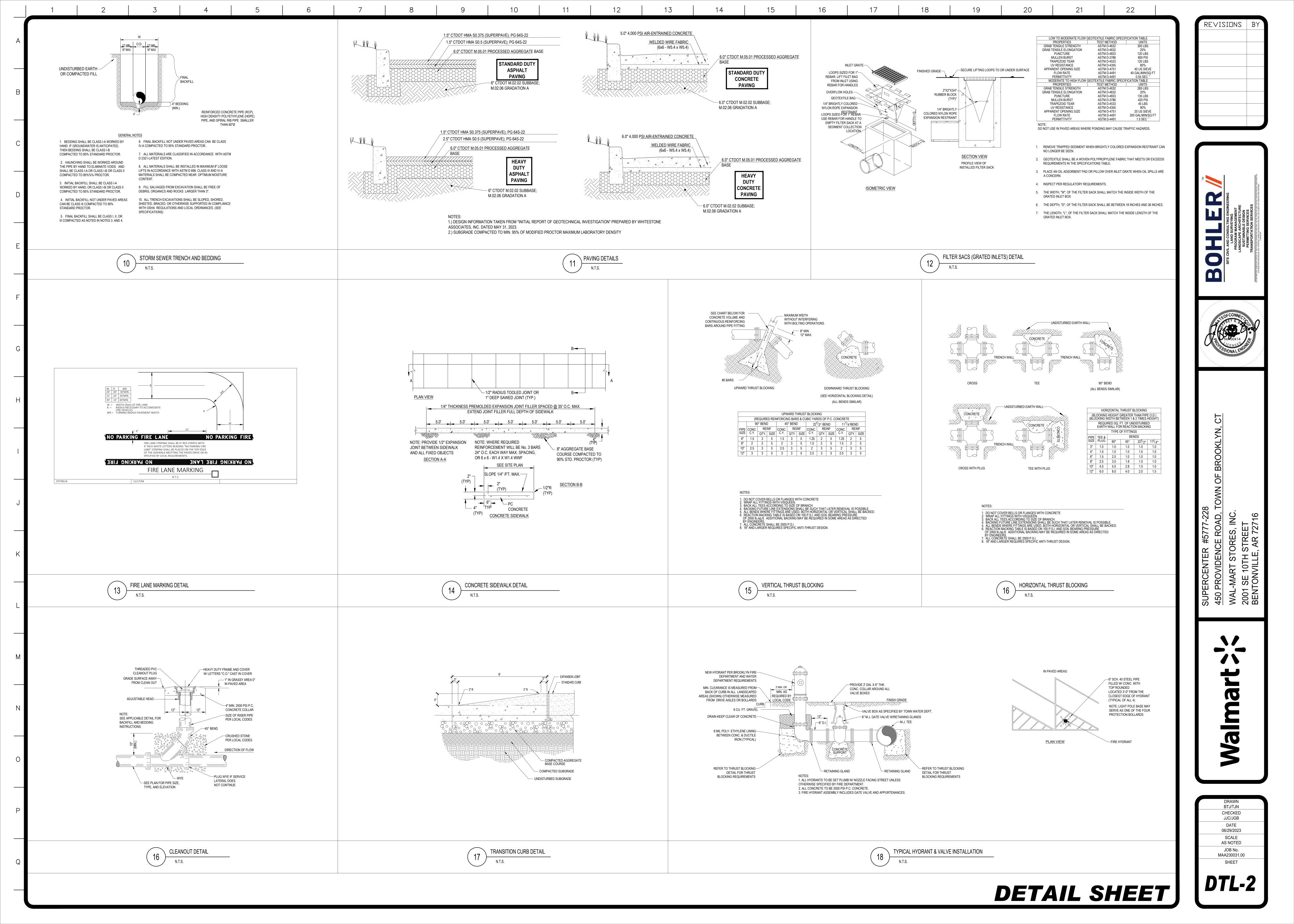


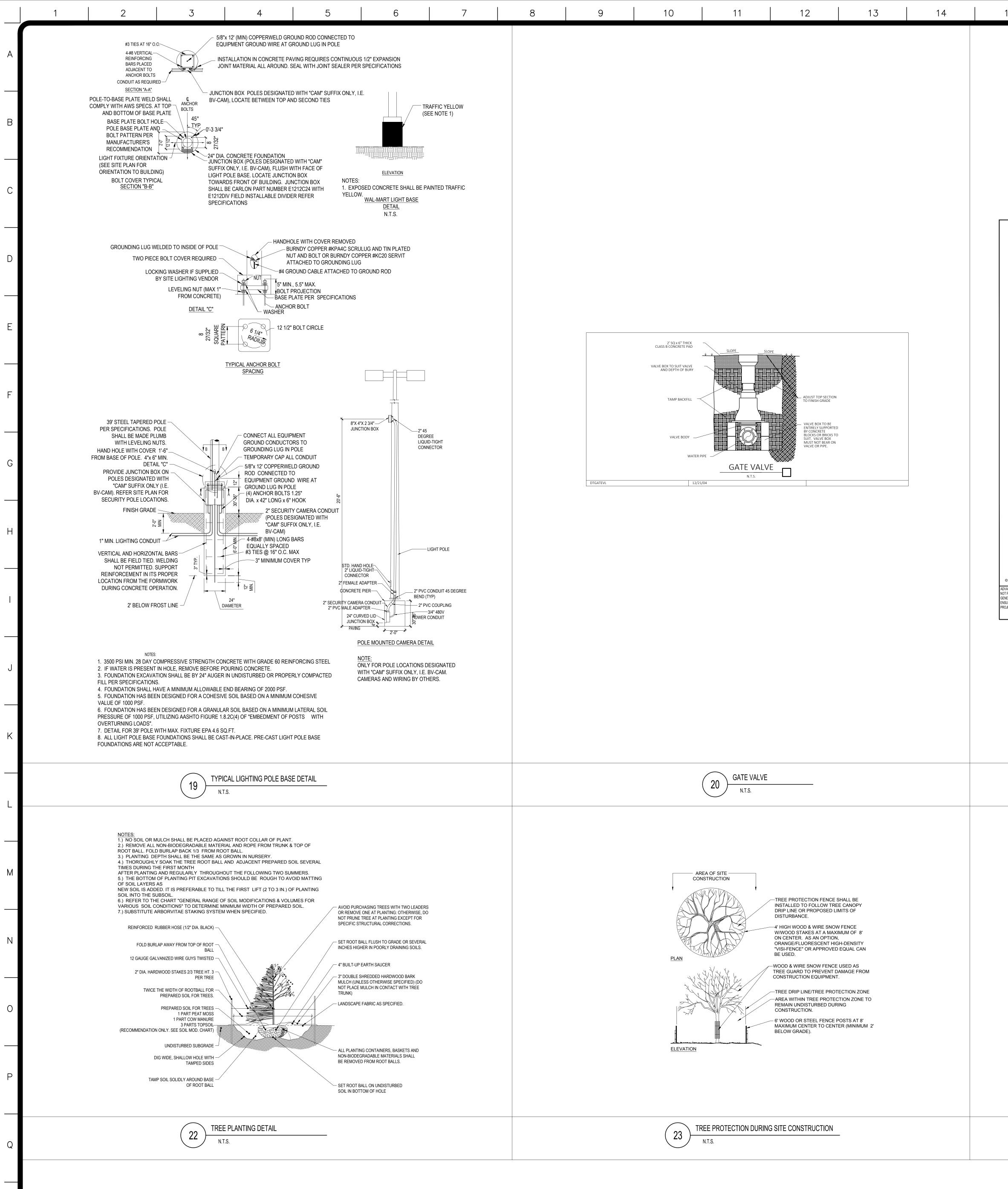


SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET







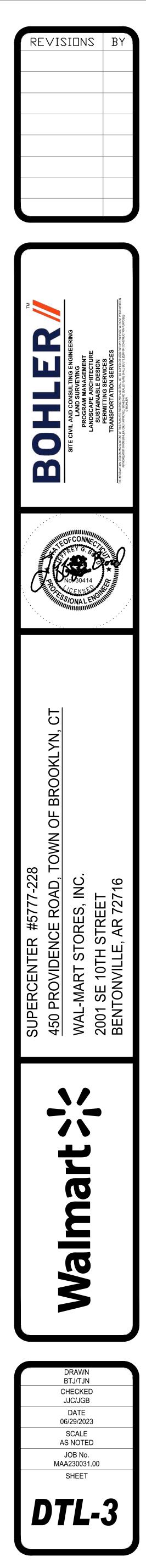


15	16	17	18	19		20		21	22	2
	INCLUDE: For lateral -Rubber Adapter	E COMPONENTS -PVC HUB (SIZED	RVICE TERAL	HIPE PERF. IR ILID PIP		- FINAL BACKFILL MIN. COVER T FLEXIBLE PAVEME - INITIAL BACKFILL - SPRINGLINE - HAUNCH	RECOM		T, H JM TRENCH WIE V. TRENCH VINTH	DTHS
<u>NOTES:</u>	CLAMP		"-24" PIP <u>E</u> "-60" PIPEMIN, (S	TRENCH WIDTH See Table)		— BEDDING — SUITABLE FOUNDATION	(1)	6" 50mm) ( 8"	21" (533mm) 23" (584mm) 26" (660mm) 28"	
UNDERGROU 2. MEASURE 3. THE INSE	JND INSTALLATION OF TH ES SHOULD BE TAKEN TO RTA TEE® CONNECTION S	ALLED IN ACCORDANCE WI ERMOPLASTIC PIPE FOR S PREVENT MIGRATION OF N SHOULD NOT BE PLACED A APPROVAL AND MAY REQU	SEWERS AND OTHER GRANNATIVE FINES INTO BACKF	VITY FLOW APPLIC	ATIONS" EN REQ	UIRED.	(2 (3 (3 (4	50mm) ( 12" 00mm) ( 15" 75mm) ( 18" 50mm) (	(711mm) 30' (762mm) 34' (864mm) 39' (991mm)	
ENGINEER A THE DESIGN 5. <u>BEDDING</u> :	ND REPLACE WITH SUITA ENGINEER, THE TRENCH SUITABLE MATERIAL SH	H BOTTOM IS UNSTABLE, T BLE MATERIAL AS SPECIFI BOTTOM MAY BE STABILIZ ALL BE CLASS I, II OR III. TH	ED BY THE ENGINEER. AS ZED USING A GEOTEXTILE HE CONTRACTOR SHALL F	AN ALTERNATIVE MATERIAL. PROVIDE DOCUMEN	AND AT	THE DISCRETION OF	<u>(6</u> (7	30" 50mm) (1 36"	48" (1219mm) 56" 1422mm) 64" 1626mm)	
4"-24" (100mr 6. <u>INITIAL BA</u> PIPE. THE CO	n-600mm); 6" (150mm) FOR <u>ACKFILL:</u> SUITABLE MATEI	S OTHERWISE NOTED BY 30"-60" (750mm-1500mm). RIAL SHALL BE CLASS I, II ( 1DE DOCUMENTATION FOF 321, LATEST EDITION.	OR III IN THE PIPE ZONE E	XTENDING NOT LE	SS THAN	I 6" ABOVE CROWN OF	(10 (12	42" 50mm) (1 48" 200mm) (1 54"	72" 1829mm) 80" 2032mm) 88" 2235mm)	
TO GROUND H, IS 12" UP	SURFACE. ADDITIONAL	H, IN NON-TRAFFIC APPLIC COVER MAY BE REQUIRED ND 24" OF COVER FOR 54"-( RIGID PAVEMENT.	TO PREVENT FLOTATION	. FOR TRAFFIC API	PLICATIO	ONS, MINIMUM COVER,	(15	60" 100mm) (2	2233mm) 96" 2438mm)	]
© 2016 ADS, INC.					REV.	DESCRIPTION	BY	MM/DD/YY CHK	<'D	RAWN BY
NOT PERFORMED ANY ENGINEER GENERAL RECOMMENDATIONS A	RING OR DESIGN SERVICES FOR THIS PROJECT, NO AND ARE NOT SPECIFIC FOR THIS PROJECT. THE D	ON INFORMATION PROVIDED TO ADS. THIS DRAWING OR HAS ADS INDEPENDENTLY VERIFIED THE INFORM JESIGN ENGINEER SHALL REVIEW THESE DETAILS PF ATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO	ATION SUPPLIED. THE INSTALLATION DETAILS PRO RIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINE	OVIDED HEREIN ARE EERS RESPONSIBILITY TO		SERTA TEE 'AIL (HDPE)		HILLIAR	RD, OHIO 43026	RAWN BY: JLE ATE: 11/5/10 K'D BY: CALE: NTS

INSERTA TEE DETAIL N.T.S.

AWING NUMBER: STD-1011







1		2	3		4		5		6		7
	SITE D	EMOLITION SPECE	FICATION								
	PART	1 - GENERAL									
	1.1	SUMMARY									
	A.		of structures, paving, filling voids created			or demolitio	on.				
	1.2	REGULATORY RE	QUIREMENTS								
	B. C.	<ul> <li>A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance. Obtain required permits and licenses from appropriate authorities. Pay associated fees including disposal charges.</li> <li>B. Notify affected utility companies before starting work and comply with their requirements.</li> <li>C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.</li> <li>D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.</li> </ul>									
	1.3	PROJECT CONDIT	IONS								
		Conditions existing a Unless otherwise ind removed from site an work specified.	icated in Contract D	ocuments o	or specified by	the Owner	r, items of sa	alvageable	value to Co	ntractor sh	
	PART	2 - PRODUCTS									
	2.1	FILL MATERIALS									
	A.	Fill material shall be and other organic ma		als consisti	ing of stone, g	ravel, or sa	and free from	n debris, t	rash, frozen 1	materials,	roots,
	2.2	CONCRETE									
		2. Slump Range	ce normal weight co	ncrete cons oduce follo , minimum	isting of Portla wing: at 28 days, un			_	-	xture,	
	PART	3 - EXECUTION									
	3.1	PREPARATION									
	В. С. D. Е.	Provide, erect, and m Construction Drawin starting any work. It Protect existing lands items to remain cause Prevent movement of Mark location of utili existing utility service temporary services d For work on operatin representative underg intended to provide a services. Notify adjacent prop Obtain written permi to their property. Co	gs. Provide a compu- is to provide for dat scaping materials, ap ed by demolition oper r settlement of adjac- ities. Protect and ma- te to occupied or use uring interruptions to g Walmart sites, pri- ground utility plans for pproximate location erty owners of work ssion from adjacent	rehensive co es, times an opurtenance erations. ent structure aintain in sa d facilities, o existing u for to any un from Walma s for Walma that may af property ov	onstruction ph nd duration of es, and structur es. Provide br afe and operab except when a tilities as acce nderground exc art for private art private util	asing plan lane closur res, which racing and le conditio authorized ptable to g cavation, c utilities that lities includ	for this wor res, tempora are not to be shoring as r on utilities th in writing b governing au contractor is at are not loo ding water, s	k to the st ry vehicle e demolish necessary. nat are to r by authorit athorities a expected cated by o sewer, elec	ore manager and pedestri ed. Repair of emain. Prev ies having ju nd Owner. to obtain cur thers. This ctrical, telepl ges, or other	• 7 days pri ian traffic lamage to ent interru risdiction. rent and is specific none and d	control. existing ption of Provide cally lata ns.
	3.2	GENERAL DEMOL									
	A. B. C. D.	Conduct demolition to Cease operations immoperations until direct Conduct operations v in specific areas when Sprinkle work with w Comply with governing Clean adjacent struct condition existing prints	to minimize interference mediately if adjacent of the by authority. with minimum of inter- re work is in progress water to minimize du ing regulations perta- ures and improveme	ence with ac structures a erference to ss. st. Provide ining to env	appear to be in public or priv hoses and wa vironmental pr	n danger. 1 vate access ter connec rotection.	Notify autho . Maintain i tions for this	ority havin ingress an s purpose.	d egress at al	ll times otl	her than
	3.3	DEMOLITION									
	B. C.	Demolish site improv limited to structures, Disconnect and cap of Fill or remove piping Demolish concrete an subgrade to permit m	foundations, pavement or remove utilities to g and appurtenances and masonry in small	ents, curbs a be abandor as shown. sections. E	and gutters, dr ned as shown o Break up concr	rainage stru on the drav rete slabs_o	uctures, utili wings. on_grade tha	ties, signa at are 2-fe	ge or landsca et or more be	aping. elow propo	osed
	3.4	PATCHING									

#### 3.4 PATCHING

A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

#### 3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter. B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content. D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

#### 3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on\_site or off\_site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

#### END OF SECTION

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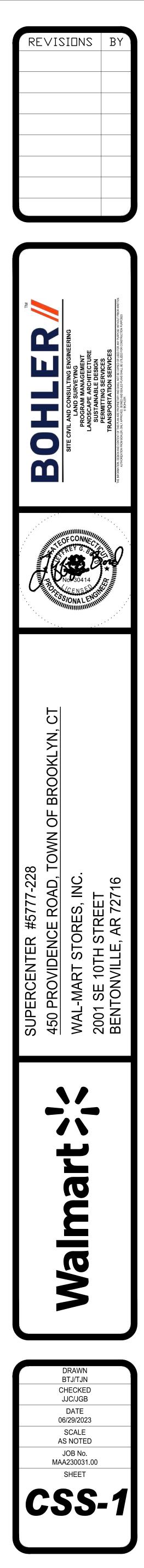
B 9 10 11 12 13 14 15	16 17 18 19 20 21 22
PAVEMENT MARKINGS SPECIFICATION	TRAFFIC SIGNS AND SIGNALS SPECIFICATION
PART 1 - GENERAL	PART 1 - GENERAL
.1 SUMMARY	1.1 SUMMARY
A. Section Includes:	A. Section Includes:
<ol> <li>Painting and marking of pavements, curbs, and guard posts (bollards)</li> </ol>	1. Traffic control signs.
.2 REFERENCES	<ul> <li>B. Related Requirements:</li> <li>1. Section 09900 - Painting. Painting for painted posts where shown on the Drawings.</li> </ul>
A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.	1.2 REFERENCES
<ul> <li>B. American Association of State Highway and Transportation (AASHTO): <ol> <li>AASHTO M247 - Glass Beads Used in Traffic Paints</li> <li>AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints</li> </ol> </li> <li>C. Master Painter's Institute (MPI): <ol> <li>MPI 32 - Traffic Marking Paint, Solvent Based.</li> <li>MPI 97 - Traffic Marking Paint, Latex.</li> </ol> </li> <li>D. ASTM International (ASTM): <ol> <li>ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.</li> </ol> </li> <li>E. Federal Specifications (FS):</li> </ul>	<ul> <li>A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by basic designation only.</li> <li>B. ASTM International (ASTM): <ol> <li>ASTM A53 - Pipe, Steel, Black and Hot_Dipped, Zinc_Coated Welded and Seamless.</li> <li>ASTM C94 - Ready Mix Concrete</li> <li>ASTM D4956 - Retroreflective Sheeting for Traffic Control.</li> </ol> </li> <li>C. US Department of Transportation, Federal Highway Administration: <ol> <li>Manual on Uniform Traffic Control Devices (MUTCD).</li> </ol> </li> </ul>
<ol> <li>FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)</li> <li>FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective</li> </ol>	PART 2 - PRODUCTS
<ol> <li>FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne</li> </ol>	2.1 SIGNS
<ul> <li>.3 PROJECT CONDITIONS</li> <li>A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights</li> </ul>	<ul> <li>A. Conform to US Department of Transportation <u>MUTCD.</u> Sign classification, type, size, and color shall be as shown on the drawings</li> <li>B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.</li> </ul>
as required.	2.2 POSTS
PART 2 - PRODUCTS 2.1 MATERIALS	<ul> <li>A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size sh be as shown on the Drawings.</li> <li>B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.</li> </ul>
A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.	2.3 CONCRETE
<ul> <li>B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.</li> <li>C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval. Paint shall be non_bleeding, quick_drying, and alkyd petroleum base paint suitable for traffic_bearing surface and be mixed in accordance with manufacturer's instructions before application for colors White, Yellow, Blue, and Red.</li> <li>D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.</li> <li>E. Pickup Area Pavement Marking Paint: Paint shall conform to the requirements specified herein for solvent borne or waterborne paints, with exception of the relevant difference due to the material being supplied in a color other than white or yellow.</li> </ul>	<ul> <li>A. Mix concrete and deliver in accordance with ASTM C 94.</li> <li>B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water_reducing admixture, air_entraining admixture, and water to produce following: <ol> <li>Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.</li> <li>Slump Range: 1 to 3-inches at time of placement</li> <li>Air Entrainment: 5 to 8 percent</li> </ol> </li> </ul>
1. Color: Orange, according to the following mix rate:	PART 3 - EXECUTION
Gallon     Color       5     X, II	3.1 PREPARATION
5     Yellow       1     Red       6     Orange	A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems electric, telephone, fiber optic, cable and gas.
	3.2 INSTALLATION
2. Contractor's Option: In lieu of field mixing, limited quantities of pre-mixed orange marking paint conforming to the requirements specified herein are available for purchase from select national coatings suppliers.	<ul><li>A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.</li><li>B. Install signs of the type and at locations shown on the Drawings.</li><li>C. Install posts of the type as shown on the drawing.</li></ul>
PART 3 - EXECUTION	D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.
.1 EXAMINATION	END OF SECTION
A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.	
.2 PREPARATION	
<ul> <li>A. Sweep and clean surface to eliminate loose material and dust.</li> <li>B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle</li> </ul>	
or pedestrian traffic.	SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.
3 CLEANING EXISTING PAVEMENT MARKINGS	SMALL PROJECT SEAL COAT SPECIFICATION:
A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans.	IN GENERAL:
Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.	· CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH
4 APPLICATION	MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.
A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet	APPROVED MATERIALS:
<ul> <li>per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 ½ mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.</li> <li>B. Install pavement markings according to manufacturer's recommended procedures for the specified material.</li> </ul>	1) <u>STAR PRODUCTS</u> · <u>MICRO-PAVE PRO-BLEND</u> WITH ADDED SAND · SINGLE COAT
<ul> <li>C. Following items shall be painted with colors noted below:</li> <li>1. Pedestrian Crosswalks: White</li> <li>2. Exterior Sidewalk Curbs and Guard posts: Yellow</li> </ul>	<ul> <li>2) <u>SEAL MASTER</u></li> <li><u>POLYMER MODIFIED MASTERSEAL</u> WITH ADDED SAND</li> <li>SINGLE COAT</li> </ul>
<ol> <li>Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).</li> <li>Fire Lanes: Red or per local code.</li> <li>Lane Striping where separating traffic moving in opposite directions: Yellow.</li> <li>Lane Striping where separating traffic moving in the same direction: White.</li> </ol>	3) <u>GEM SEAL BLACK DIAMOND XL</u> • WITH ADDED SAND
<ol> <li>ADA Symbols: Blue or per local code.</li> <li>ADA parking space markings as shown on the drawings.</li> <li>Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.</li> <li>Associate Parking Area: White, unless otherwise noted on Construction Drawings.</li> </ol>	<ul> <li>SINGLE COAT</li> <li>MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.</li> </ul>
<ul> <li>10. "Associate Farking Area. white, thress otherwise noted on construction Drawings.</li> <li>11. "Pickup" area striping and other areas as shown on site plan and in associated details - Orange, as specified herein.</li> <li>D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.</li> </ul>	
.5 FIELD QUALITY CONTROL	
<ul> <li>A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.</li> </ul>	
.6 CLEANING	
A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.	

Gallon	Color
5	Yellow
1	Red
6	Orange

spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

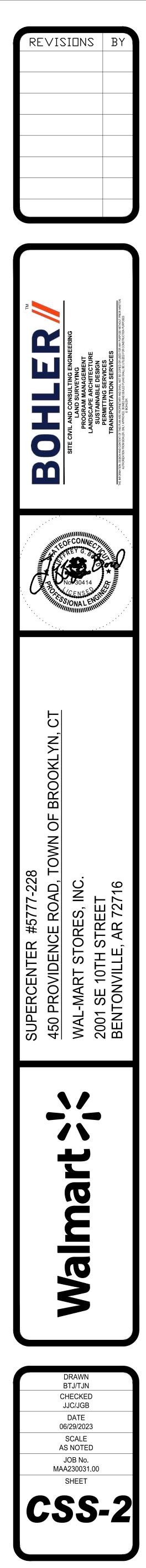
## END OF SECTION

**SPECIFICATIONS** SHEET

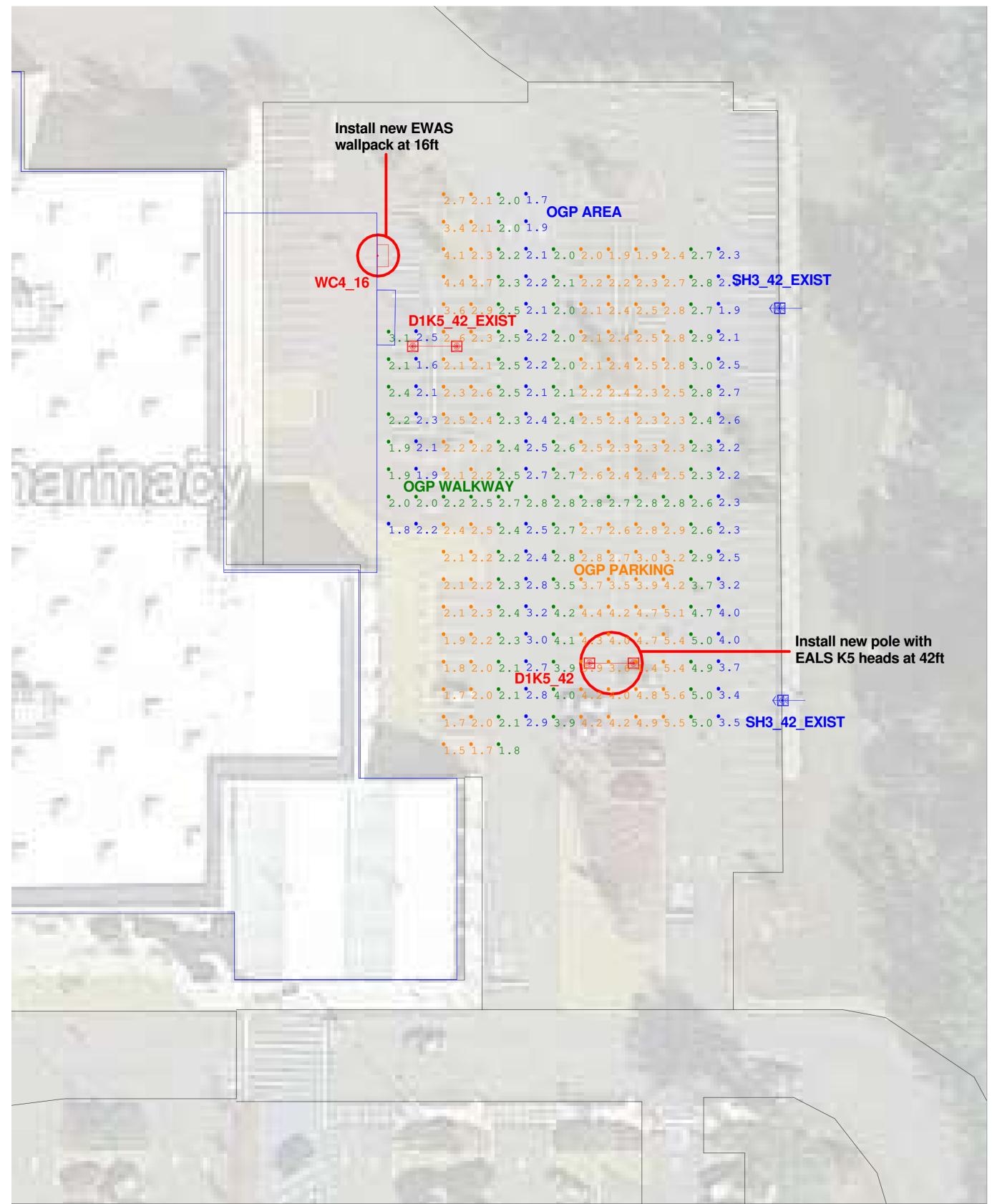


SEAL COAT SPECIFICATION	2.3 FOLIDMENT
PART 1 - GENERAL	2.3 EQUIPMENT
1.1 SUMMARY	A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with
A. Section Includes:	tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.
<ol> <li>Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.</li> <li>B. Related Requirements:</li> </ol>	<ul><li>B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.</li><li>C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined</li></ul>
<ol> <li>Site Demolition Specification</li> <li>Pavement Markings Specification</li> </ol>	proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.
3. Traffic Signs and Signals Specification	D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to
1.2 REFERENCES	prevent loss of slurry on varying grades and adjusted to assure uniform spread. There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The
A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.	box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted. E. Clean equipment with a petroleum solvent if previously used with a different material.
B. ASTM International (ASTM)	F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied
<ol> <li>ASTM C 136 - Method of Sieve Analysis of Fine and Coarse Aggregate</li> <li>ASTM D 217 - Method for Cone Penetration of Lubricating Grease</li> </ol>	by machine. G. Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to
<ol> <li>ASTM D 244 - Test Methods for Emulsified Asphalts</li> <li>ASTM D 562 - Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer</li> </ol>	assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.
<ul> <li>5. ASTM D 977 - Emulsified Asphalt</li> <li>6. ASTM D 2397 - Cationic Emulsified Asphalt</li> </ul>	2.4 PREPARATION
<ul> <li>7. ASTM D 2042 - Method for solubility of Asphalt Materials in Trichloroethylene</li> <li>8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal</li> </ul>	A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site
9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements	Demolition. B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the
1.3 ADMINISTRATIVE REQUIREMENTS	<ul> <li>In the drawing base course and replacing with full depth asphalt at locations and as shown on the drawings.</li> <li>Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM)</li> </ul>
A. Pre_installation Meeting: Convene a pre_installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job	<ol> <li>Repairs not specifically shown on the plans but considered necessary by the contractor, store manager of construction manager (Civi) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.</li> <li>Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will</li> </ol>
foreman. 1. Contact Wal Mart Construction Manager three weeks prior to pre installation conference to confirm schedule.	<ul> <li>2. Repairs sublified by RFT and approved shall be performed as directed by the CEC. Cost for such work directed and performed with be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.</li> <li>C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed</li> </ul>
2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:	<ul><li>or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.</li><li>D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each</li></ul>
a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).	other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the
<ul> <li>b. Review proposed sources of materials.</li> <li>c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If</li> </ul>	<ul> <li>Beaution and selection and selection and selection and selection and selection of selection of seal</li> <li>For the existing manholes, inlets, values, values, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal</li> </ul>
crack sealing is needed (reference section 2.4.C below) or other areas of pavement distress are noted during tour, submit appropriate RFI to project team for review.	coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.
<ul> <li>d. Review requirements for protecting paving work, including restriction and redirection of traffic during installation and curing period.</li> </ul>	<ul> <li>F. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas.</li> </ul>
e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.	Partition off limits of current seal coat operations until surface is traffic ready. G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at
<ul> <li>f. Review paving requirements (drawings, specifications, and other contract documents).</li> <li>g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.</li> </ul>	least 24 hours after the seal coat application.
h. Review health and safety precautions relating to handling and placement of seal coat.	2.5 APPLICATION
1.4 QUALITY ASSURANCE	<ul><li>A. Apply seal coat at a total rate (undiluted) of 0.17gal./SY.</li><li>B. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.</li></ul>
A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.	<ul><li>D. Dampen pavement with a log spray of water if anotent temperatures exceed of 1. No standing water shall remain on the surface.</li><li>C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.</li><li>D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.</li></ul>
1.5 SITE CONDITIONS	<ul> <li>E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable</li> </ul>
A. Weather Limitations: Apply seal coat only under the following weather conditions:	the mixture to withstand vehicle traffic without damage to the seal coat. F. The finished surface shall present a uniform texture with no streaks.
<ol> <li>The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.</li> <li>Pavement temperature is above 55 F.</li> </ol>	<ul> <li>G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.</li> </ul>
<ol> <li>Surface is dry and no moisture is expected within 24 hours.</li> <li>Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a</li> </ol>	<ul> <li>H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the</li> </ul>
reasonable time. B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary	shan be as specified by the supplier. The surface shan be checked after the additional drying time for trafficability before opening the section to vehicle traffic.
striping, flagmen, barricades, warning signs, and warning lights as required.	END OF SECTION
PART 2 - PRODUCTS	
2.1 MATERIALS	
A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.	
B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a ph not greater than 7.0, and solids content not less than 45 percent may be used.	
The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.	
<ul><li>C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.</li><li>D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.</li></ul>	
<ul><li>E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.</li><li>F. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.</li></ul>	
2.2 COMPOSITION	
A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet	
the requirements shown in the following Table 1.	
TABLE 1 - Undiluted Seal Coat Design Properties	
MethodMinimumMaximumWeight (per gallon), ASTM D 244, lbs9.0	
Weight (per gallon), ASTM D 244, lbs9.0Cone Penetration, ASTM D 217, mm340700	
% Non-Volatile <sup>1</sup> 50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 20421035Wet Track Abrasion Loss, ASTM D 3910, g35	
Wet Track Abrasion Loss, ASTM D 3910, g     35       Viscosity, ASTM D 562, KU     75	
Dried Film Color Black	
<sup>1</sup> Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool,	
reweigh and calculate non-volatile residue as a percent of the original mass.	

# **SPECIFICATIONS SHEET**







Scale: 1 inch= 25 Ft.

L93 = OPERATING HOURS AT WHICH AN AVERAGE OF 8% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 93% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

L95 = OPERATING HOURS AT WHICH AN AVERAGE OF 5% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 95% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERAT WITH A REDUCED LIGHT OUTPUT

IN COMPARISON, NON-LED LUMINAIRES ARE RATED WITH MEAN LUMENS MEASURED AT 40-50% OF RATED LIFE, DEPENDING ON TECHNOLOGY, AND RATED LIFE OF B50, WHERE B50 = OPERATING HOURS AT WHICH 50% OF A TESTED POPULATION OF LAMPS HAVE FAILED.

PROPERTY LINES BASED OFF PROVIDED LIGHTING RETROFIT SURVEY AND GOOGLE EARTH PRO. CALCULATION AREAS TREATED AS OPEN AND EMPTY. NO TREES ARE CONSIDERED IN THE DESIGN, ACTUAL VALUES MAY VARY FROM CALCULATED VALUES SHOWN. LED STATISTICS SHOWN ARE AT 50000 HOURS L93 & L95 RATING (~12 YEARS @ 12 HRS/DAY)

### Notes:

This is a remodel request for the OGP area on a site that has already been retrofit to LED fixtures in 2018 Material with "exist" label is already installed on site and is included here as light contribution only All other material is what is being added to increase the lighting in the OGP Pick up area per request

Calculation Summary Illuminance Foot-candles							
Label	Avg	Max	Min	Avg/Min	Max/Min		
OGP AREA	2.5	4.0	1.6	1.6	2.5		
OGP PARKING	2.9	5.6	1.5	1.9	3.7		
OGP WALKWAY	2.7	5.0	1.8	1.5	2.8		
Property Line	0.0	0.2	0.0	N.A.	N.A.		

## **Current Luminaire Schedule**

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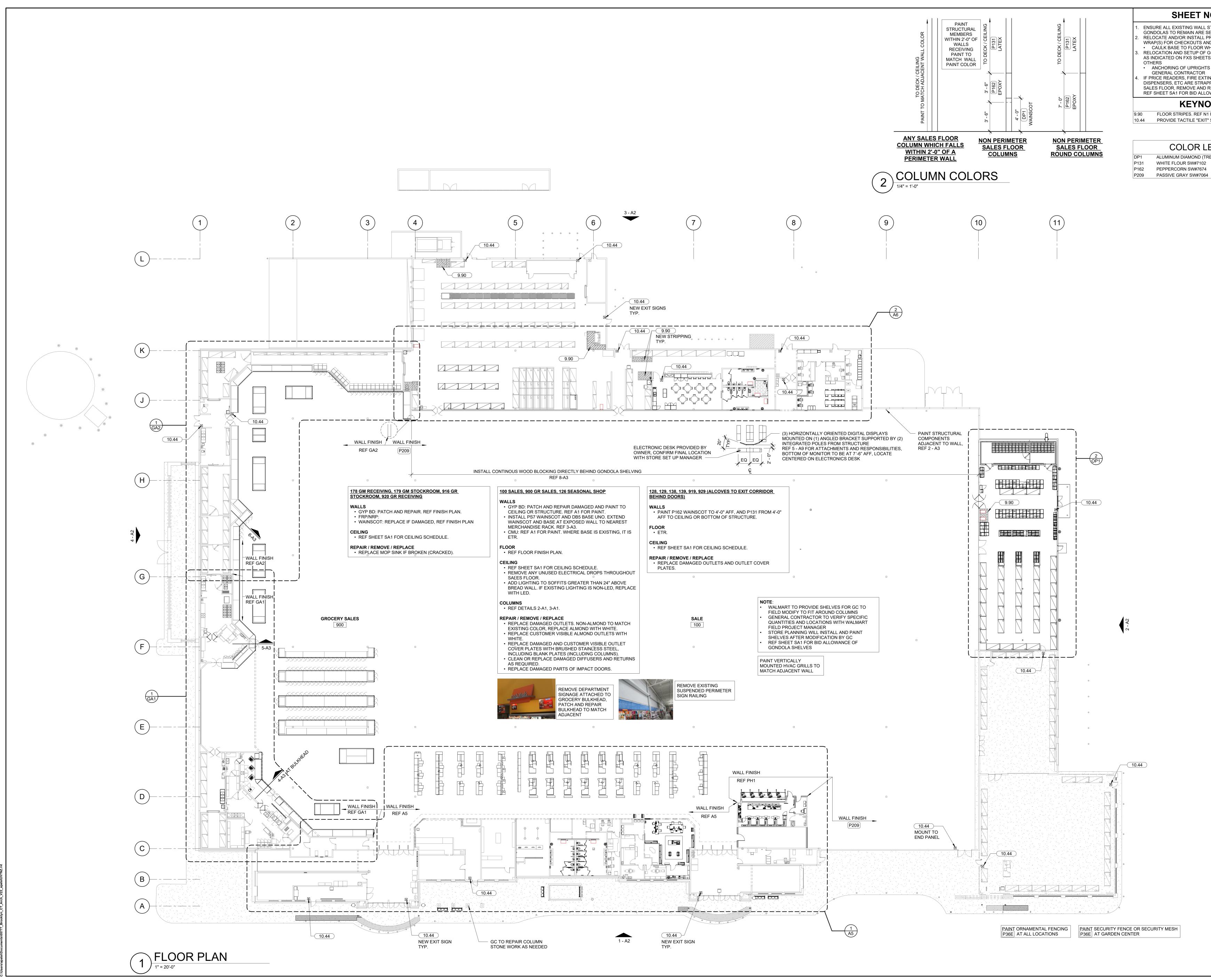
#### **EXISTING MATERIAL** Project: EXISTING MATERIAL LLF Description Qty Label Arrangement Svmbol SINGLE 0.855 1-EALP015H3AW750NDD1BLCKF 39ft pole on 3ft base 2 SH3\_42\_EXIST 0.855 2-EALP015K5SM750NDD1BLCKF 39ft pole on 3ft base D1K5\_42\_EXIST BACK-BACK 548

#### **ADDITIONAL MATERIAL Current Luminaire Schedule Project: NEW MATERIAL** Qty Label LLF Description Arr. Arrangement Svmbol D1K5\_42 D180 0.837 2-EALS035K5SM750NDD1BLCKF 39ft pole on 3ft base 478 0.837 1-EWAS010C4AF740N1FMBLCK mounted at 16ft WC4\_16 SINGLE 56 1

. Watts	Arr. Lum. Lumens	BUG Rating	[MANUFAC]
3	21300	B3-U0-G2	CURRENT LIGHTING
3	60000	B5-U0-G3	CURRENT LIGHTING

Watts	Arr. Lum. Lumens	BUG Rating	[MANUFAC]
	60000	B5-U0-G3	CURRENT LIGHTING
	7500	B1-U0-G2	CURRENT LIGHTING

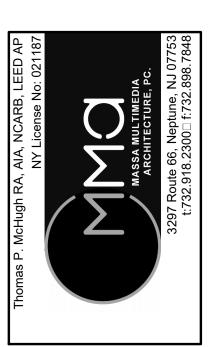
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ALEXISTING LUMINATHE LOCATIONS TARGET: 116 OGP Parking 1.5 OGP Walkway		expected, I n method ing system ete discus
1fc OGP Area +/- 10% is allowed and corners can be 0.7fc 10x10' CALCULATION GRID SPACING HORIZONTAL POINTS AT GRADE. VERTICAL POINTS AT 5' AFG.	Drawing #: Walmart #5777 Brooklyn, CT OGP - A200700C.AGI	ifferences but in extreme cannot handle n, they may sision of the ht and its Effer ht and its Effer enter om



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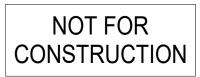


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CONSULTANTS

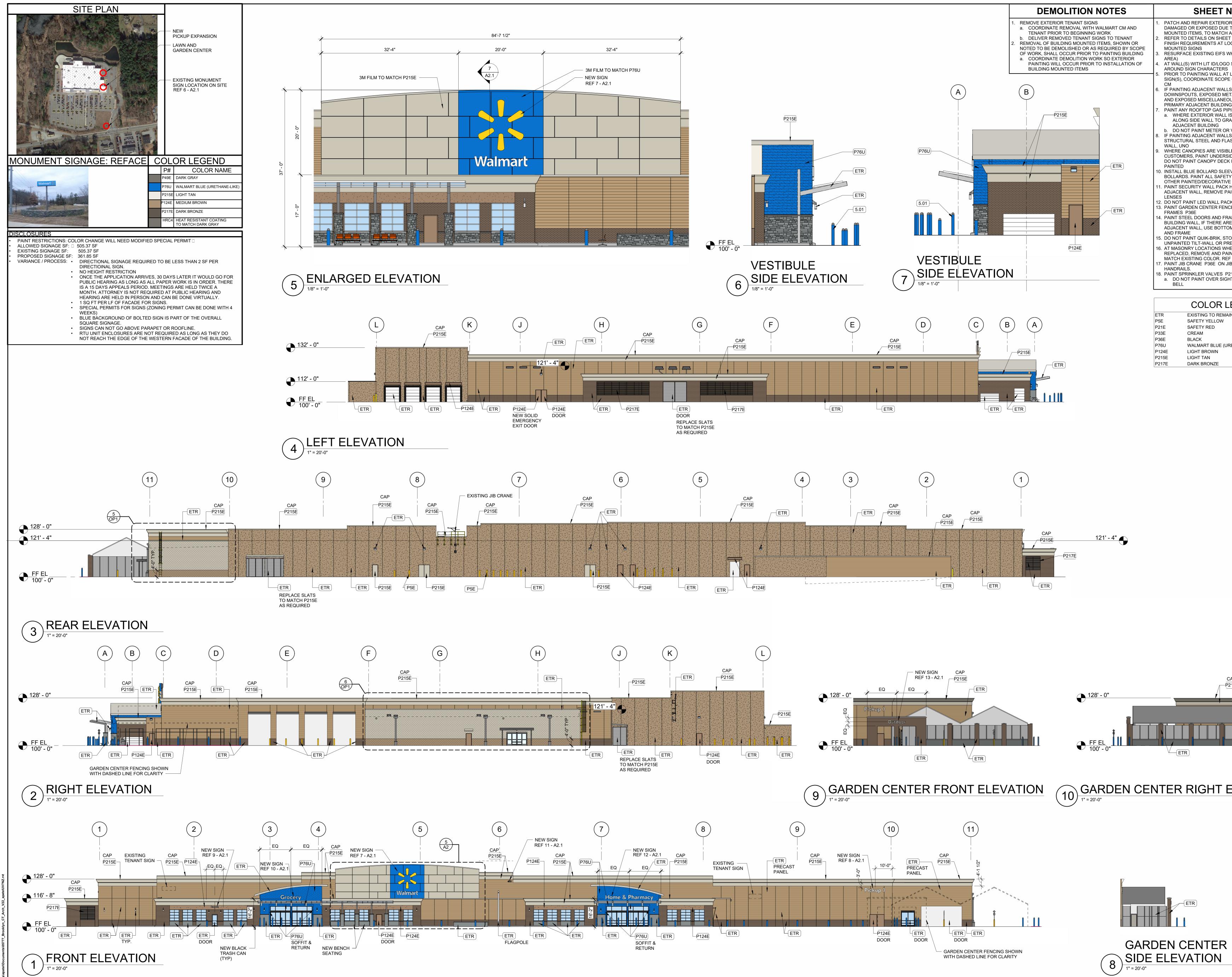


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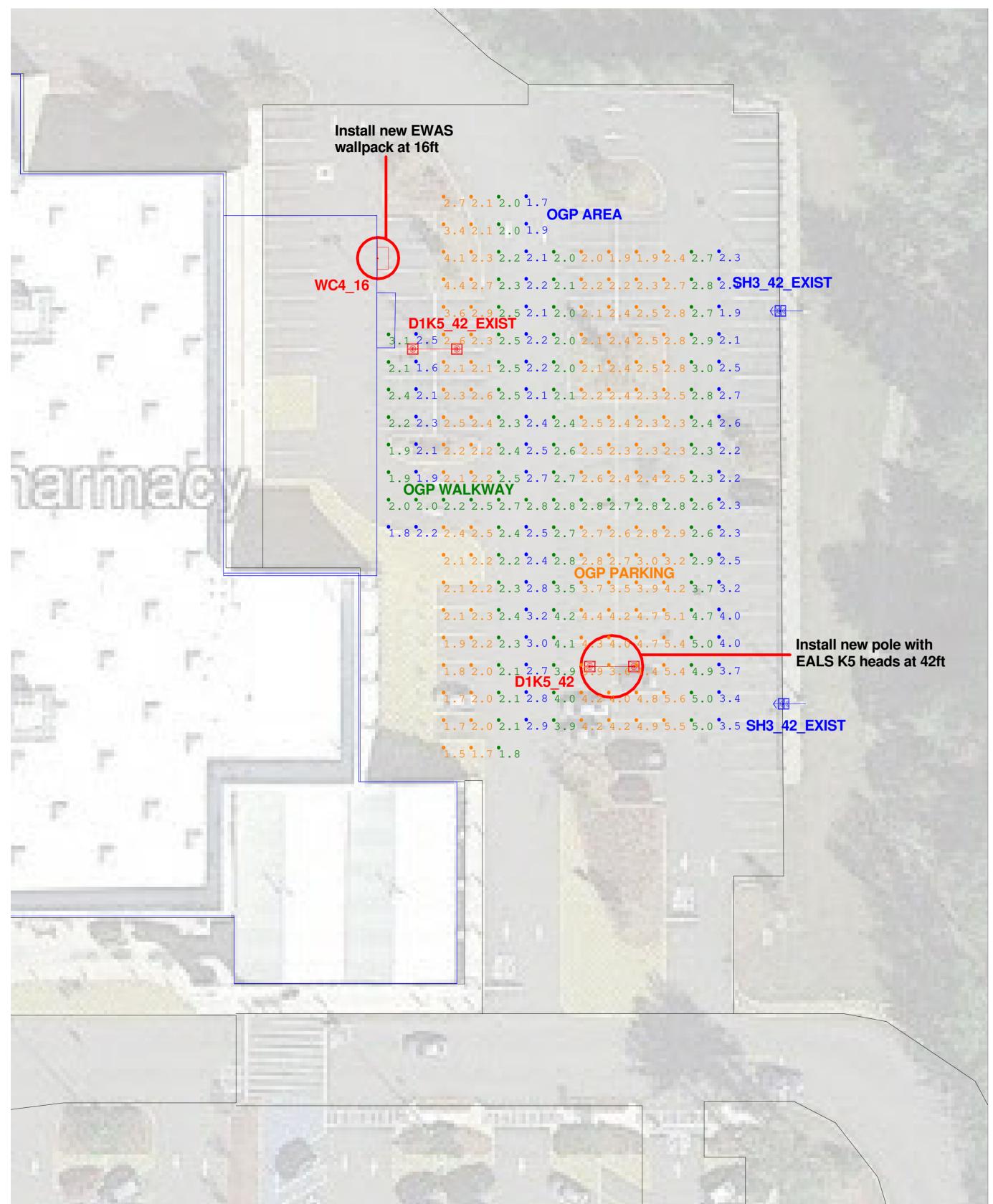




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RADE SHALL MATCH R VALVES S PAINT CANOPY ASHING TO MATCH ADJACENT BLE TO AND ACCESSED BY SIDE OF CANOPY DECK P33E K IF NOT PREVIOUSLY EVE AT ALL ENTRANCE TY BOLLARDS P5E. PAINT ALL TE BOLLARDS P76U. CHOUSINGS TO MATCH AINT OVERSPRAY FROM CK HOUSINGS	STIPULATION FOR REUSE THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT: BROOKLYN, CT CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 07/07/23 NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.
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	NOT FOR CONSTRUCTION
	EXTERIOR ELEVATIONS
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**EXISTING MATERIAL** 

# **Current Luminaire Schedule**

#### Project: EXISTING MATERIAL LLF Description Qty Label Arrangement Svmbol SINGLE 0.855 1-EALP015H3AW750NDD1BLCKF 39ft pole on 3ft base 2 SH3\_42\_EXIST 183 D1K5\_42\_EXIST BACK-BACK 0.855 2-EALP015K5SM750NDD1BLCKF 39ft pole on 3ft base 1 548

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Watts	Arr. Lum. Lumens	BUG Rating	[MANUFAC]
	60000	B5-U0-G3	CURRENT LIGHTING
	7500	B1-U0-G2	CURRENT LIGHTING

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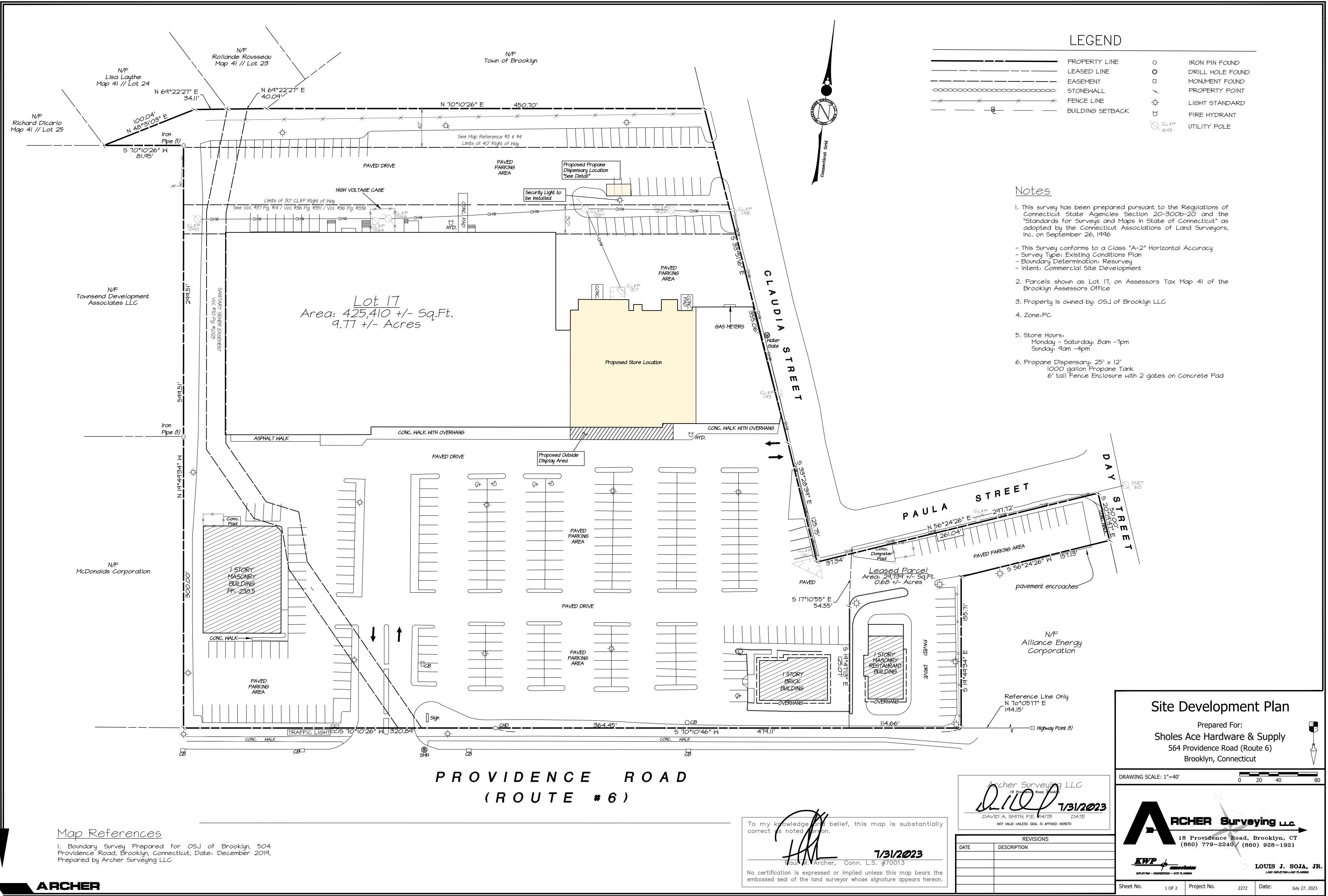
#### RECEIVED PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN CONECTICUT

Received Date <u>JUL 3 1 2023</u> Action Date\_\_\_\_\_ Application #SP <u>23-004</u> Check#<u>1002</u>

APPLICATION FOR SPECIAL PERMIT

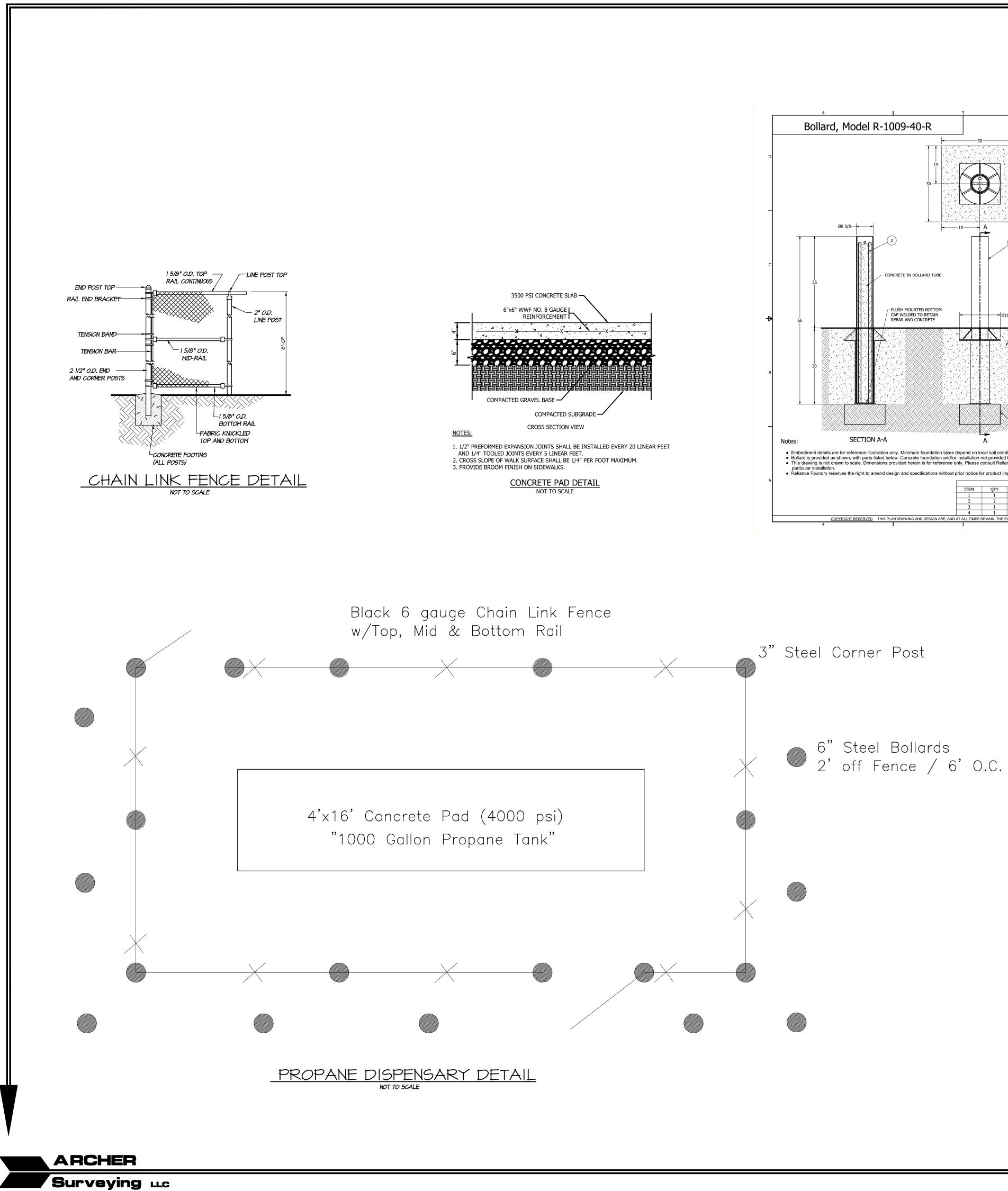
Norma of Applicant Start Size i Finite Size
Name of Applicant Stores Supply CI LLC Phone Mailing Address 633 Wasthar 50 55, Coverney R1 Phone 401-822.2712
Name of OwnerPhone
Mailing AddressPhonePhone
Name of Engineer/Surveyor Anorten Surver 1.6 CLC Address 18 Providence RD Brockinger CT Contact Person Parce Anorten Phone 115-2240 Fax
Property location/address 564 Providence PD - Route 6
Map # <u>41</u> Lot # <u>17</u> Zone <u>PC</u> Total Acres <u>9.17</u> Proposed Activity - Proposes Ace Hansware STORE w/OUTSIDE DISPLAY * PRAPAGE FILLING STATION
Change of Use: Yes If Yes, Previous Use Area of Proposed Structure(s) or Expansion
Utilities - Septic: On Site Municipal Existing Proposed Water: Private Public Existing Proposed
Compliance with Article 4, Site Plan Requirements
The following shall accompany the application when required:
Fee\$State Fee (\$60.00)3 copies of plansSanitary Report         4.5.5 Application/ Report of Decision from the Inland Wetlands Commission         4.5.5 Applications filed with other Agencies         12.1 Erosion and Sediment Control Plans         See also Site Plan Review Worksheet
Variances obtainedDate
The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn
Applicant: Date <u>7-31-23</u> Owner: Date <u>7-31-23</u>
Owner: this phile Date 7-31-23

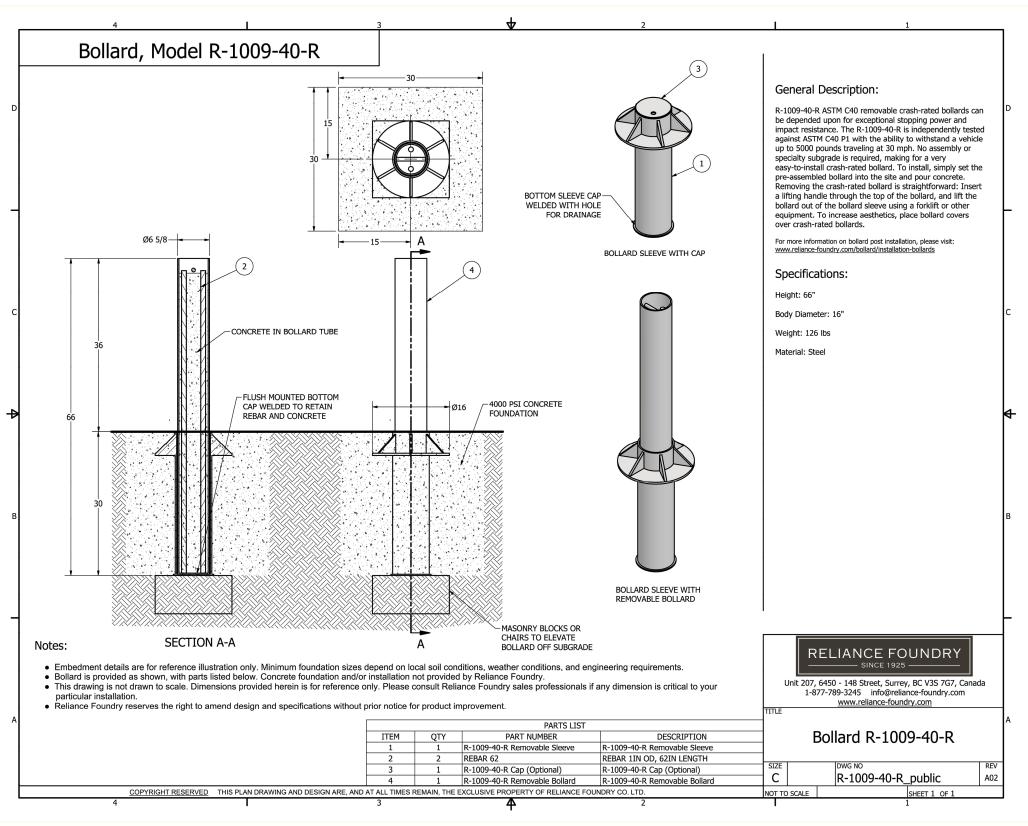
\*Note: Any consulting fees will be paid by the applicant

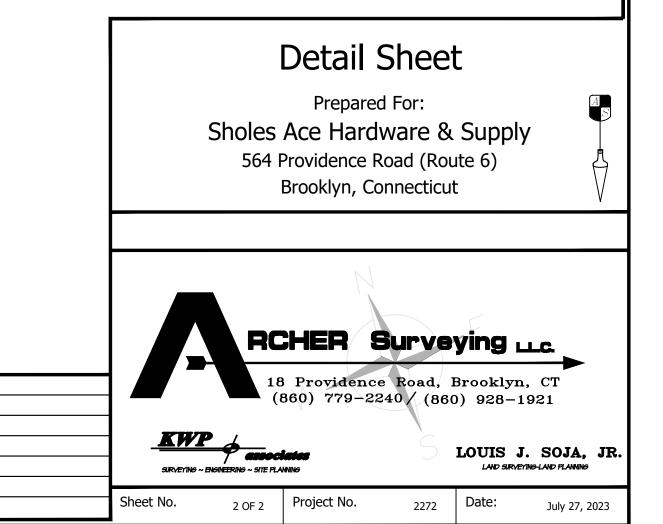


Surveying LLC

PROPERTY LINE	$\odot$	IRON PIN FOUND
LEASED LINE	$\odot$	DRILL HOLE FOUND
EASEMENT		MONUMENT FOUND
STONEWALL	De.	PROPERTY POINT
FENCE LINE	-¢-	LIGHT STANDARD
BUILDING SETBACK	$\mathfrak{G}$	FIRE HYDRANT
	CL&P	UTILITY POLE







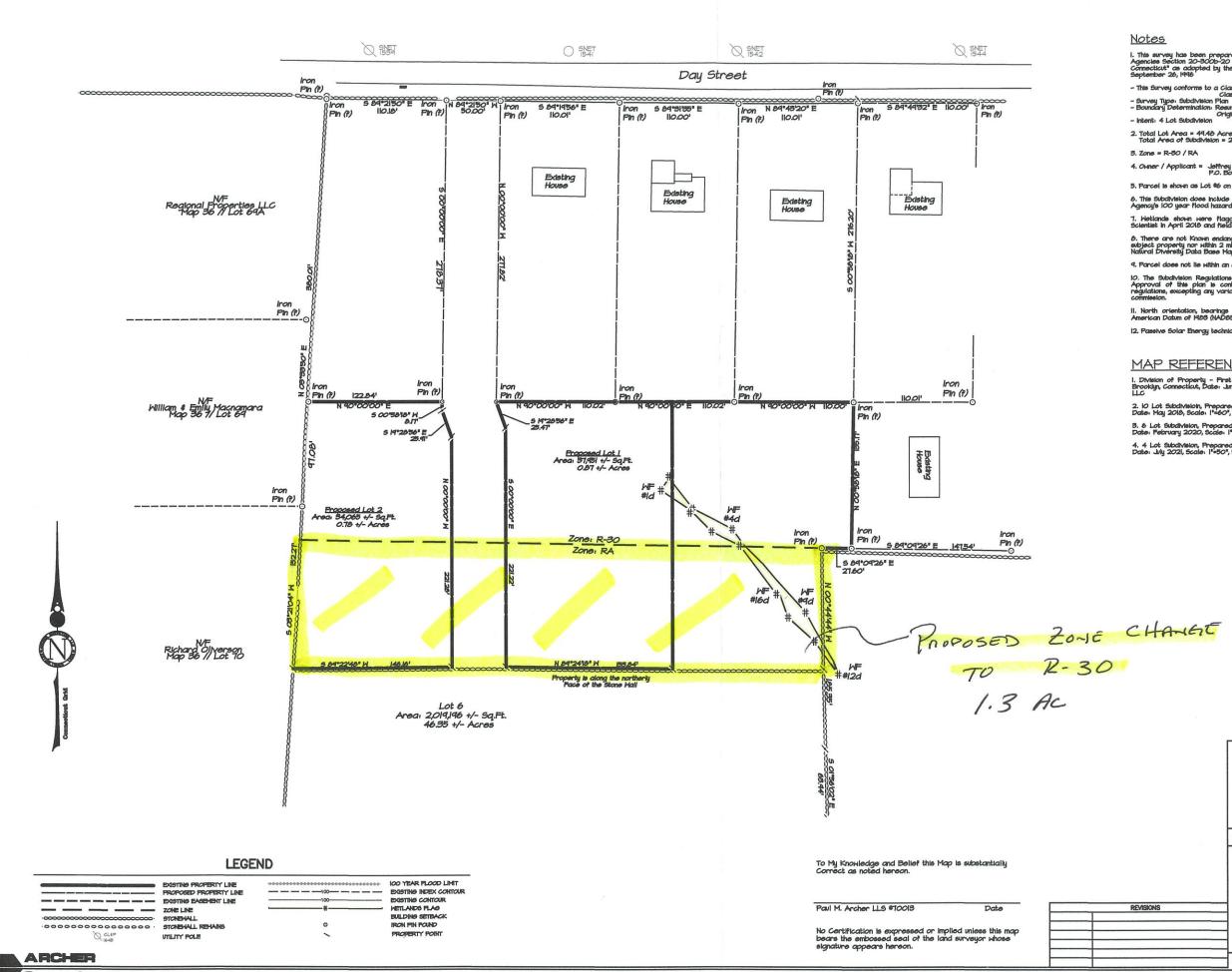
REVISIONS

DESCRIPTION

DATE

PLANNING AND ZONIN	G COMMISSION
RECEIVED IN AUG 1 4 2023 REQUEST FOR O IN ZONING BOUR	
Date 8-14-23	FEE \$ 250.00 State Fee \$ 60.00
Application # $ZC_{23} - 003$	Check # <u>3198</u>
Public Hearing Date Commission Ad Effective Date	
Name of Applicant JEFF ULEAVER	Phone 450 8432
Name of Applicant / EAVER Mailing Address P.G. Box 9 - 7	BLOOKLIM
Applicants Interest in the Property	
Property Owner JEFF WERNER Mailing Address P:O. Box 9 - Bcod	Phone 450 - 9432
Mailing Address P:O. Box 9 - Bcoo	okyn
MAP LOT MAP LOT MAP LOT More lots , repeat above on separate sheet	LOT SIZE
ZONE: R10 R30_ RA VCD NC	RB PC I
REQUEST CHANGE:FROMTREQUEST CHANGE:FROMT	0 <b>230</b> 0 0
More changes, repeat above on separate sheet REASON FOR REQUEST: Property Bergs 5	"BDIVIDED IS IN DIAL ZONE'S
WANT TO PIT 1.3 AC OF RA INTO	R.30

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations



#### Notes

I. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-30 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyone, Inc. on September 26, 1946

- This Survey contorms to a Class "A-2" Horizontal Accuracy Class "T-2" Vertical Accuracy Survey Type: Subdivision Plan Boundary Determination: Resurvey on Existing Boundary Original on Proposed Boundary Intent: 4 Lot Subdivision - Intent: 4 Lot Subdivision
- 2. Total Lot Area = 49.48 Acres Total Area of Subdivision = 2.52 Acres
- 3. Zons = R-80 / RA
- 4. Owner / Applicant = Jeffrey Heaver P.O. Box 9, Brooklyn, CT 06284
- 5. Parcel is shown as Lot \$6 on Assessor's Map \$48

6. This Subdivision does include land areas within the Federal Emergency Manage Agency's IOO year flood hazard area

7. Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018 and field located by Archer Surveying LLC

8. There are not known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natival Diversity Data Base Mapping.

9. Parcel does not lie within an aquifer protection area

IO. The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.

II. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)

12. Passive Solar Energy techniques were considered in the design of the subdivision

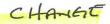
#### MAP REFERENCE:

Division of Property - Pirst Time Split, Prepared for Jeff Neaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1<sup>s</sup>=100<sup>s</sup>, Prepared by Archer Surveying LLC

IO Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Date: May 2018, Scale: 1=60°, Prepared by Archer Surveying LLC

6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Date: February 2020, Scale: 1"=50", Prepared by Archer Surveying LLC

4. 4 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticul Date: July 2021, Scale: 1°=50°, Prepared by Archer Surveying LLC



### RECEIVED

## AUG 1 4 2023

			Ibdivisi 2 Lot Sub			<b>M</b>
			Prepared	d For:		1
			Jeffrey V Day St Brooklyn, Co	Veaver reet onnecticu	ıt	₫
	DRAWING SC	ALE: 1"=40'		0	20	40 80
REVISIONS			8 Providence 860) 779-22	HOY (86	Brook 0) 928 1/000	iyn, CT  -1921
	Sheet No.	3 of 6	Project No.	2212	Date:	May 1, 2023

DEACHUED	PLANNING AND ZONING COMMISSION
RECEIVED	TOWN OF BROOKI VN

UII 2 7 /023 CONNECTICUT
Received Date JUL 2 7 2023 CONNECTICUT Application # SD Application # SD
Check # 3121
APPLICATION FOR SUBDIVISON/RESUBDIVISION
North And States Ulpain
Name of Applicant JEFF WEAVER Phone Mailing Address P.O. Box 9, BROOKLYN CT 0623-/
Applicants Interest in the Property Oward
Property Owner VERVER Phone Mailing Address P. O. Box 9, BLOOKLYN CT
Mailing Address P. 1. Box 9, BLOOKLYY CT
Name of Engineer/Surveyor <u>Another Solding</u> LLC Address 18 Providence Rid TBROOKLYN CJ
Contact Person PAUL Auctor Phone 779-2240 Fax
raxPhone_7777CCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCCPhone_7777CCCCPhone_7777CCCCPhone_7777CCCCPhone_7777CCCCPhone_7777CCCCPhone_7777CCCCCPhone_7777CCCPhone_7777CCPhone_7777CCPh
Name of Attorney
Address
Phone Fax
Subdivision Re subdivision Property location $DAH = 57$ Map $\# 43$ Lot $\# 6$ Zone $236/24$ Total Acres $3\pm$ Acres to be Divided $3\pm$
Map # <u>43</u> Lot # <u>C</u> Zone Zone Total Acres <u>3</u> Acres to be Divided <u>3</u>
Number of Proposed Lots Length of New Road Proposed
Sewage Disposal: Private Public Note: Hydrological report required by Section 11.6.2
Length of new Sewer proposed: Sanitary Storm
Water: Private Public
Is parcel located within 500 feet of an adjoining Town?
The following shall accompany the application when required:
4.2.2 Fee \$ State (\$60.00) 4.2.3 Sanitary Report 4.2.5, 3 copies of
plans
4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.
4.2.6 Erosion & Sediment Control Plans
4.2.7 Certificate of Public Convenience and Necessity
4.2.8 Applications filed with other Agencies
The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman,
Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the
property to which the application is requested for the purpose of inspection and enforcement of the Zoning
regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Jor WEANER	Palk	Date 1-26-23
Owner: Jer Works	174	Date

\*Note: All consulting fees shall be paid by the applicant



# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 South Main Street , Unit 4 , Brooklyn, CT 06234 Phone (860) 774-7350 , Fax (860) 774-1308 , Web Site www.nddh.org

May 10, 2023

Jeffrey Weaver PO Box 9 Brooklyn, CT 06234

#### SUBJECT: FILE #23000175 -- DAY STREET MAP #43, LOT #6 (PART 4) BROOKLYN, CT

Dear Jeffrey Weaver:

Upon review of the subdivision plan (ARCHER SURVEYING LLC, WEAVER, PROT #233015, DRAWN 05/01/2023) submitted to this office on 05/03/2023 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

- 1. Lots:1 and 2 require that a Professional Engineer design and submit individual plot plan(s) for review and approval prior to construction.
- 2. Proposed lots are based on <u>2</u> bedroom multi-family homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
- 3. If the proposed septic area is moved, additional testing may be required
- 4. Footing drain on lot #2 must be relocated on Professional Engineer Design to meet 25 foot separation distance to septic system.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely, Donaran More

Donovan Moe, EHS Environmental Health Specialist ~ NDDH

cc: Town of Brooklyn; Archer Surveying, LLC

Driveway Culvert Design Proposed 2 Lot Resubdivision Brooklyn, CT

**Prepared** for

**Jeffrey Weaver** 

# 7/11/2023



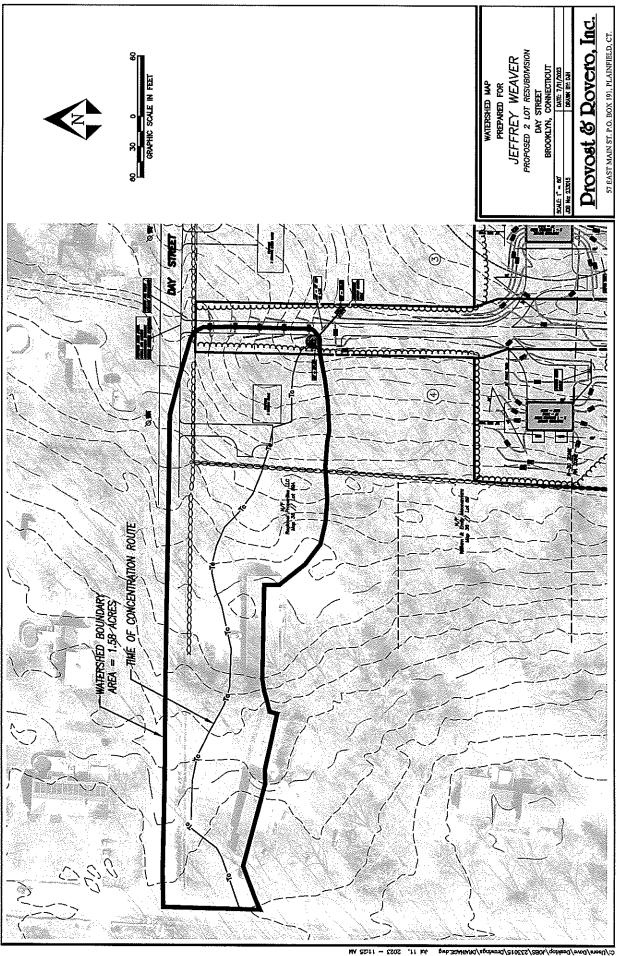
Prepared by:

Provost & Rovero, Inc.

#### **Design Summary**

.

A culvert is proposed to convey periodic flows under the shared driveway serving proposed lots 1 and 2. This culvert has been designed to convey a 10 year design storm. The design flow rate has been determined with the Rational method utilizing ConnDOT IDF data. The culvert has been designed utilizing Federal Highway Administration methodology and Carlson Hydrology software. Watershed mapping and calculation reports are attached hereto.



<sup>5052 - 11:52</sup> VN 11 101 who.30MHMM0/spannan/210225/2804/gathee0/ovod/w

Time of Concentration (Tc)	Tue Jul	11 10:58:57 2023
Project: WEAVER Location: DAY STREET Developed	By: DJH Checked:	Date: 07/11/23 Date:
<pre>Sheet Flow Manning's Roughness Coeff. (n): Flow Length, L (total L &lt;= 100 ft): Two-yr 24-hr Rainfall, P: Land Slope, s: Tc:</pre>	Segment ID: SHEET FLOW 0.240 100.00 ft 3.20 in 2.50 % 0.218 hr (13.	
Shallow Concentrated Flow Surface Description: Flow Length, L: Watercourse Slope, s: Average Velocity, V: Tc:	Segment ID: SHALLOW CO Unpaved 530.00 ft 7.70 % 4.48 ft/s 0.033 hr (2.0	
Total Tc:	0.250 hr (15.	0 min)

1.Data:
Drainage Area
Runoff Coefficient
Time of Concentration
Rainfall ID:
Return Period:
Rainfall Intensity:
2.Peak Discharge:

A	=	1.58	acre
С	=	0.40	
		0.25	hrs
		Connecticu	it DOT
		10 YEAR	
I	=	4.00	in/hr
Qp	=	2.53	cfs

Design Parameters

Section Shape: Material: Diameter: Manning's n: Number of Barrels:	Circular Concrete 15.00 in 0.0130 1
Inlet Inlet Type: Ke:	Square Edge with Headwall 0.50
Inverts Inlet Invert Elevation: Outlet Invert Elevation: Length: Slope:	291.000 ft 289.500 ft 32.000 ft 4.69 %
Culvert Calculation Discharge: Headwater Elevation: Tailwater Elevation: Downstream Velocity: Downstream Flow Depth: Flow Control Type:	2.53 cfs 291.901 ft 0.500 ft 8.66 ft/s 0.360 ft Inlet Control, Unsubmerged

# Provost & Rovero, Inc.

Engineering – Surveying – Site Planning P.O. Box 191, 57 East Main Street Plainfield, CT 06374



#### PREFORMED SCOUR HOLE DESIGN (English Units)

Client: <u>Jeff Weaver</u> Project: Day Street Subdivision Proj. No: 233015 Return Period for Design (yr.): 10

Prepared By: DJH Date: 7/11/2023 Checked By: Date:

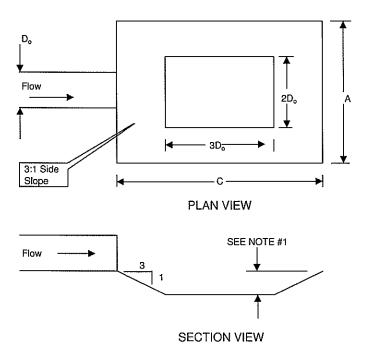
	Pipe	Qin	critical		basin	Riprap	Length	Width	Riprap	ConnDOT Riprap
Outlet	Dia. (D <sub>o</sub> )	System	depth	TW	depression	depth	С	Α	Size (d <sub>50</sub> )	Size Required
Location	(ft)	(ft. <sup>3</sup> /s)	(ft)	(ft)	(ft)	(in)	(ft)	(ft)	(in)	
Driveway culvert	1.25	2.53	1.00	1.125	0.625	12	7.5	6.3	0.3	modified

#### Notes:

.

1. The basin depression should be between .5D<sub>o</sub> and D<sub>o</sub>.

2. Reference: "Loose Riprap Protection, Minnesota Technical Release 3, July 1989, U.S.D.A. Soil Conservation Service".



# PLANNING AND ZONING COMMISSION RECEIVED TOWN OF BROOKLYN

Å	150 - Public Hearing
8	100-SP
\$	300 - Sike Plan Rev
1	60-State
1	15 - Plan copies (:

Received Date Aug. 1 7 2023

Application #SP<u>23-005</u> Check #<u>438</u>

## **APPLICATION FOR SPECIAL PERMIT**

Name of Applicant Cremery Sea House Phone 860-815-4444 Mailing Address Wolf Derr Road, Brooklyw, CT0623-Phone
Name of Engineer/Surveyor_ <i>W/A</i> Address
Contact PersonPhoneFax
Name of Attorney NA . Address Phone Fax
Property location/address 8 Wolf Din Road Brooklyn, CT 06234 Map#_24 Lot# 54 Zone VCD Total Acres 4.1/ Sewage Disposal: Private Public 1/ Existing 2/_ Proposed Water: Private 2/_ Public Existing 2/_ Proposed
Proposed Activity Sit down Cafe + resturacent Serving + Catering tea- peverages, food; including ice cream + baked goods + Retail goft shop.
Compliance with Article 4, Site Plan Requirements
Is parcel located within 500 feet of an adjoining Town?

The following shall accompany the application when required:

 Fee \$\_\_\_\_\_\_\_State Fee (\$60.00)
 \_\_\_\_\_\_\_\_3 copies of plans\_\_\_\_\_\_Sanitary Report\_\_\_\_\_

 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
 4.5.5 Applications filed with other Agencies

12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Cheameral Jea House	Date 8/11/23
Owner: Julie E. Maclozmack	_Date_8/11/23
*Nistor All servicities for as shall be a maid built a must lise at	1.1/2

\*Note: All consulting fees shall be paid by the applicant

#### PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN CONECTICUT

RECEIVED

Received Date \_\_\_\_\_\_\_AUG 1 7 2023 Action Date\_\_\_\_\_

Application #SPR\_\_\_\_\_ Check#\_\_\_\_\_

## APPLICATION FOR SITE PLAN REVIEW

Name of Applicant CREAMERY TEA HOUSE Phone 860.815-4444 Mailing Address & Wolf Den ROAP Brooklyn (706334 Phone
Name of Owner Julie E. MACCormAck Phone 860-815-4444 Mailing Address & Wolf Den Romp, Brooklyn, CTO2334 Phone
Name of Engineer/Surveyor    Address    Contact Person   Phone Fax
Property location/address 8 Wolf Den Read, Brooklyn, CT. 06234 Map #_24_ Lot # <u>54</u> _ Zone <u>CD</u> _ Total Acres //
 Proposed Activity Sit down lafe + Jea Rooms serving beverages food ice cream and bakedgoods with Capibility of Catering beally. Retail gift Shop Selling teat gifts. Restaraunt + Retail
Change of Use: Yes V No If Yes, Previous Use Contigue Retailshop Area of Proposed Structure(s) or Expansion NO expansion using existing space-as is,
Utilities - Septic: On Site Municipal V Existing Yes Proposed Water: Private Public Existing Yes Proposed
Compliance with Article 4, Site Plan Requirements
The following shall accompany the application when required:
Fee\$State Fee (\$60.00)3 copies of plansSanitary Report         4.5.5 Application/ Report of Decision from the Inland Wetlands Commission         4.5.5 Applications filed with other Agencies         12.1 Erosion and Sediment Control Plans         See also Site Plan Review Worksheet
Variances obtained Date

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Applicant: Creamery Jeatouse	Date 8/11/23
Owner: Julie F. Marlozmach	Date 8/11/23
for the second	

\*Note: Any consulting fees will be paid by the applicant

RECEIVED

#### PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN CONECTICUT

Received Date <u>AUG 7 3 2023</u> Action Date\_\_\_\_\_ Application #SPR\_<u>23-00(</u> Check#\_\_\_\_\_

**APPLICATION FOR SITE PLAN REVIEW** 

Name of Applicant_CHIP Fund 6 LLC & CHIP Fund 8 LLC Mailing_Address_18 Wells Hill Road, Easton, CT 06612	Phone_203-257-5661		
Mailing Address 10 Wells Hill Road, Easton, CT 00012	Phone		
Name of Owner <u>CHIP Fund 6 LLC &amp; CHIP Fund 8 LLC</u> Mailing Address <u>18 Wells Hill Road, Easton, CT 06612</u>	Phone_203-257-5661		
Mailing Address_18 Wells Hill Road, Easton, CT 06612	Phone		
Name of Engineer/Surveyor_Provost & Rovero, Inc. Address_P.O. Box 191, Plainfield, CT 06374 Contact Person_David J. Held, P.E., L.SPhone	860-234-3183 Fax		
	i		
Property location/address 5 Front Street & 29 Tiffany Street Map #_47 Lot # _59, 60_ Zone_R-10 Total Acres_1	.815		
Proposed Activity_Installation of additional solar carport structure (Modification of previous site plan approval granted in 2021)	9		
(			
• • • • • • • • • • • • • • • • • • •			
Change of Use: Yes No X If Yes, Previous Use Area of Proposed Structure(s) or Expansion _see attached site			
Area of Proposed Structure(s) or Expansion see attached site	pian		
Utilities - Septic: On Site Municipal X Ex Water: Private Public X Ex	xisting Proposed		
Water: Private Public E	xisting Proposea		
Compliance with Article 4, Site Plan Requirements			
The following shall accompany the application when requi	ired:		
100			
Fee\$_400         State Fee (\$60.00)         3 copies of p			
4.5.5 Application/ Report of Decision from the Inland Wetla 4.5.5 Applications filed with other Agencies	inds Commission		
12.1 Erosion and Sediment Control Plans			
See also Site Plan Review Worksheet			
Variances obtainedN/A	D		
Variances obtained	Date_o/11/2020		
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enforcement of the Zoning regulations and the Subdivision			
Mannan	alinhan7		
Applicant:	Date 8/1/1/2023		
Owner:	Date0/17/2025		

\*Note: Any consulting fees will be paid by the applicant

# Provost & Rovero, Inc.

Surveying

Civil Engineering

Site Planning •

Structural • Mechanical

.

Architectural Engineering

P.O. Box 191 57 East Main Street Plainfield, CT 06374

Telephone (860) 230-0856 Fax (860) 230-0860 www.prorovinc.com

August 23, 2023

Town of Brooklyn Planning & Zoning Commission 69 South Main Street Brooklyn, CT 06234

#### RE: Proposed Solar Array – Front Street & Tiffany Street – Brooklyn, CT P&R Job No. 213008

Dear Commissioners:

Attached hereto, please find a completed application form, \$460.00 application fee and five (5) copies of site plans for modifications to the proposed solar array on property owned by CHIP Fund 8 LLC. This project was previously approved in 2021 and installation is anticipated by the end of 2023. As part of an effort to better serve both of the subject properties, an additional carport structure is desired for additional covered parking and renewable generating capacity. A boundary line adjustment will be completed prior to completion of the project to ensure compliance with applicable setback requirements. The previously approved carport and ground mounted array will not be changed as part of this modification.

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,

David J. Held, P.E., L.S. Provost & Rovero, Inc.

RECEIVED

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RECEIVED

#### PLANNING AND ZONING COMMISSION TOWN OF BROOKLYN CONECTICUT

Received Date <u>AUG 7 3 2023</u> Action Date\_\_\_\_\_ Application #SPR\_<u>23-00(</u> Check#\_\_\_\_\_

**APPLICATION FOR SITE PLAN REVIEW** 

Name of Applicant_CHIP Fund 6 LLC & CHIP Fund 8 LLC Mailing_Address_18 Wells Hill Road, Easton, CT 06612	Phone_203-257-5661		
Mailing Address 10 Wells Hill Road, Easton, CT 00012	Phone		
Name of Owner <u>CHIP Fund 6 LLC &amp; CHIP Fund 8 LLC</u> Mailing Address <u>18 Wells Hill Road, Easton, CT 06612</u>	Phone_203-257-5661		
Mailing Address_18 Wells Hill Road, Easton, CT 06612	Phone		
Name of Engineer/Surveyor_Provost & Rovero, Inc. Address_P.O. Box 191, Plainfield, CT 06374 Contact Person_David J. Held, P.E., L.SPhone	860-234-3183 Fax		
	i		
Property location/address 5 Front Street & 29 Tiffany Street Map #_47 Lot # _59, 60_ Zone_R-10 Total Acres_1	.815		
Proposed Activity_Installation of additional solar carport structure (Modification of previous site plan approval granted in 2021)	9		
(			
• • • • • • • • • • • • • • • • • • •			
Change of Use: Yes No X If Yes, Previous Use Area of Proposed Structure(s) or Expansion _see attached site			
Area of Proposed Structure(s) or Expansion see attached site	pian		
Utilities - Septic: On Site Municipal X Ex Water: Private Public X Ex	xisting Proposed		
Water: Private Public E	xisting Proposea		
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See also Site Plan Review Worksheet			
Variances obtainedN/A	D		
Variances obtained	Date_o/11/2020		
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enforcement of the Zoning regulations and the Subdivision			
Mannan	alinhan7		
Applicant:	Date 8/1/1/2023		
Owner:	Date0/17/2025		

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# Provost & Rovero, Inc.

Surveying

Civil Engineering

Site Planning •

Structural • Mechanical

.

Architectural Engineering

P.O. Box 191 57 East Main Street Plainfield, CT 06374

Telephone (860) 230-0856 Fax (860) 230-0860 www.prorovinc.com

August 23, 2023

Town of Brooklyn Planning & Zoning Commission 69 South Main Street Brooklyn, CT 06234

#### RE: Proposed Solar Array – Front Street & Tiffany Street – Brooklyn, CT P&R Job No. 213008

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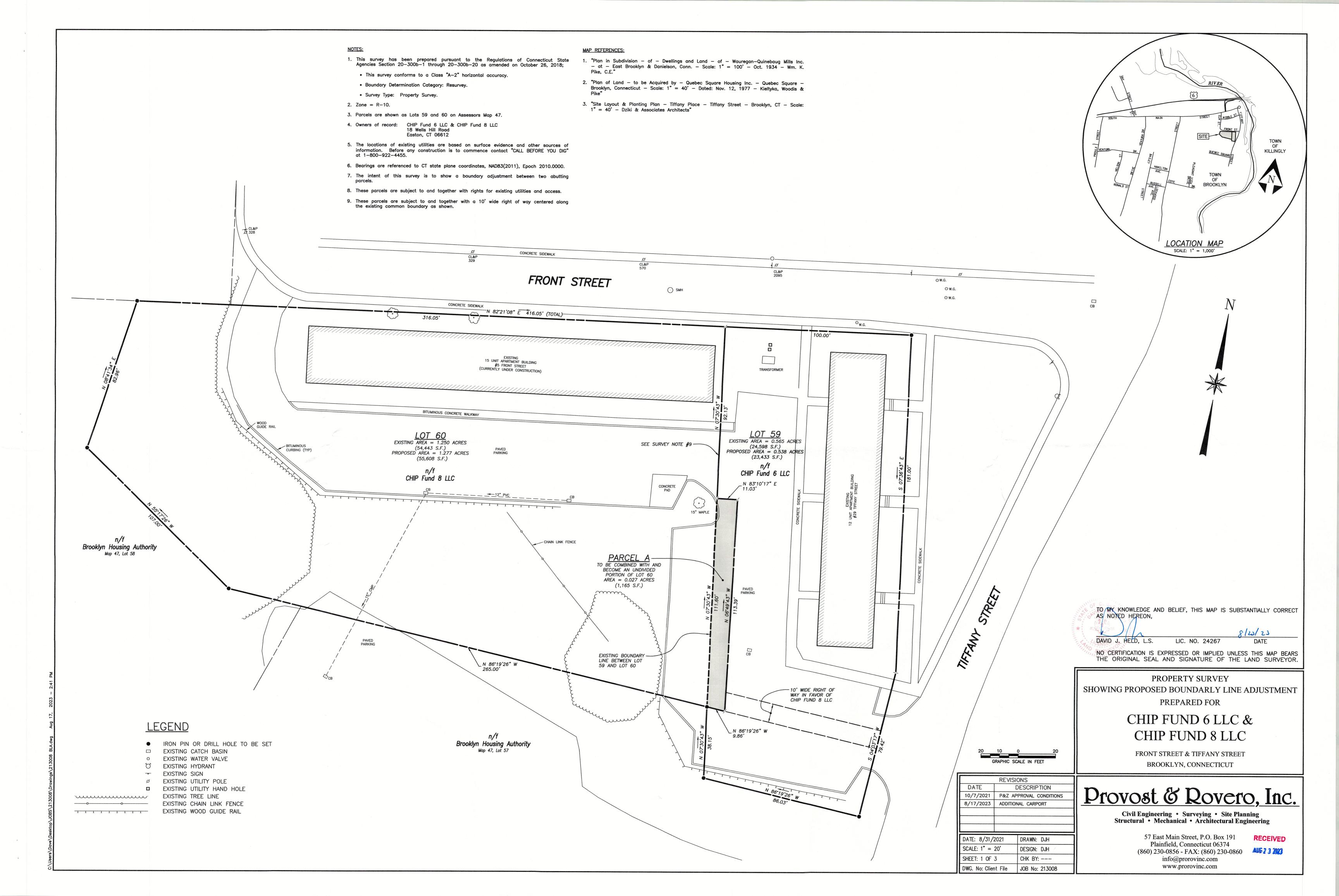
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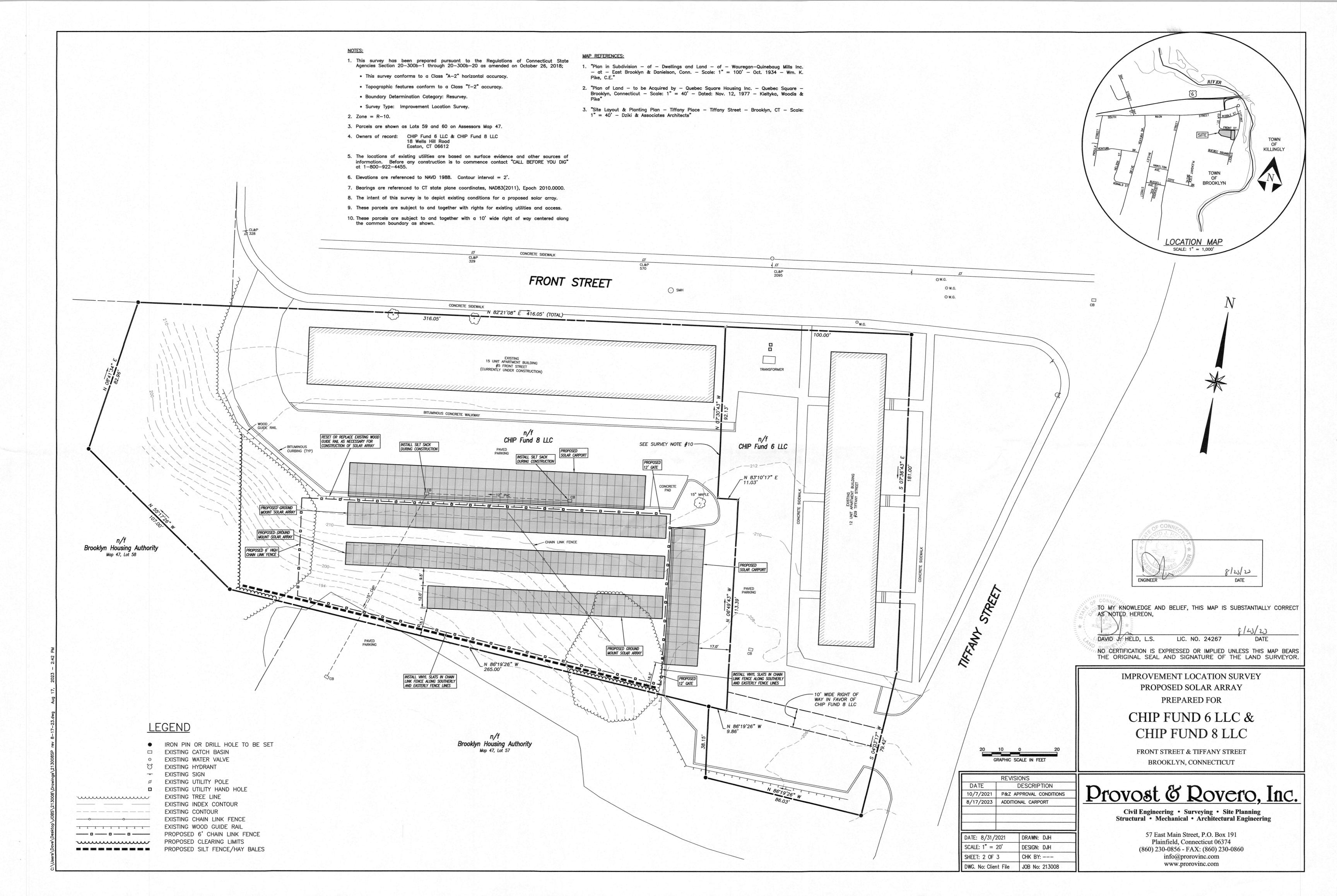
Sincerely,

David J. Held, P.E., L.S. Provost & Rovero, Inc.

RECEIVED

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### EROSION AND SEDIMENT CONTROL PLAN

#### REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).

#### 2. Soil Survey of Connecticut, N.R.C.S.

#### SILT FENCE INSTALLATION AND MAINTENANCE:

- 1. Dig a 6" deep trench on the uphill side of the barrier location.
- 2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
- 3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
- 4. Inspect and repair barrier after heavy rainfall.
- 5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or areater to determine maintenance needs.
- 6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
- 7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because: - the fence has been overtopped, undercut or bypassed by runoff water,
- the fence has been moved out of position (knocked over), or

### HAY BALE INSTALLATION AND MAINTENANCE:

- the geotextile has decomposed or been damaged.

- 1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
- 2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
- 3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
- 4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
- 5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
- the barrier has been overtopped, undercut or bypassed by runoff water, - the barrier has been moved out of position, or

- the hay bales have deteriorated or been damaged

# TEMPORARY VEGETATIVE COVER:

# SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

# TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

# SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

#### SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

### SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

## MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

### MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent reoccurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

#### PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

- 1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a uniform depth approximating existing conditions on imported silt or suitable on-site materials.
- 2. Apply agricultural ground limestone. Apply fertilizer. Quantities shall be determined based on laboratory soil tests. Work lime and fertilizer into the soil to a depth of 4".
- 3. Inspect seedbed before seeding. If traffic has compacted the soil, retill compacted areas. 4. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15
- & August 15 October 1. 5. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary

# cover on the topsoil such as netting, mat or organic mulch.

# EROSION AND SEDIMENT CONTROL NARRATIVE:

KEEP LAND DISTURBANCE TO A MINIMUM

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

#### The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of

adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

#### SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbina and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

### KEEP CLEAN RUNOFF SEPARATED

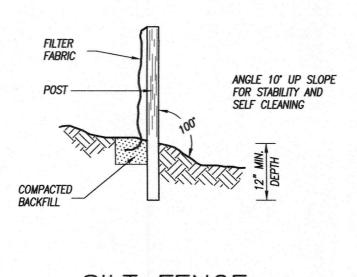
Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

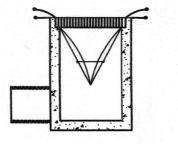
While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

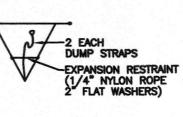
- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS



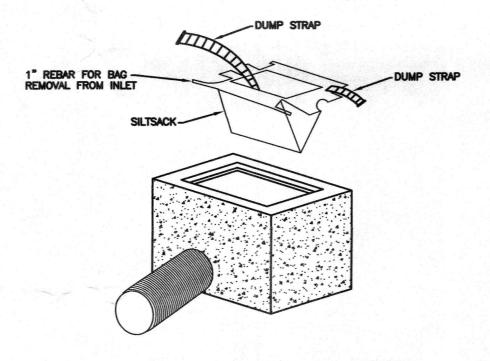






BAG DETAIL

INSTALLATION DETAIL



INLET SEDIMENT CONTROL DEVICE NOT TO SCALE

INSTALLATION & MAINTENANCE

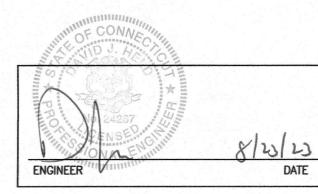
1. Install as directed by manufacturer.

2. Inspect the catch basin sediment device at least once a week (preferably twice) and after rainfall events of 0.5" or greater. 3. Remove sediment when the siltsack is 1/2 full. Sediment shall

be deposited in an area which is not regulated by the Inland Wetlands Commission.

4. Replace or repair within 24-hours of observed failure. Failure may include: -Overtopping, or bypassed by runoff water.

-The geotextile has decomposed or has been damaged.



DATE



DETAIL SHEET
PROPOSED SOLAR ARRAY
PREPARED FOR

# CHIP FUND 6 LLC & CHIP FUND 8 LLC

FRONT STREET & TIFFANY STREET **BROOKLYN, CONNECTICUT** 

	REVIS	SIONS
DATE		DESCRIPTION
10/7/2021	P&Z A	PPROVAL CONDITIONS
8/17/2023	ADDITIC	ONAL CARPORT
DATE: 8/31/2	2021	DRAWN: DJH
SCALE: AS SHOWN		DESIGN: DJH
SHEET: 3 OF 3		СНК ВҮ:
DWG. No: Client File		JOB No: 213008

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning Structural • Mechanical • Architectural Engineering

> 57 East Main Street, P.O. Box 191 Plainfield, Connecticut 06374 (860) 230-0856 - FAX: (860) 230-0860 info@prorovinc.com www.prorovinc.com

#### Margaret's Report 8/31/2023

#### **Zoning Permits issued:**

**180 Canterbury Road – Michael and Sharon Turkia.** Approved in the Scenic Route 169 Overlay Zone: Strip and re-roof.

**183 Barrett Hill Road – Ryan and Erica Murphy.** Construction of a new 24' x 50' horse barn with 12' x 40- lean-to.

**502 Allen Hill Road – Langevin Limited Partnership.** Renewal of Zoning Permit for Events Facility Special Permit.

**564 Providence Road - Sholes Ace Hardware.** Change of use to Sholes Ace Hardware with no expansion of existing store. Above-ground propane storage and outside display of merchandise require PZC approval before a zoning permit can be issued for these uses.

534 Wauregan Road – Wayne Jolley. 28' x 30' one bedroom addition with 7' x 28' porch.

**364 Christian Hill Road – Christopher Thomas.** Remove 2 sets of front steps and overhangs. Build new 34' x 48" front porch and 36" x 48" overhang over the new front door.

92 Allen Hill Road – Troy Devolve. Construct new 15' x 26' above ground pool.

#### Final Certificates of Zoning Compliance issued:

**57A Lasalette Drive – Craig Dunlop.** Detached accessory dwelling unit with covered porch.

Sign Permits issued: None.

Home Offices Documented: None.

**ZBA Variances Granted:** None.

Other Business: None.

## Town of Brooklyn

From Date: 7/1/2023	To Date: 8/31/2023	2 FY2324 Add	2 FY2324 Adopted Budget w/		pted Budget w/	e 2 FY2324 Adopted Budget w/	
Account Number Description		FTE	Amount	FTE	Amount	FTE	Amount
005.00.0000.20213	Planning & Zoning State Fees	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
005.00.0000.20218	Planning & Zoning Publication Fee	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
005.00.0000.42203	Planning & Zoning Fees	0.00	(\$8,000.00)	0.00	(\$8,000.00)	0.00	(\$8,000.00)
005.41.4153.51620	Planning & Zoning-Wages PT	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
005.41.4153.51900	Planning & Zoning-Wages-Rec. Secretary	0.00	\$4,800.00	0.00	\$4,800.00	0.00	\$4,800.00
005.41.4153.53020	Planning & Zoning-Legal Services	0.00	\$10,000.00	0.00	\$10,000.00	0.00	\$10,000.00
005.41.4153.53200	Planning & Zoning-Professional Affiliation:	s 0.00	\$110.00	0.00	\$110.00	0.00	\$110.00
005.41.4153.53220	Planning & Zoning-In Service Training	0.00	\$500.00	0.00	\$500.00	0.00	\$500.00
005.41.4153.53400	Planning & Zoning-Other Professional Services	0.00	\$1,000.00	0.00	\$1,000.00	0.00	\$1,000.00
005.41.4153.55400	Planning & Zoning-Advertising & Legal Notices	0.00	\$1,000.00	0.00	\$1,000.00	0.00	\$1,000.00
005.41.4153.55500	Planning & Zoning-Printing & Publications	0.00	\$1,000.00	0.00	\$1,000.00	0.00	\$1,000.00

## P&Z Budget FY24

1

## Town of Brooklyn

Fiscal Year: 2023-2024	Print account	ts with zero balance	Exclude ir	nactive accounts	with zero balance	e	
From Date: 7/1/2023	To Date: 8/31/2023	2 FY2324 Adop	ted Budget w/	2 FY2324 Adopted Budget w/		2 FY2324 Adopted Budget w/	
Account Number		FTE	Amount	FTE	Amount	FTE	Amount
Description							
1005.41.4153.55800	Planning & Zoning-Transportation	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
1005.41.4153.56900	Planning & Zoning-Other Supplies	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
1005.41.4153.56950	Planning & Zoning-State Marshal Surveyor/Support	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.51610	Wages	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.53400	Data Collection	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.54010	Facility Fee	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.55500	Printing & Publications	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.56900	Other Planning Costs	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
2810.41.4153.58000	Other Administrative Costs	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
	Grand Total:	0.00	\$10,410.00	0.00	\$10,410.00	0.00	\$10,410.00
		End of Report					

5:59:03 PM

Printed: 08/31/2023

P&Z Budget FY24

Town of Brooklyn
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Revenue Report								
Fiscal Year: 2023-2024		Print	accounts with zero balance	Exclude in	active accounts	with zero balanc	е	
From Date: 7/1/2023	To Date:	8/31/2023	7 FY2324 Adopte	ed Revenue w/	7 FY2324 Adopt	ed Revenue w/	7 FY2324 Adopte	ed Revenue w/
Account Number			FTE	Amount	FTE	Amount	FTE	Amount
Description								
	Gran	d Total:	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
		No records	met your selection crite	eria. Please t	ry again.			

End of Report

1

8 Woodward Rd Brooklyn, CT 06234 September 5, 2023

Brooklyn Planning and Zoning Commission Ms. Michelle Sigfridson – Chair 4 Wolf Den Rd Brooklyn, CT 06234

Dear Ms. Sigfridson and Committee Members,

I would like to applaud you for revising your meeting minutes to a new informative format. Though the notes may be lengthy, in my opinion, their organization and clarity will benefit everyone from a current reading through a future topic search. In the past, I, as well as others, have publicly criticized P & Z's minutes for their brevity and lack of substance. Obviously, you have listened and responded with great improvements. Thank you. Your consideration in making these changes is greatly appreciated.

> Sincerely, Jacqueline D. Igliozzi