

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Special Meeting Agenda  
Tuesday, September 19, 2023 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

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| <b>MEETING LOCATION:</b>   |  |
| <b>Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT</b>  |  |
| Click link below:<br><a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a> | or<br>Go to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a><br>Enter meeting ID: 847 6556 4828 |
| Dial: 1-646-558-8656   |  |
| Enter meeting number: 847 6556 4828, then press #, Press # again to enter meeting                              |  |

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Meeting August 15, 2023
- V. Public Commentary**
- VI. Unfinished Business:**
  - a. Reading of Legal Notices:**
  - b. Continued Public Hearings: None.**
  - c. New Public Hearings:**
    - 1. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
    - 2. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
    - 3. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.
  - d. Other Unfinished Business:**
    - 1. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
    - 2. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
    - 3. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver
    - 4. **SD 23-001:** Two-lot subdivision including 3 acres on Day Street (Map 43/Lot 6), Applicant: Jeff Weaver.
- VII. New Business:**
  - a. Applications:**
    - 1. **SP 23-005:** Special Permit for sit-down café and restaurant (tea, beverages, ice cream, baked goods, soup, sandwiches), retail gift shop and catering at 8 Wolf Den Road, Applicant: Creamery Tea House, Owner: Julie MacCormack.
    - 2. **SPR 21-004mod:** Site Plan modification for ground-mounted solar panels at 5 Front Street and 29 Tiffany Street, 1.8 acres, R-10 Zone, Applicant: CHIP Fund 6 LLC & CHIP Fund 8 LLC.
    - 3. **ZRC 23-006:** Modification to Appendix 10.D: Floodplain Management Regulations of the Floodplain Overlay Zone/ (FEMA/NFIP), Applicant: PZC.
  - b. Other New Business:**
    - 1. Discussion of potential subdivision on Old Tatnic Hill Road.
- VIII. Reports of Officers and Committees**
- IX. Public Commentary**
- X. Adjourn**

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Special Meeting  
Tuesday, August 15, 2023 6:30 p.m.**

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**MINUTES**

**I. Call to Order** – Carlene Kelleher, Acting Chair, called the meeting to order at 6:36 p.m.

**II. Roll Call** – Carlene Kelleher, Allen Fitzgerald, Lisa Herring, Seth Pember, Gil Maiato, Michelle Sigfridson arrived at 6:40 p.m. (all present in person).  
John Haefele was absent with notice.  
Brian Simmons and Karl Avanecean were absent.

**Staff Present (in person):** Jana Roberson, Town Planner and Director of Community Development; Austin Tanner, First Selectman (arrived at 6:40 p.m.).

**Also Present in Person:** Peter Parent, P.E., CHA; Bill Couture; Attorney Daniel Brennan; Mindy Delp; J.S. Perreault, Recording Secretary.  
There were two additional people seated in the audience.

**Present via Zoom:** Steve Townsend; Sharon Loughlin; Bob Kelleher.

**III. Seating of Alternates** – None.

**IV. Adoption of Minutes:** Meeting August 2, 2023

Motion was made by A. Fitzgerald accept the Minutes of the Special Meeting of August 2, 2023, as presented.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (5-0-0). M. Sigfridson was not present at the time of this vote.

**V. Public Commentary** – None.

**VI. Unfinished Business:**

a. **Reading of Legal Notices:**

Legal Notice for SP 15-006 mod, SP 22-006, and ZRC 23-005/ZC 23-002/SRC 23-001, published August 2, 2023 and August 9, 2023.

b. **Continued Public Hearings:** None.

c. **New Public Hearings:**

1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

C. Kelleher opened the public hearing.



Peter Parent, P.E., CHA, represented the Applicant. Steve Townsend was present via Zoom. Bill Couture (developer) and Attorney Daniel Brennan were also present regarding this Application.

Mr. Parent gave an overview (plans were displayed as discussed):

- This is a modification of the rear half of the CVS/Hometown Bank site for which they have been before the PZC several times.
- They had previously come before the Commission to add self-storage as an allowed use in the Zone.
- This is similar to what had been previously proposed. The conceptual layout is for two buildings for self-storage on the east side (behind McDonalds) and continuing with the previously-proposed commercial use on the west side.
- Mr. Parent displayed and explained sheet #3 of the plans. They intend to keep the existing parking around the existing spa and medical office building, expanding that parking as was previously proposed in the development plan that had the large commercial building which they are keeping, essentially, the same with a small bump-out and extended area, parking in front and in the rear, and loading dock on the side. The self-storage would be a contained area with a perimeter fence for security, paved drive isles, and doors on all four sides for access.
- Drainage (sheet #5 of the plans) - All of the existing parking and roof area is collected by an existing drainage system, discharged through a water-quality treatment unit and then discharged to the wetlands to the west. All of the new development area will be collected by a separate systems of catch basins and discharged through an additional water-quality treatment unit and discharge to the water-quality swale to the north.

Mr. Parent explained that the previous owner had entered into an agreement with the Town of Brooklyn and allowed the Town to construct a serpentine water-quality swale on the west side of the property and there is more linear water-quality swale on the north side of the property, in exchange for the development on this property not having to provide on-site detention for peak flows. Mr. Parent stated that they are providing water-quality in compliance with that agreement, but they are not providing any on-site detention for peak flows.

- Landscaping (sheet #7 of the plans) – The intensive Landscaping Plan is in accordance with the Regulations. They are swapping out an invasive species with another species as suggested by J. Roberson. Mr. Parent explained that an existing landscape berm that had been installed with one of the previous construction projects will remain and is to be expanded to the east. He indicated where plantings would be.
- Mr. Parent said that this proposal is very similar to what had been previously approved.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION:**

- **L. Herring** asked if they are only doing the self-storage at this time, not the commercial building. She asked if there is office space in the storage buildings.

Mr. Parent explained that the self-storage has an interested developer and that they are still seeking tenants for the commercial space. When they find a tenant, they would do that portion.

Bill Couture, the developer, explained that they would make an office out of one of the 5' x 10' storage units near the gate entrance. It won't be

a manned facility with office hours. It will have a swinging door and there will be a slot where people can drop their payments. Most of the self-storage industry is transacted online. There will be very minimal foot traffic at the site

- **C. Kelleher** asked if all of Syl Pauley's comments have been resolved. J. Roberson stated that they have and she referred to an email from Mr. Pauley to Margaret Washburn (dated August 7, 2023) in which he states that all of his comments had been addressed and that the plans were revised accordingly. Ms. Roberson explained that this Application has been reviewed by the IWWC and that Mr. Pauley's comments were from an engineering perspective that involved a lot of review of the previous approval, the drainage, Stormwater Management Regulations and whether and how they are being met, and he is satisfied.

Steve Townsend commented about his confidence in the experience of Mr. Couture who owns/operates self-storage facilities. He asked that Mr. Couture comment about how he operates his existing facilities and how he views this site in Brooklyn.

Mr. Couture explained how he and his wife operate their two facilities (one in Putnam and one in Plainfield). He has been in the business for five years. He stated that he is a commercial loan officer and has multiple borrowers who have self-storage facilities. His wife, Kim, is the day-to-day operations manager. They have taken older style facilities and brought them up to date with technology (upgraded security systems/ability to rent units through your phone). He said that there is still a demand for self-storage in Town. Mr. Couture explained that a 100-unit facility is proposed and he said that it would be very low impact as he expects an average 2-3 car count per day, once it is stabilized. He feels that it will be a successful site and that it would work well in the proposed area.

#### **QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- **A. Fitzgerald** asked if the lighting is dark-sky compliant. Ms. Roberson explained that there is a lighting plan and that it is LED lighting with full cut-off fixtures (detail is on sheet #8 of the plans).

#### **QUESTIONS/COMMENTS FROM THE PUBLIC:**

- **Robert Ross**, Plaza Street, spoke about drainage concerns and asked who would be liable for washouts or erosion. He said that it is a Town-maintained swale and the Town only goes in there once every few years. He suggested putting a pipe into the retention pond to hold it back a little bit more, rather than letting it free-flow into the 4-foot channel. He feels that there should be some kind of protection for the neighborhood. Mr. Parent explained that the swale is slated to be maintained a little more regularly than it has been.
- **Dawn Merchant**, 33 Plaza Street, explained that she is very concerned about the drainage because it gets to be like a pond in the back of her house. Mr. Parent indicated on the plan and explained about the designed water-quality swale along the back of Ms. Merchant's property which, by design, fills up with water when it rains. He explained that there is a great deal of area that discharges to it, but it was included in the original design calculations by J&D. They accommodated for this property to be developed when they designed both of the swales and the way that the agreement was written, between the Town and the previous owner, was that they had the right to discharge from their development into those swales. So, the Applicant is trying to provide the water quality per that

agreement and are discharging in as safe a way as possible. He explained that they have an erosion control outlet designed per State standards, very shallow pipe, low velocities. They are doing what they can for the potential for erosion and are providing the water-quality treatment.

**QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- **A. Fitzgerald** asked if anyone has as-built that swale.  
Mr. Parent explained that it had been several times.  
Ms. Roberson stated that there is an as-built as it exists.  
Mr. Parent stated that he does not believe that there are contour lines on the current existing conditions plan, but they have surveyed it in the past.  
Mr. Parent explained and indicated that it is grown in with vegetation and there is some maintenance that needs to be done, but nothing has moved considerably.

Mr. Tanner asked about Mr. Parent's earlier comment about maintenance and asked who is to maintain it.

Mr. Parent explained that it is the Town's responsibility to maintain it.

Mr. Tanner asked if they had checked with the Town.

Mr. Parent stated that they had several conversations and that the IWWC is going to encourage the Town to maintain it more regularly. He, again, explained about the agreement and how the two water-quality swales were designed as an overall project to improve the water quality of the Quinebaug River. The serpentine swale takes the discharge from Route 6 and the linear swale takes a good portion of the Ocean State Job Lot parking lot into it and it all funnels into the wetland at the end of Plaza Street, then all of that water makes its way towards Day Street and the River.

- **L. Herring** asked Ms. Merchant about what happens behind her property.  
Ms. Merchant explained that she has photos of her yard, basement and garage, but she did not have them with her. She said that she had been told that it is the Town's problem and she has not received any help.  
Ms. Roberson displayed sheet #2 of the plans and indicated the riprap, berm, existing fence and Ms. Merchant's house.
- **G. Maiato** asked if this development could cause more of a problem for Ms. Merchant.  
Ms. Roberson stated that she defers to the Engineers and she said that Syl Pauley was satisfied with the Stormwater Report. She explained that the original agreement was in 2004 and that is when this easement was put into place and it was part of the original approval for a full development of this property (the original commercial structure). She explained that although she was not employed by the Town at that time, it has been confirmed that at that point in time the Town took responsibility for both of the swales.  
**Mr. Maiato** asked if the Town is liable to fix Ms. Merchant's problem if this development causes her more of a problem.  
Ms. Roberson said that she does not know about that, but she believes she has a problem. Ms. Roberson asked her what the situation is today since it rained earlier.  
Ms. Merchant explained that it is very wet back there and that in the thirty years that she has lived there, she believes that the Town has only maintained it one time.  
Mr. Tanner stated that they clean out the one by the Bank regularly.

Robert Ross explained that you keep adding from Route 6 into that low-lying, stormwater area and it only holds so many gallons. He said that he believes there is only an 18-inch pipe that goes down and ties-in across Day Street and goes out to the River, so he feels that this may be part of the problem. He said that we get a lot more rain now than we did in 2004 which, he said, is one of the reasons why they changed the laws so no water can leave the area. He suggested putting a set of 4' x 4' galleys the length of the berm in the back to retain some of the water before it actually went out. He said that it would filter through the ground and nobody may even see it. It would be an added expense, but he feels that it would be less hassle.

- **A. Fitzgerald** asked what needs to be cleaned out.

Mr. Ross explained that he doesn't know if the pipe is big enough to handle all of the water coming out of the swamp.

**Mr. Fitzgerald** asked if the pipe is sufficient enough.

Mr. Parent stated that the swales are designed to treat the water quality. At the time, the wetland was designed as being the detention portion of it. They have not mottled it beyond that original design.

**Mr. Fitzgerald** stated that, when they approved previously, they should have taken into account the run-off of the whole area.

Ms. Roberson stated to the standards of the day which have changed as well as climate conditions have changed.

#### **QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

- **Mr. Ross** asked, again, if something happens, who is responsible.

Mr. Maiato stated that he does not feel that the Town should be responsible. He feels that the Applicant should be responsible.

Mr. Pember and Mr. Fitzgerald explained that the agreement is in place and that the communication hasn't been very good.

M. Sigfridson commented that the agreement says that the Town has the responsibility to maintain the swale, but what if it were determined that upgrades needed to be made? Would the Town have the right to make those upgrades?

Mr. Parent explained that the Town has an easement over both of the swales, they had an easement to construct them and they were constructed under a Town contract. So, if the Town feels that upgrades or modifications needs to be made, they have the right to do so.

Ms. Roberson stated that she has concern as to whether the water is flowing in the wrong direction. She asked if it should be flowing west.

Mr. Parent said "yes" and indicated how it should be flowing. He explained that it is a relatively low area and Ms. Merchant's lawn is very close to the elevation of the swale, so he can see how, in a very large rainfall, her yard would potentially flood.

#### **QUESTIONS/COMMENTS FROM STAFF:**

- Ms. Roberson asked if Mr. Parent has topography for that portion of the site. Mr. Parent stated that he has topography from 2014. Ms. Roberson stated that it shouldn't have changed since then.
- Ms. Roberson said that she saw a sheet showing that the berm is there.
- The landscaping on the berm seems okay.
- The fence is there.
- Ms. Roberson said that she was unable to walk the whole property as it was too vegetated. She asked about the location of the swale between the residences and the fence.

Mr. Parent explained that there is the landscape berm and a fence on the backside of the berm, then the swale, and then the residences. There is access from Ocean State Job Lot.

**QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- **L. Herring** asked about the cost of fixing the problem  
Mr. Parent explained that it would depend on what was determined as needing to be fixed. He said that, based on his walk-through, he feels that all that needs to be done, at this point, is mowing. There didn't appear to be anything blatantly out of place.  
There was more discussion with Mr. Ross.
- **G. Maiato** stated that he feels it should be addressed.
- **S. Pember** explained that the PZC is not in a position to hold up this project as this site has already been approved based on the existing swale. The PZC cannot condemn this project based on what may or may not happen in the future, as far as what is Town responsibility.  
Ms. Roberson commented that it has been previously approved for a similar scale of development and the drainage system was designed based on a very similarly scaled development. Not the same building layout, but approximately the same impervious area.
- **S. Pember** suggested that a letter be written to the First Selectman.  
Mr. Ross stated that if Ms. Merchant has problems with it, somebody is going to hear about it.  
Mr. Pember stated that the PZC doesn't have the authority, unless we want to go back and undo everything that was done back in 2004. He questioned whether they could.  
Ms. Roberson said that she doesn't think so, but there were actually several approvals over the years. The swales were probably installed after the first approval. She explained that this Application is **SP 15-006 mod** because we are modifying an approval that took place in 2015.  
Mr. Parent explained about the different approvals and he noted that the impervious area in this Application is considerably less than the impervious area in the original design. Ms. Roberson stated agreement.

**QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

- **Robert Ross** asked why you couldn't take that pipe and go out into the serpentine. He said that there is a 7-foot retaining wall there. He said that the same amount of water will still get to the same spot, but it won't get discharged into the swale. He said that the swale is holding its own right now.  
Mr. Parent explained that, with the original approval, they had originally proposed discharging the lower portion directly into the serpentine swale and, for whatever reason (he does not remember), they ended up discharging after the outlet, not into the swale. He thinks it was based on comments received.  
There was discussion regarding Mr. Ross question about possibly discharging into the existing basin and trying to get the elevation from there. Mr. Parent explained that it would require IWWC approval.

**QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that the IWWC has approved this plan.
- Ms. Roberson offered that a site walk could be scheduled.

- Ms. Roberson stated that she was not aware of the flooding in Ms. Merchant's yard and she offered that Syl Pauley could be consulted about it.  
Mr. Pember commented that the drainage is more of a Town problem, so he does not think that a site walk would change anything.  
There was discussion. Ms. Roberson referred to the easement that was recorded in 2005 and was reapproved by the PZC in 2015.  
Mr. Pember suggested that Syl Pauley could take a second look and make recommendations, but he doesn't feel that it would change the owner's responsibility on this project.  
Ms. Sigfridson agreed with Mr. Pember and added that it would be a good idea to have Mr. Pauley look at the swales and the swamp area to see if there is something that can be done easily to address the issues.

**QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- A. Fitzgerald asked if the original developer constructed the swale or was it subcontracted out.  
Mr. Parent stated that the Town subcontracted it out.  
Mr. Fitzgerald asked if Mr. Parent would provide as-built and topo information. Ms. Roberson stated that she may already have that information.
- Mr. Pember asked about timeline.  
Ms. Roberson stated that the public hearing could be continued.

Mr. Townsend voiced concern that the Commission is linking his ability to move forward with this project to the Town dealing with a drainage issue in the swale. He felt that they addressed it when it was turned over to the Town, the swale was built, and their agreement was that they would be able to discharge into that swale. He said that he is not comfortable with holding up his project while the Town, which has gone through a number of studies on it own. J&D did the original engineering, Syl Pauley has reviewed it twice, it's been approved by the IWWC, and does not see any reason why he should be held up on this project while the Town looks up what it may need to do going forward.

Mr. Pember explained that he wanted to be sure to stay within the timeline.

Ms. Sigfridson explained that when she suggested having Mr. Pauley look at it, she meant separate and apart from this Application, based on concerns being raised by property owners in that area.

Mr. Pember stated that, regardless of what the PZC does, he feels that the Town Engineer needs to go in there and look at it, which is not going to hold up Mr. Townsend's project. He stated agreement with Ms. Sigfridson.

Mr. Ross and Ms. Merchant both stated that they are not looking to hold up the project, they are just concerned about the drainage and who is responsible.

**QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that there is a lot of water going onto this property from Ocean State Job Lot and she said that there is also room on that property for some on-site infiltration. She said that there should be opportunities for the Town to pursue infiltration to the east.  
Robert Ross, again, asked who is responsible if the water builds up.  
Ms. Roberson stated that per the easement, the Town is responsible.

**QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- Ms. Sigfridson commented on the importance of getting ahead of this in our Planned Commercial Zone so projects won't get held up in that general area.
- Ms. Kelleher suggested that writing a letter is a good idea to get this problem stated and identified so that the Town can coordinate doing something to address it.

**QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

- Robert Ross commented that he is sure that the elevation of the swamp has come up 6-8 inches in 20 years because of leaves, debris, etc. Mr. Fitzgerald stated that that is why he asked about the as-built topo. Mr. Fitzgerald asked if it is designed to infiltrate to the bottom. Mr. Parent explained that a portion is and the soils there are fairly sandy. Discussion continued with Mr. Ross.

**QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that the Callery pear is considered an invasive species and the Applicant has agreed to replace them with Pin Oak.
- Ms. Roberson explained that the storage facility was allowed through a zone change and the feeling, at the time, was that that was an appropriate use off of Route 6, not taking up frontage, and not being very visible to the public. She referred to the Route 6 Corridor Guidelines which talk about appearance in many different ways. She said that it very specifically calls out chain-link fence as something to be avoided. She stated that black-coated, chain-link fence is specified for around the storage facility which she feels will be very visible. She displayed and explained about photos of other kinds of fencing and different ways of screening dumpsters in the neighborhood. Ms. Roberson asked if the Applicant would consider a different kind of fencing that would more effectively hide the buildings and the dumpster. Mr. Parent stated that screening the dumpster would be something that they would be willing and able to do. Hiding the buildings, from a site security standpoint, with a more decorative fence would be something that they could consider, but he does not think they would want to provide something opaque. Mr. Couture explained about the chain-link fencing at his Putnam facility and about how a fence that blocks the view of the building encourages intruders to get in and, therefore, is less secure. People who rent self-storage want their units to be secure. He said that they want to avoid criminal activity. He commented that this is more of a rear lot that is already mostly blocked by McDonald's, Auto Zone, the side of Ocean State Job Lot, and plus they have the fence facing the residential portion. Ms. Roberson referred to the Architectural Plan which was submitted with the IWWC Application.

**QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

- Robert Ross commented that he feels that the black chain-link fence with no slats would look much better with seeing the buildings rather than making it look like a horse corale. He can see it for the dumpster to hide the garbage and debris. He said that if the place is running the way it is supposed to, the parking lot should be kept clean and the appearance of the buildings should be well kept. He said that you won't see the black fence from a distance, but it would give them security.



Mr. Couture stated that there will not be a dumpster with the self-storage facility as there will be no trash.

**QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented about the dumpster in the back that the smaller building would utilize.  
Mr. Parent stated that is incorrect and he indicated the location where they are providing another dumpster alongside McDonald's.
- Ms. Roberson referred to and displayed the Architectural Plan. She said that it may be a long time before the other building is built and she said that the storage facility is all that might be seen for some time. She said that her impression of the zone change was that it would be allowed because it wasn't very visible. She said that there are other ways to do advertising. She said that this is going to be creating people's mental images of our Community and so, she feels that a more aesthetic style of fencing would be appropriate for those publicly facing sides.
- Ms. Roberson asked if all of the vegetation on the eastern property boundary and along the whole perimeter with McDonald's needs to be removed and replaced with junipers because the existing vegetation seems to be doing a pretty good job of buffering.  
Mr. Parent explained that there is quite a bit of grading that needs to happen along the Auto Zone side, but there is also quite a bit of property between the curb and the property line that wouldn't be disturbed. Same thing on the McDonald's side, there is a considerable difference between their parking lot and the property line. Some of the existing vegetation will stay.

**QUESTIONS/COMMENTS FROM THE PUBLIC continued:**

- Robert Ross asked if there would be a landscaped island between the fence and CVS.  
Mr. Parent explained that the fence would be going to the property line, the raised island is very narrow, so no trees or shrubs there.

**QUESTIONS/COMMENTS FROM THE COMMISSION continued:**

- A. Fitzgerald commented that he does think that you would be able to see very much of the buildings. From a security standpoint, he said that he wouldn't want it blocked in.  
Ms. Roberson stated that a more aesthetic fence is not going to be opaque. She said that you can still see through it, but it's not chain-link. She said that the black coating kind of makes it disappear and then, you're looking at a storage building.  
Ms. Sigfridson stated that the buildings are not attractive. It is what it is.  
Mr. Ross commented that he understands both sides.
- A. Fitzgerald asked what color the garage doors would be.  
Mr. Couture said that there are unlimited color choices and gave his Putnam facility as an example: beige siding with forest green doors. He said that he is open to suggestions.  
Ms. Roberson displayed the aerial of the Putnam Facility.
- A. Fitzgerald asked if the buildings are pre-fab metal.  
Mr. Couture stated that they are.
- Mr. Fitzgerald suggested a 6-foot high, black picket fence (aluminum post) that he had seen around another storage facility in Windham and also Brooklyn Self-Storage as an aesthetic alternative to the chain-link.  
Ms. Roberson and Ms. Sigfridson agreed that it sounds nice.

Mr. Ross stated that it is a nice-looking fence.

Mr. Couture stated that that was the other option that they had considered if the proposed fencing doesn't work. Mr. Couture explained that it comes down to cost. The aluminum posts are really nice, but they are also really expensive. He asked if it would be possible to do two sides with the chain-link, He said that the back facing the residential already has chain-link.

Ms. Roberson stated that a lot of the fencing has already been installed (along most of the property lines). She stated the ornamental aluminum fencing for the parts that are most prominent and the dumpster. She asked what the Applicant was thinking for a dumpster enclosure.

Mr. Parent stated that they could do something more opaque, similar to CVS and McDonald's.

Ms. Roberson commented that she doesn't feel that CVS's is the best and suggested more like McDonald's (steel frame with vertical wood panels, painted a neutral color).

Ms. Sigfridson suggested a darker beige.

Mr. Couture stated that he is not than picky regarding the color scheme.

**QUESTIONS/COMMENTS FROM STAFF continued:**

- Ms. Roberson commented that it is her understanding that they do not yet have approval from the WPCA.

Mr. Parent stated that they have not reached out to the WPCA. The storage units do not have sewer or water.

- Ms. Roberson commented that the Applicant has stated that they do not have tenants for the commercial portions of the building.

- Ms. Roberson explained that "commercial space" is not listed as a use in the Zoning Regulations (not defined enough). She explained how she addressed this in her Staff Guidance/sample motion.

She and Ms. Sigfridson explained to Mr. Townsend that Automobile Sales, Automotive Service Station, and Gas Station were also not included in the previous approval.

Mr. Townsend stated, "Okay."

Ms. Roberson read aloud, for the Record, from Section 4.D.2.3, the business-related uses that would be included for the commercial building: Retail; Personal Services; Restaurant including Fast Food; Office, Business or Administrative; Bank; Licensed Health Services; Banquet Hall or Caterer's Establishment; Hotel/Motel; Child Daycare Center or Adult Daycare Center; Health Club and/or Membership Club; Theater; Indoor Sports and Recreation; Itinerant Seasonal Vendors; and Retail Sale of Cannabis. She said it is everything for that Zone with the exception of the three automotive uses.

There were no further comments.

Motion was made by A. Fitzgerald to close the public hearing for Application **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

Second by L. Herring. No discussion.

Motion carried unanimously by voice vote (6-0-0).

At this time, M. Sigfridson assumed the position of Chair for the remainder of the meeting.

2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Mindy Delp represented herself and explained that she would like to have permission to have a craft shop. She said that previously, she had argued that it was unrealistic for everything sold in the shop to have to be produced by one person - herself. She explained that she would like to have a wide variety of products, involving other local artisans, to offer the Community. She explained that is a labor of love for her and that she is not doing this to make money, so it would be advantageous to the other artisans as she would not be taking a huge percentage of sales as most galleries take 40-50 percent. She said that it would be fun for her to produce and sell things and interface with other local artisans.

Ms. Sigfridson explained that Ms. Delp had previously submitted an application which had been withdrawn to give the Commission the opportunity to consider amending the Regulations to allow other people to show their work. The Commission did change the Regulations to allow that and now, Ms. Delp has resubmitted an Application specific to her property for her project. Ms. Delp stated agreement and explained that the wording had been changed from “the craftsperson” to “a craftsperson.”

Ms. Roberson explained that the wall signage was increased as the Regulations had not addressed signage for State Route Business Enterprises and Ms. Delp would like to do a “Barn Quilt” wall sign (photos were included in packets to Commission Members). Ms. Roberson displayed and explained photos of the property that she had taken from the road earlier in the day. Ms. Delp spoke of the historic building, built in the early 1800’s, that may have been used as a toll-collecting station. Ms. Roberson stated that it is in the Bush Hill National Register Historic District.

Ms. Roberson explained that there was some lot clearing done on the property (she displayed photos) which Ms. Delp would like to include in this Application. Trees, brush, and invasive vines were removed. There is a pretty substantial stonewall along the southern property boundary. Some large stones had been pulled from the ground along the western property boundary and were placed alongside of the stonewall for now.

Ms. Delp stated that she had enclosed the heating/cooling unit as Ms. Roberson had suggested to her. Ms. Roberson explained that, in preparation for using the building, a mini-split system had been installed. Ms. Roberson pointed out that the condensate line, shown in the photo, had been painted the color of the house making it blend in beautifully. She suggested another item in the photo that could also be painted to blend in with the building.

Ms. Roberson showed a photo of the driveway and indicated the approximate location of the parking spaces.

Ms. Roberson explained that the wood clearing, which could be subject to special permit, is now included in this Special Permit Application. So, it is covered in regards to the Scenic Route 169 Overlay Zone which regulates clearing of anything in view from the road. She said that it was found that Ms. Delp’s clearing just exceeded ½ acre which triggers a stormwater soil erosion and sedimentation control plan. Ms. Roberson stated that she and Margaret Washburn have been out there and there is no soil movement. It is, basically, staying on-site and it is re-vegetating, so everything is good there. Ms. Washburn has signed-off

as the Wetlands Agent. Ms. Delp explained Ms. Washburn's findings: the stone wall is continuous along the back of the property where drainage would occur, if there was any to occur; and the slope is a couple of degrees, at best. Ms. Delp stated that a silt fence has been installed all along the stone wall. Ms. Roberson clarified that it is along the western side, which is the direction of the slope. Ms. Roberson noted that you can see the large stones. Ms. Roberson mentioned that there is a driveway which was not visible in the photograph that she had displayed. She asked Ms. Delp what her proposal is for this area.

Ms. Delp explained that her hope is that it will look better now that the half-dead ash trees and invasive vines and the whole area have all been cleared (without knowing that a permit was needed). She explained that she plans to plant conifers all across the front (eastern side of the property) along with another type of trees to form a living fence across the east side of the property so that not much of the property would be visible in a few years as these trees grow three feet per year. She explained that she would also like to plant fruit trees toward the back of the property (western side) near the vegetable garden she currently has there. Ms. Roberson stated that the trees would be for screening. Ms. Delp agreed and stated also along the stone wall on the southern part of the property. She said that she would need approximately 40-50 trees and she feels that it will look better than it did originally. Ms. Delp mentioned the Cease & Desist Order that had been issued and stated that she would like to get started on the work again to get rid of the rocks and level the land a bit and do the planting, but these things can't be done until what is there from the clearing is removed. Ms. Roberson explained about how the clearing was added onto this special permit application. She said that combining projects into a single application is suggested to everyone. Ms. Sigfridson commented that she did not see anything on the plan addressing that portion of the property, the clearing or the proposed planting. Ms. Roberson displayed and explained/orientated a sketch of the property, noting the following: stone wall; street sign (front of property); State culvert for run-off from School property; eastern property boundary; the pile of rocks and trees (depicted in another photo); approximate location for fruit trees and bushes; location of proposed tree planting for screening.

There was discussion regarding applicable Regulations (Soil Erosion & Sedimentation Control - Section 7.F.5 and the Scenic Route 169 Overlay Zone). Ms. Roberson explained about Staff approval and Site Plan Review. She said that there was concern about drainage, at first, but it was found not to be an issue. However, Ms. Roberson said that she felt that the sitework, within view from Route 169, should come before the PZC.

Ms. Sigfridson stated that she feels that we may be overstepping bounds and that she had a couple of concerns with this Application. She gave an example that she wouldn't want people to have to have their site plan modified to change one particular plant for a different one. Also, for this specific Application, she clarified that the PZC is not suggesting that the Green Giant trees are what is necessary to be planted along Route 169. Mr. Fitzgerald stated agreement with Ms. Sigfridson and also commented that the contractor that did the clearing should have known better. Discussion continued. Ms. Delp explained that a neighbor had offered to allow the large stones/boulders to be thrown over the stonewall onto his property or she may sell them. Ms. Roberson explained that incorporating them into the existing stonewall would damage it.

Ms. Delp submitted, to Staff, the certified mailing to the four abutters.

There were no comments from the public.

Motion was made by C. Kelleher to close the public hearing for Application **SP 22-006**: Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (6-0-0).

3. **ZRC 23-005/ZC 23-002/SRC 23-001**: Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Ms. Roberson explained that in 1985 Brooklyn joined the National Flood Insurance Program and have been using Regulations adopted at that time, with very minor changes over the years, and a mapping that was developed in 1985 has been in affect up, and to, today.

Ms. Roberson explained that FEMA has re-mapped the flood zones and that we are mandated to update our Town Flood Management Regulations. Previously, this had been in an Ordinance adopted at a Town Meeting which delegated the Authority of enforcement to the PZC. There is a Section in the Zoning Regulations that refers to the Ordinance. We have a Flood Plain Overlay Zone. The previously FEMA mapping was so bad that we could not put it on the Zoning Map, but the new mapping is much better and can be added to the Zoning Map.

Ms. Roberson has spoken with the State's Floodplain Coordinator, and was informed that FEMA does not care if it is an ordinance or a regulation (e.g. zoning regulation) as long as it is adopted before September 7, 2023. Ms. Roberson suggested taking the Flood Pain Regulations out of the Ordinance, where it is separated from the Zoning Regulations, and put the whole thing in the Zoning Regulations. Ms. Roberson explained that all of the proposed changes reflect the new NFIP fully incorporated into our Zoning Regulations. The full requirements are in Appendix D (included in packets to Commission Members), there is a page in our Zoning Regulations that points you to look in the Appendix, and references in the Subdivision Regulations have also been updated. Should the Commission choose to adopt this new approach, the Ordinance would become obsolete and can be removed from the Town Code. The Town Clerk researched this and found that you do not need a Town Meeting to rescind the Ordinance. Mr. Tanner stated that he does not agree with that and he will speak with the Town Clerk about it. Ms. Roberson said that FEMA doesn't care and she said that she had researched it and it has been checked by the Floodplain Coordinator.

Ms. Roberson explained that there are two sections that are the PZC has some discretion over and she referred to the Appendix D:

- Market Value (page 5)  
There was discussion and consensus of the Commission was for Option #2 - The property's tax assessment.
- Substantial Improvement (page 6)  
There was discussion about exemption in the definition vs. the variance procedure. Consensus of the Commission was for exemption. Ms. Sigfridson asked that the Record reflect that the Commission Members nodded for exempting historic structures.

Motion was made by A. Fitzgerald to close the public hearing for Application **ZRC 23-005/ZC 23-002/SRC 23-001**: Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Second by C. Kelleher. No discussion.

Motion carried unanimously by voice vote (6-0-0).

**d. Other Unfinished Business:**

1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

Motion was made by A. Fitzgerald to approve the Special Permit modification application of Townsend Development Associates, LLC to create a self-storage facility and commercial space at 538 Providence Road in the Planned Commercial Zone, identified in the files of the Brooklyn Land Use Office as SP 15-006 mod, in accordance with all final documents and testimony submitted with the application with the finding that the proposal is consistent with Sec. 4.D.5. (Additional Special Permit Criteria), the Route 6 Corridor Design Guidelines, and Sec. 9.D.5 (Special Permit Criteria) of the Zoning Regulations. Such approval includes the following conditions and modifications:

1. The Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals and signed by the Commission Chair shall be recorded along with the Record of Special Permit in the office of the Town Clerk.
2. Prior to conducting any site work, the applicant shall apply for a Zoning Permit from the Zoning Enforcement Officer. Approval from the Water Pollution Control Authority will be obtained before applying for a Zoning Permit for the commercial structure.
3. The Special Permit modification approval pertains to one 6,300 s.f. self-storage building, one 8,400 s.f. self-storage building, and a 19,360 s.f. commercial building. Since commercial tenants have not been identified, any business-related use contained in Sec. 4.D.2.3. of the Zoning Regulations may be located in the commercial building except: automobile sales, automotive service station, or gas station. Potential commercial tenants must obtain a Zoning Permit from the Zoning Enforcement Officer and must comply with the Zoning Regulations and this approval.
4. Callery pear trees will be replaced with Pin Oak (*Quercus palustris*).
5. Chain link fencing with slats will be replaced with decorative aluminum fencing along the southern and western facing sides adjacent to the storage facility. The dumpster shall be surrounded by an opaque or nearly-opaque enclosure. The final design to be approved by the Zoning Enforcement Officer as part of the Zoning Permit.

Second by G. Maiato. No discussion.

Motion carried unanimously by voice vote (6-0-0).

2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Motion was made by S. Pember to waive the site plan requirement for Application **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (6-0-0).

Motion was made by C. Kelleher to approve the Special Permit application of Mindy Delp to create a State Route Business Enterprise for Craftsperson at 481 Pomfret Road, identified in the files of the Brooklyn Land Use Office as SP 22-006, in accordance with all final documents and testimony submitted with the application with the finding that the proposal is consistent with Sec. 6.B.2. (State Route Business Enterprise Standards), Sec. 5.A.5 (Route 169 Design Standards) and Sec. 9.D.5 (Special Permit Criteria) of the Zoning Regulations. Such approval includes the following conditions:

1. The Record of Special Permit shall be recorded in the office of the Town Clerk.
2. Prior to conducting the use, the applicant shall apply for a Zoning Permit from the Zoning Enforcement Officer.

Second by S. Pember. No discussion.

Motion carried unanimously by voice vote (6-0-0).

3. **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

Motion was made by G. Maiato to approve the changes to the Zoning Regulations, Zoning Map, and Subdivision Regulations with the finding that the changes will aid in the protection of public health, safety, welfare, and property values; are consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations; and are consistent with the requirements of the National Flood Insurance Program. These changes will become effective fifteen days from publication in accordance with CT General Statutes Section 8-7d. These regulations will supersede and replace the existing flood damage prevention ordinance contained in Chapter 12 of the Brooklyn Town Code.

Second by A. Fitzgerald.

Discussion:

- C. Kelleher noted that Mr. Tanner had stated that the removal of the Ordinance would need to be done by Town Meeting. M. Sigfridson stated that the PZC cannot remove the Ordinance. Mr. Tanner explained that it would be superseded. Ms. Roberson stated that this doesn't do anything to the Town Code, but it does make it clear that we are regulating this completely through Zoning. Ms. Sigfridson stated that the proposed changes did not need to be mentioned in this motion to approve as they were discussed during the public hearing.

Motion carried by voice vote (5-0-0). A. Fitzgerald was not present at the time of this vote.

4. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart. **\*Awaiting Sept. 6 public hearing\***
5. **SD 23-001:** Two-lot subdivision including 3 acres on Day Street (Map 43/Lot 6), Applicant: Jeff Weaver.

Ms. Roberson explained that they had just received a Zone Change Application and are within the timeframe on the subdivision. This will be on a future agenda.

## **VII. New Business:**

### **a. Applications:**

1. **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Aces Hardware.

Motion was made by S. Pember to schedule the public hearing for **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware for the special meeting of the Planning and Zoning Commission to be held on September 6, 2023 at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom.

Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (6-0-0).

2. **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.

Motion was made by S. Pember to schedule the public hearing for **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver for the special meeting of the Planning and Zoning Commission to be held on September 6, 2023 at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom.

Second by G. Maiato. No discussion.

Motion carried unanimously by voice vote (6-0-0).

### **b. Other New Business:** None.

## **VIII. Reports of Officers and Committees – None.**

There was discussion regarding a property in the VCD.



**IX. Public Commentary – None.**

**X. Adjourn**

**M. Sigfridson adjourned the meeting at 9:18 p.m.**

Respectfully submitted,

J.S. Perreault  
Recording Secretary

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLIC HEARING**

The Planning and Zoning Commission will hold a public hearing on September 6, 2023 starting at 6:30 p.m. via Zoom and in-person at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT on the following:

- **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
- **SP 23-004:** Special Permit for above-ground propane storage and outside display of merchandise at 564 Providence Road, Applicant: Sholes Ace Hardware.
- **ZC 23-003:** Zone boundary change from RA=>R-30 for 1.3 acres on the south side of Day St. (Map 43, Lot 6), Applicant: Jeff Weaver.

**Please publish August 23 and 30<sup>th</sup>**

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date JUL 20 2023

Application #SP 23-003  
Check # 024

APPLICATION FOR SPECIAL PERMIT

Name of Applicant Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR, 72716 Phone \_\_\_\_\_

Name of Engineer/Surveyor Bohler Engineering  
Address 65 Lasalle Road, West Hartford, CT 06107  
Contact Person Jeff Bord Phone (860)333-8900 Fax (508)480-9080

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 450 Providence Road, Brooklyn, CT  
Map# 41 Lot# 10 Zone PC Total Acres 25.48  
Sewage Disposal: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_

Proposed Activity Online grocery pick up addition with parking modifications

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? No

The following shall accompany the application when required:

- Fee \$ 610.00 State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: \_\_\_\_\_ Date \_\_\_\_\_

Owner: Mike Rutherford (Signed on behalf of Wal-Mart Real Estate Business Trust) Date July 18, 2023 | 14:17 CDT

\*Note: All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_  
Action Date \_\_\_\_\_

Application #SP# 23-003  
Check# 029

**APPLICATION FOR SITE PLAN REVIEW**

Name of Applicant Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR 72716 Phone \_\_\_\_\_

Name of Owner Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR 72716 Phone \_\_\_\_\_

Name of Engineer/Surveyor Bohler Engineering  
Address 65 Lasalle Road, West Hartford, CT 06107  
Contact Person Jeff Bord Phone (860)333-8900 Fax (508)480-9080

Property location/address 450 Providence Road, Brooklyn, CT  
Map # 41 Lot # 10 Zone PC Total Acres 25.48

Proposed Activity Online grocery pick up addition with parking modifications  
\_\_\_\_\_  
\_\_\_\_\_

Change of Use: Yes \_\_\_\_\_ No X If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion 5,955 SF

Utilities - Septic: On Site \_\_\_\_\_ Municipal \_\_\_\_\_ Existing X Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

Fee\$ \$610.00 State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_  
4.5.5 Application/ Report of Decision from the Inland Wetlands Commission  
4.5.5 Applications filed with other Agencies  
12.1 Erosion and Sediment Control Plans  
See also Site Plan Review Worksheet

Variances obtained \_\_\_\_\_ Date \_\_\_\_\_

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: \_\_\_\_\_ Date \_\_\_\_\_

Owner: Mike Rutherford (Signed on behalf of wal-mart Real Estate Business Trust) Date July 18, 2023 | 14:17 CDT

\*Note: Any consulting fees will be paid by the applicant



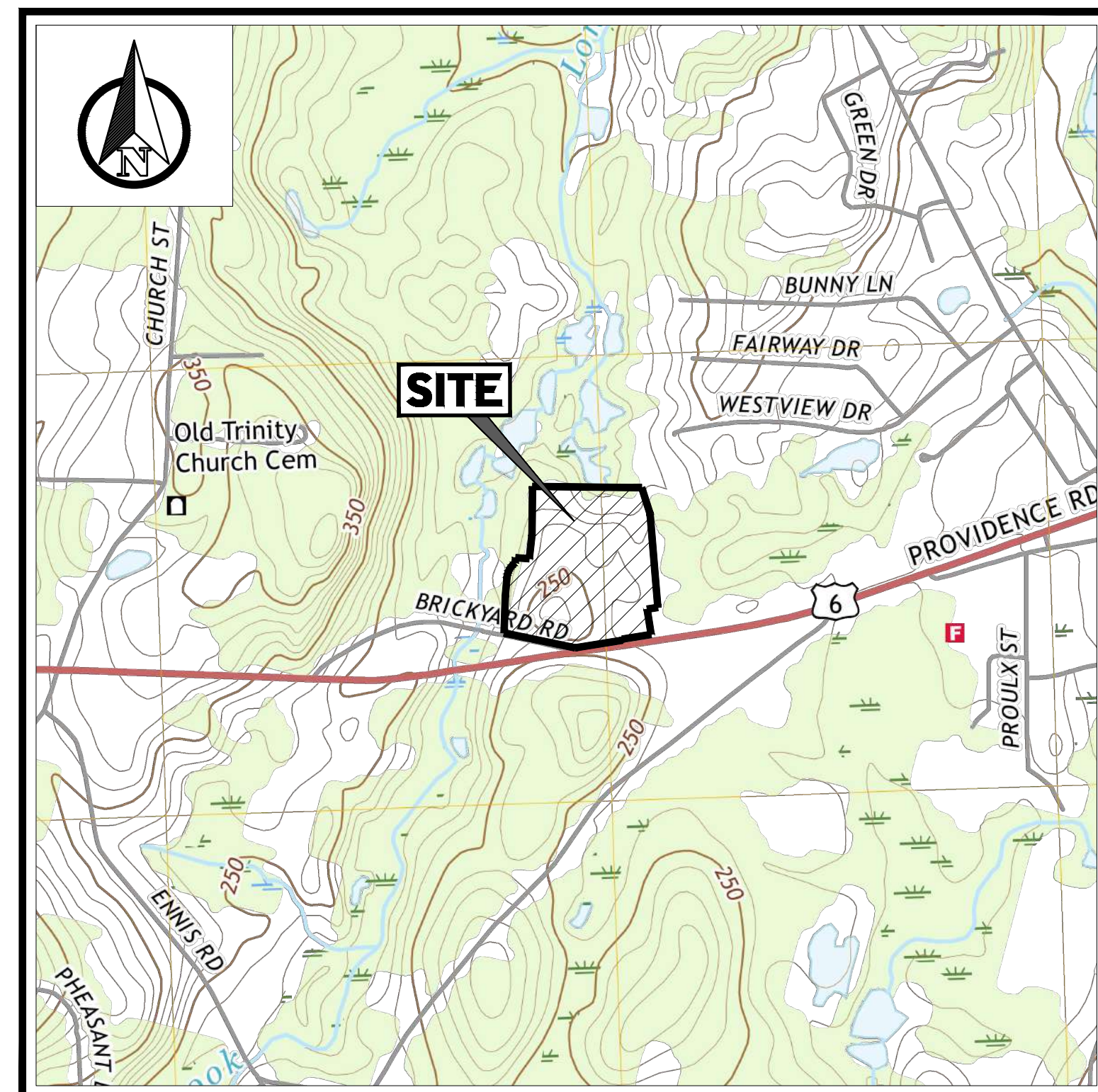
# PROPOSED SITE PLAN DOCUMENTS

FOR



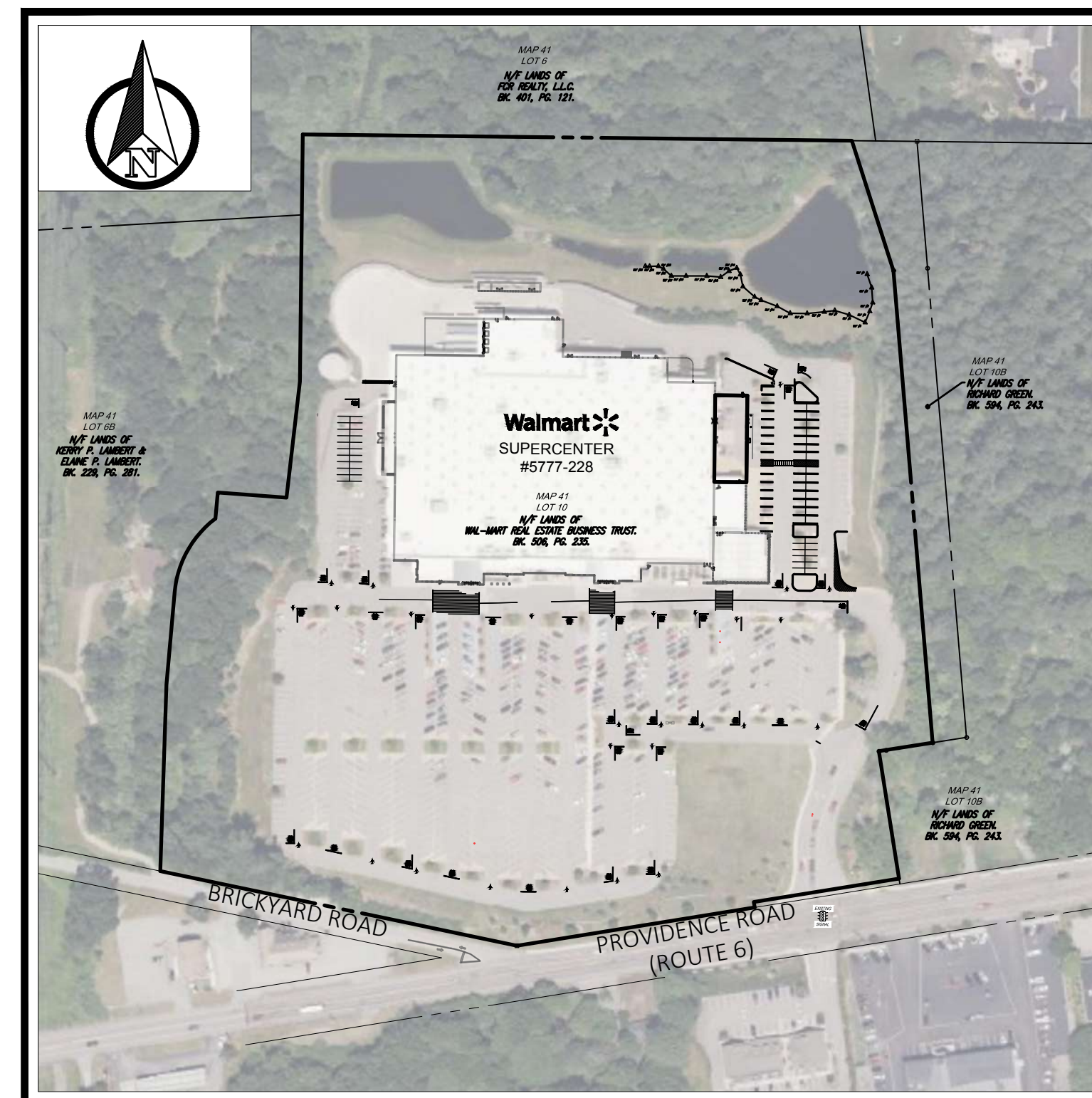
## STORE #5777-228 PROPOSED PICKUP AND SIGNAGE / STRIPING IMPROVEMENTS AND BUILDING EXPANSION

LOCATION OF SITE:  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN  
WINDHAM COUNTY, CONNECTICUT



**USGS MAP**

SCALE: 1" = 1,000'  
SOURCE: DANIELSON CONNECTICUT USGS  
QUADRANGLE



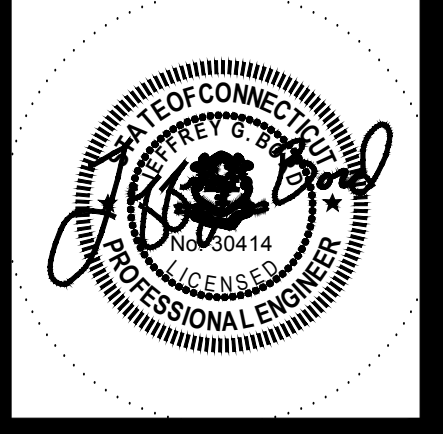
**SITE MAP**

SCALE: 1" = 200'  
SOURCE: 2023 MICROSOFT  
CORPORATION

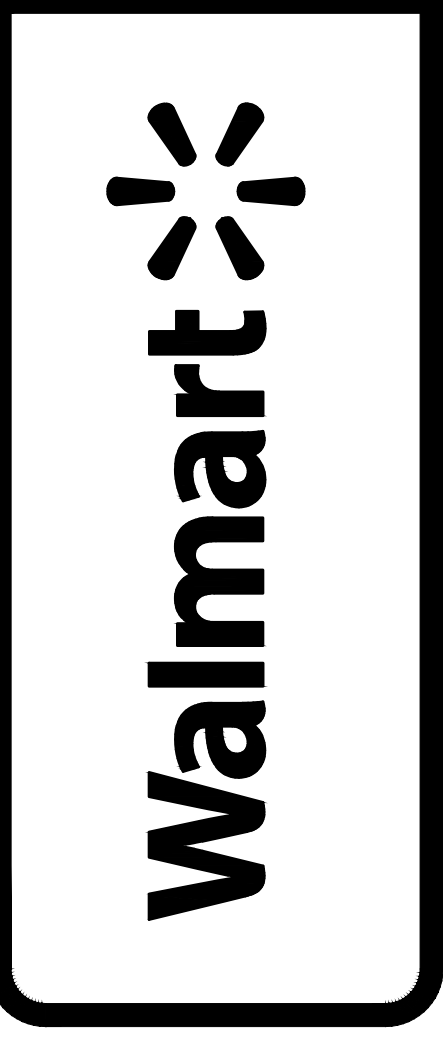
**DRAWING SHEET INDEX**

| SHEET TITLE                                      | SHEET NUMBER     |
|--|------------------|
| COVER SHEET                                      | COV-1            |
| GENERAL NOTES SHEET                              | NS-1             |
| EXISTING CONDITIONS PLAN                         | EC-1             |
| OVERALL SITE PLAN - STOP SIGNS AND MARKINGS PLAN | SSM-1            |
| DEMOLITION AND SITE CONSTRUCTION PLAN            | SECP-1           |
| DEMOLITION AND EROSION CONTROL PLAN              | DM-1             |
| SITE PLAN  | SP-1             |
| GRADING, DRAINAGE, & UTILITY PLAN                | GD-1             |
| SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET    | SECP/SSM DETAILS |
| DETAIL SHEET                                     | DTL-1            |
| DETAIL SHEET                                     | DTL-2            |
| DETAIL SHEET                                     | DTL-3            |
| SPECIFICATIONS SHEET                             | CSS-1            |
| SPECIFICATIONS SHEET 2                           | CSS-2            |
| LIGHTING PLAN (BY OTHERS)                        | 1 SHEET          |
| ARCHITECT PLAN (BY OTHERS)                       | 2 SHEETS         |
| ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)          | 2 SHEETS         |

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |
|           |    |



SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



|         |              |
|---------|--------------|
| DRAWN   | BTJ/TJN      |
| CHECKED | JJC/SB       |
| DATE    | 06/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
| SHEET   |              |

**COV-1**

PREPARED BY

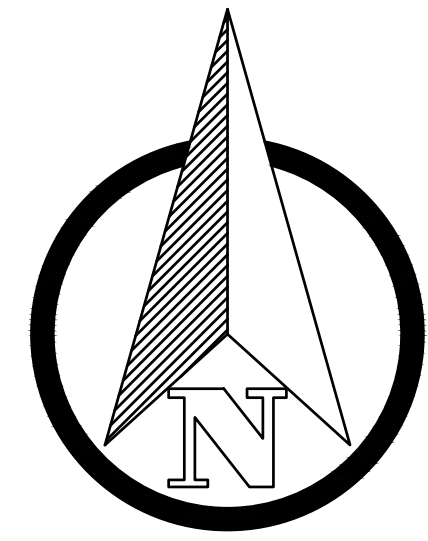


**COVER SHEET**









MAP 41  
LOT 6  
N/4 LANDS OF  
FOR REALTY, L.L.C.  
BK. 401, PG. 121.

**Walmart**  
**SUPERCENTER**  
**#5777-228**  
EXISTING BUILDING: 152,124 SF±  
GARDEN CENTER: 9,269 SF±  
TOTAL: 161,394 SF±  
728 TOTAL SPACES

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

MAP 41  
LOT 10  
N/4 LANDS OF  
WAL-MART REAL ESTATE BUSINESS TRUST,  
BK. 506, PG. 235.

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

APPROX. LOC. OF  
LIMITS OF ZONE "A"  
(PER REF. #2)

FLOOD ZONE "A"

MAP 41  
LOT 6B  
N/4 LANDS OF  
KENNY R. LAMBERT &  
ELIZABETH P. LAMBERT,  
BK. 229, PG. 281.

N05°28'08"E  
39.29'  
R=152.60'  
Δ=047°42'52"  
L=127.08'  
CHB=N28°53'48"E  
CHD=123.44'

APPROX. LOC. OF  
CLAP EASEMENT  
(PER REF. #3)

N05°02'22"E  
135.76'

N01°54'41"E  
272.49'

FLOOD ZONE "A"

**BRICKYARD ROAD**  
(PUBLIC - 40' WIDE R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

**PROVIDENCE ROAD**  
(AKA - US ROUTE 6)  
(PUBLIC - 80' WIDE R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

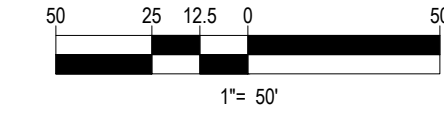
**REFER TO GENERAL NOTES SHEET  
FOR ADDITIONAL INFORMATION  
(SHEET NS-1)**



**Know what's below.  
Call before you dig.**

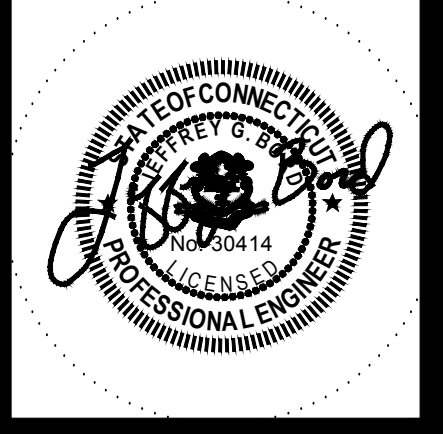
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTE:  
THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSIPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 09/20/2023.

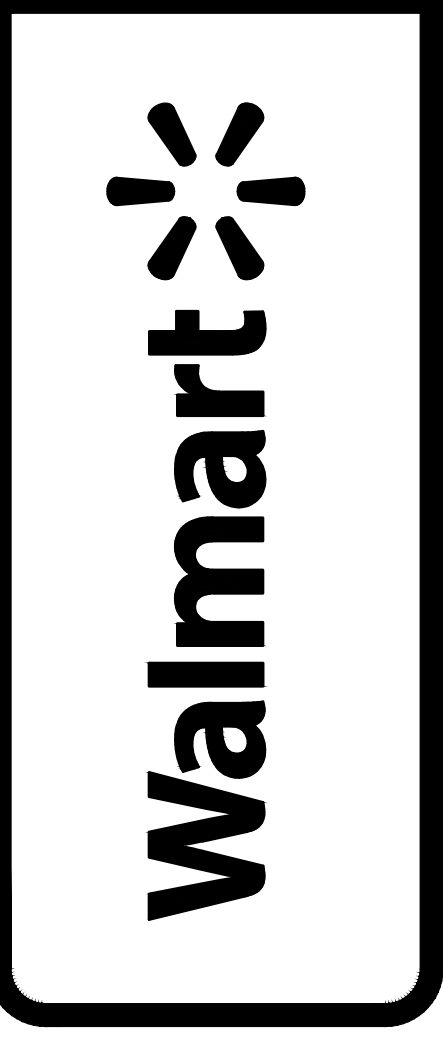


# EXISTING CONDITIONS PLAN

| REVISIONS | BY |
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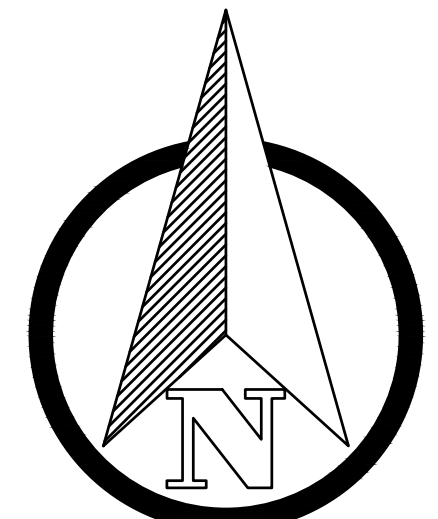
SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



|         |              |
|---------|--------------|
| DRAWN   | BTJ/TJN      |
| CHECKED | JJC/JSB      |
| DATE    | 08/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
| SHEET   |              |

**EC-1**

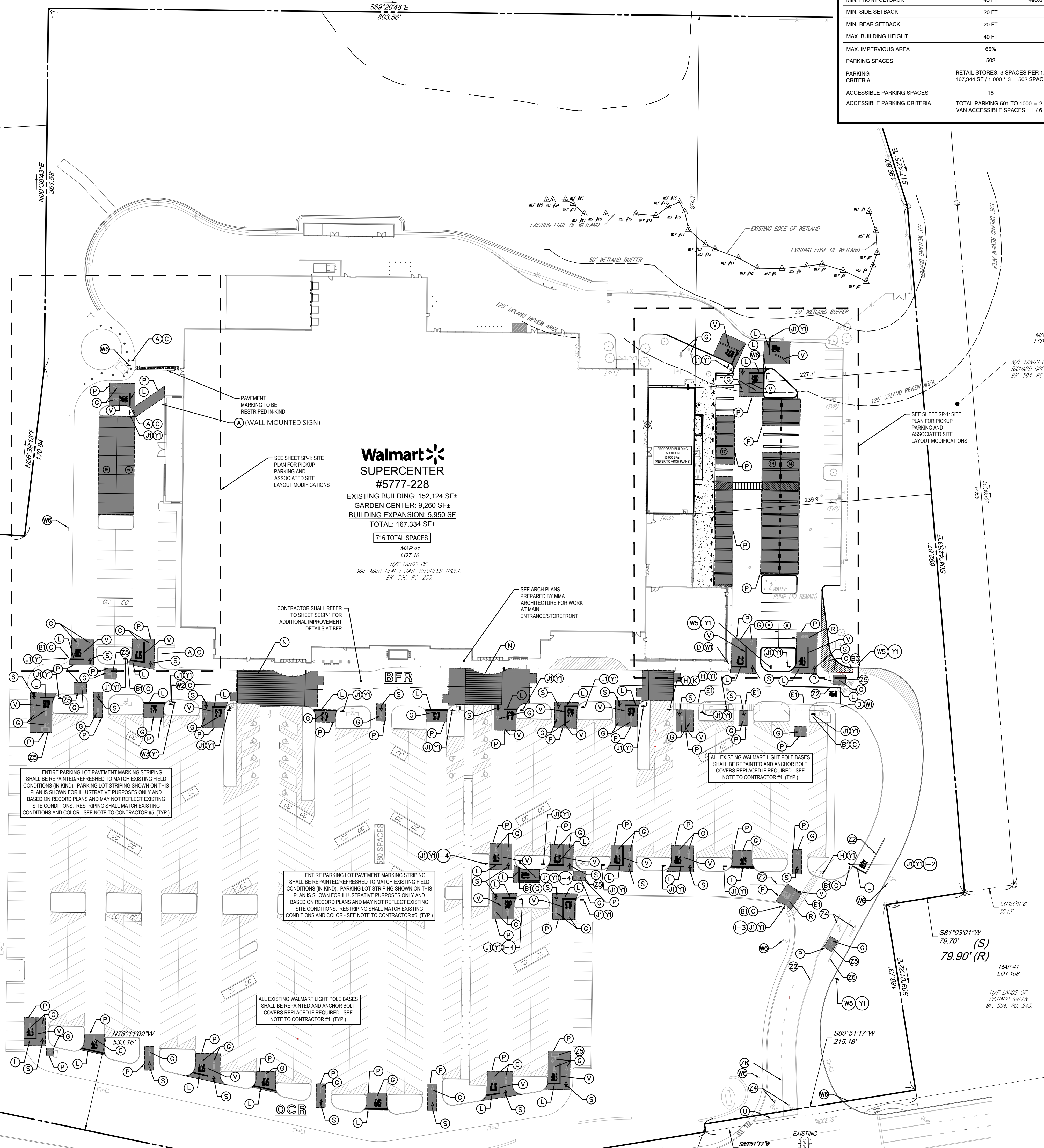




| ZONING INFORMATION          |  |                           |           |
|-----------------------------|--|---------------------------|-----------|
| ZONING DISTRICT:            | PLANNED COMMERCIAL   |                           |           |
| ZONE CRITERIA               | REQUIRED   | EXISTING (1)              | PROPOSED  |
| MINIMUM LOT AREA            | 30,000 SF  | 1,109,787 SF (25.5± Ac.)  | NO CHANGE |
| MIN. LOT FRONTAGE           | 100 FT   | 533.16 FT (BRICKYARD RD.) | NO CHANGE |
| MIN. FRONT SETBACK          | 45 FT  | 490.6 FT (BRICKYARD RD.)  | NO CHANGE |
| MIN. SIDE SETBACK           | 20 FT  | 140.1 FT                  | NO CHANGE |
| MIN. REAR SETBACK           | 20 FT  | 213.0 FT                  | NO CHANGE |
| MAX. BUILDING HEIGHT        | 40 FT  | < 40'                     | NO CHANGE |
| MAX. IMPERVIOUS AREA        | 65%  | 55.7%                     | 55.5%     |
| PARKING SPACES              | 502  | 728                       | 719       |
| PARKING CRITERIA            | RETAIL STORES: 3 SPACES PER 1,000 SF GFA<br>167,344 SF / 1,000' ± = 502 SPACES REQUIRED UNDER CURRENT ZONING |                           |           |
| ACCESSIBLE PARKING SPACES   | 15   | 18                        | NO CHANGE |
| ACCESSIBLE PARKING CRITERIA | TOTAL PARKING 901 TO 1000 = 2 PERCENT OF TOTAL ACCESSIBLE SPACES<br>VAN ACCESSIBLE SPACES = 1 / 8 SPACES     |                           |           |

**STOP SIGNS AND MARKING PLAN LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B1) EXISTING STOP SIGN TO BE REMOVED.
  - (B2) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
  - (B3) EXISTING "NO TRUCK" SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN. EXISTING BOLLARD SHALL BE REPAINTED TRAFFIC YELLOW (SEE DETAIL).
  - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
  - (F) EXISTING CROSSWALK STRIPING TO REMAIN AND SHALL BE REFRESHED/RESTRIPED.
  - (G) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (H) EXISTING DIRECTIONAL ARROW PAVEMENT MARKING TO BE REMOVED.
  - (I) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (J1) NEW W4-4A "TRAFFIC FROM LEFT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J2) NEW W4-4B "ONCOMING TRAFFIC DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J3) NEW W4-4A "TRAFFIC FROM RIGHT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J4) NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL.
  - (K1) NEW 30"x30" STOP SIGN.
  - (K2) NEW 36"x36" STOP SIGN.
  - (L) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (M) NEW STOP TEXT AND STOP BAR.
  - (N) 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2' 0" O.C.
  - (O) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2' 0" O.C. AND (1) 8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
  - (P) NEW "CROSS TRAFFIC DOES NOT STOP" (W4-4P) SIGN MOUNTED BELOW STOP SIGN.
  - (Q) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
  - (R) 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
  - (S) EXISTING STOP BAR AND STRIPING TO BE REMOVED.
  - (T) NEW OPEN ARROW PAVEMENT MARKINGS.
  - (U) NEW 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED WITH "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' SPACING. SEE DETAIL.
  - (V) NEW FIRE LANE STRIPING TO MATCH EXISTING.
  - (W) NEW STOP BAR.
  - (X) 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (Y) EXISTING STOP SIGN TO REMAIN.
  - (Z1) EXISTING "NO PARKING FIRE LANE" SIGN TO BE REMOVED.
  - (Z2) NEW "NO PARKING FIRE LANE" SIGN.
  - (Z3) PEDESTRIAN CROSSING SIGN TO REMAIN.
  - (Z4) NEW PICKUP DIRECTIONAL SIGN.
  - (Z5) EXISTING MISC TRUCK/PARKING/ASLE SIGN TO REMAIN.
  - (Z6) EXISTING SIGN MOUNTING BASE WITH BOLLARD TO BE REMOVED.
  - (Z7) NEW SIGN MOUNTING BASE WITH BREAK AWAY POST.
  - (Z8) NEW SOLID ARROW PAVEMENT MARKINGS.
  - (Z9) EXISTING DOUBLE YELLOW PAVEMENT STRIP TO BE RESTRIPED.
  - (Z10) EXISTING STOP TEXT PAVEMENT MARKING TO BE REMOVED.
  - (Z11) EXISTING FORWARD/LEFT OR RIGHT TURN ONLY PAVEMENT MARKING TO BE RESTRIPED.
  - (Z12) EXISTING PICKUP PAVEMENT GRAPHIC TO BE REMOVED.
  - (Z13) EXISTING SINGLE WHITE LINE TO BE RESTRIPED.



**Walmart**  
**SUPERCENTER**  
**#5777-228**  
 EXISTING BUILDING: 152,124 SF±  
 GARDEN CENTER: 9,260 SF±  
 BUILDING EXPANSION: 5,950 SF±  
 TOTAL: 167,334 SF±  
 716 TOTAL SPACES  
 MAP #1 LOT 10  
 N/F LANDS OF WAL-MART REAL ESTATE BUSINESS TRUST. BK. 506, PG. 235.

- NOTES TO CONTRACTOR:**
- BFR (BUILDING FRONTAGE ROAD)  
OCR (OUTER CIRCULATION ROAD)
  - CONTRACTOR SHALL INSTALL 'NEW' STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
  - CONTRACTOR TO REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVING. REPLACE COVER FOR ANCHOR BOLTS IF DAMAGED/MISSING.
  - CONTRACTOR TO REFRESH ALL PARKING LOT STRIPING TO MATCH EXISTING, EXCEPT WHERE SPECIFIED IN SSM OR SECP SHEETS.

**REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)**



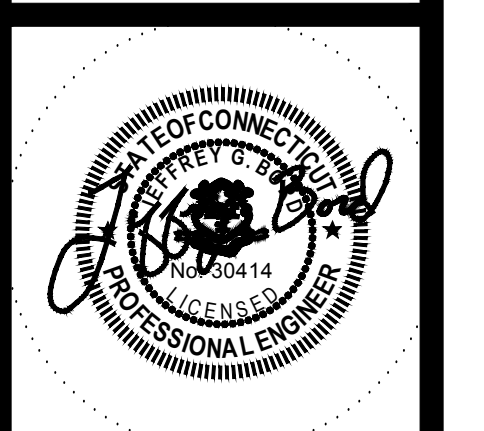
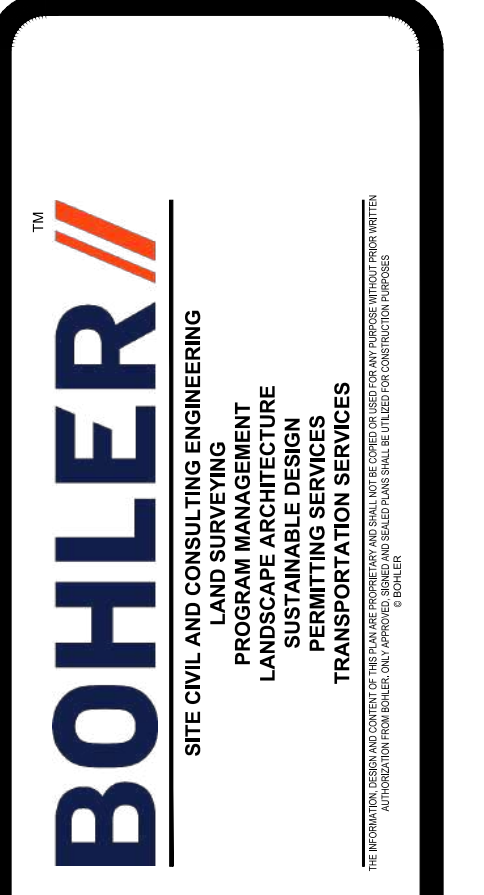
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**SEALCOAT NOTE:**  
 CONTRACTOR SHALL INSTALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK FOR EXISTING CONCRETE SURFACES. GO TO TO PREPARE THE SURFACE FOR PAINT ONLY.

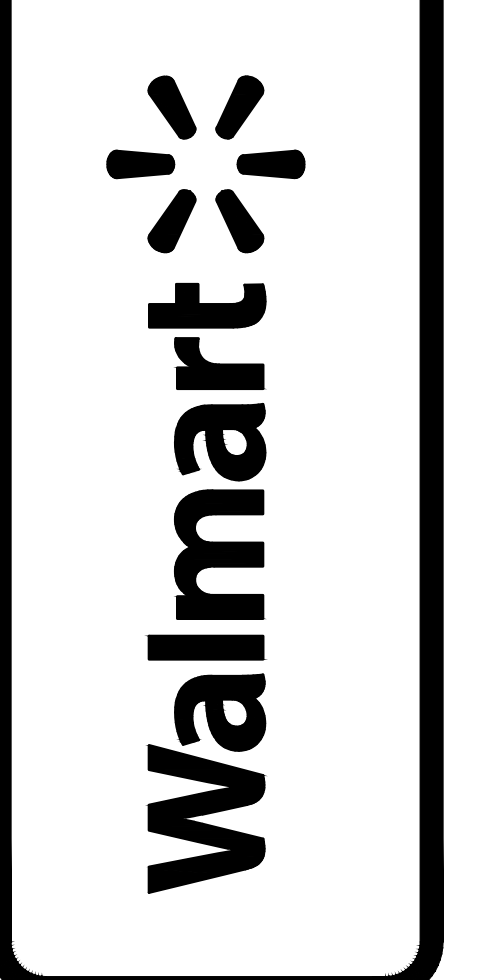
**NOTE:**  
 THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/30/2023.

**OVERALL SITE PLAN - STOP SIGNS AND MARKINGS PLAN**

| REVISIONS | BY |
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SUPERCENTER #5777-228  
 450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



DRAWN: BTJ/TJN  
 CHECKED: JJC/JSB  
 DATE: 06/29/2023  
 SCALE: AS NOTED  
 JOB NO.: MA230031.00  
 SHEET

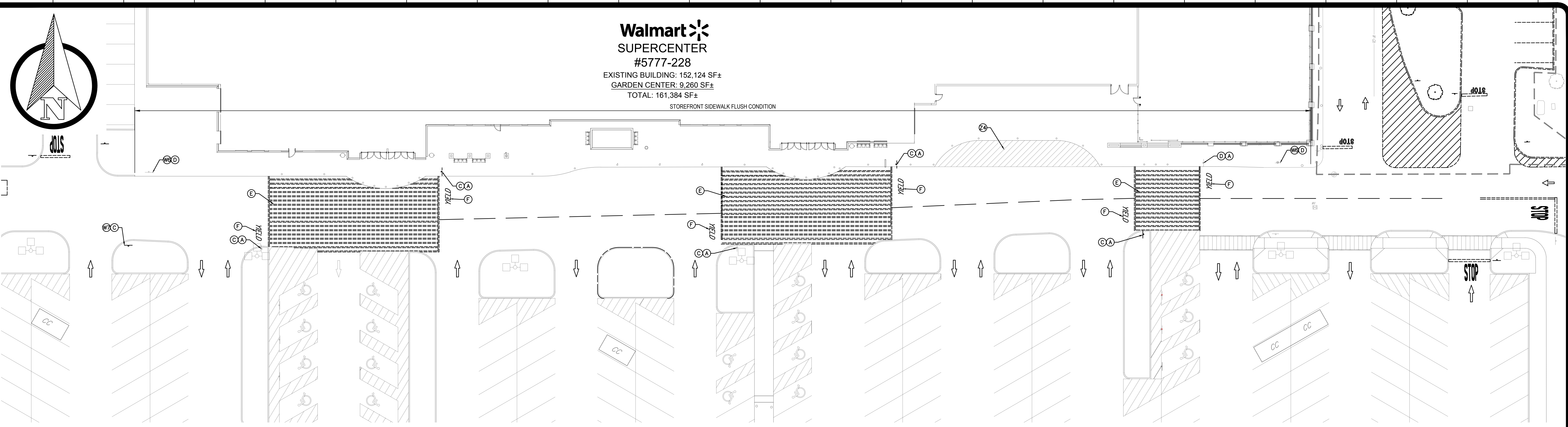
**SSM-1**



**Walmart**  
**SUPERCENTER**

#5777-228  
 EXISTING BUILDING: 152,124 SF±  
 GARDEN CENTER: 9,260 SF±  
 TOTAL: 161,384 SF±

STOREFRONT SIDEWALK FLUSH CONDITION

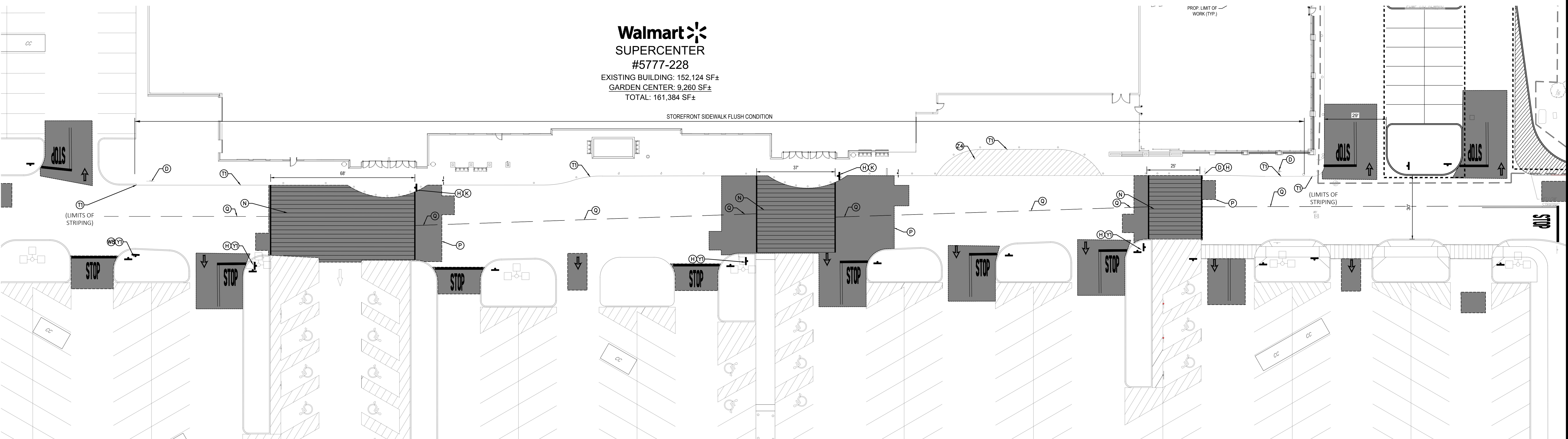


**DEMOLITION PLAN**

**Walmart**  
**SUPERCENTER**

#5777-228  
 EXISTING BUILDING: 152,124 SF±  
 GARDEN CENTER: 9,260 SF±  
 TOTAL: 161,384 SF±

STOREFRONT SIDEWALK FLUSH CONDITION



**SITE CONSTRUCTION PLAN**

**STOP SIGNS AND MARKING PLAN LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B1) EXISTING STOP SIGN TO BE REMOVED.
  - (B2) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN. EXISTING BOLLARD SHALL BE REPAINTED TRAFFIC YELLOW (SEE DETAIL).
  - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (G) EXISTING DIRECTIONAL ARROW PAVEMENT MARKING TO BE REMOVED.
  - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (I-1) NEW W4-4A "TRAFFIC FROM LEFT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (I-2) NEW W4-4B "ONCOMING TRAFFIC DOES NOT STOP" PLACARD. SEE DETAIL.
  - (I-3) NEW W4-4A "TRAFFIC FROM RIGHT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (I-4) NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL/NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL.
  - (J1) NEW 30"x30" STOP SIGN.
  - (J2) NEW 36"x36" STOP SIGN.

**STOP SIGNS AND MARKING PLAN LEGEND - CONT.**

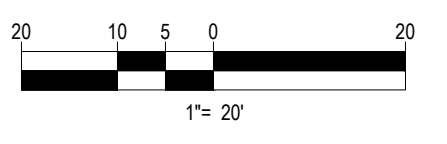
- (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (L) NEW STOP TEXT AND STOP BAR.
- (M) EXISTING BOLLARD (TO BE REMOVED).
- (N) EXISTING BOLLARD TO REMAIN AND BE PAINTED TRAFFIC YELLOW.
- (O) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (P) NEW "CROSS TRAFFIC DOES NOT STOP" (W4-4P) SIGN MOUNTED BELOW STOP SIGN
- (Q) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (R) 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
- (S) EXISTING STOP BAR AND STRIPING TO BE REMOVED.
- (T) NEW OPEN ARROW PAVEMENT MARKINGS.
- (U) NEW 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED WITH "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' SPACING. SEE DETAIL.
- (V) NEW FIRE LANE STRIPING TO MATCH EXISTING.
- (W) NEW STOP BAR
- (X) 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (Y) EXISTING STOP SIGN TO REMAIN.

**STOP SIGNS AND MARKING PLAN LEGEND - CONT.**

- (W2) EXISTING "DO NOT ENTER" SIGN TO REMAIN.
- (W3) EXISTING AISLE / ROW INDICATOR SIGN TO REMAIN.
- (W4) PEDESTRIAN CROSSING SIGN TO REMAIN.
- (W5) EXISTING PICKUP DIRECTIONAL SIGN TO REMAIN.
- (W6) EXISTING "NO PARKING FIRE LANE SIGN" TO REMAIN.
- (W7) EXISTING "NO PARKING FIRE LANE SIGN" TO BE REMOVED.
- (W8) NEW "NO PARKING FIRE LANE SIGN" TO REMAIN
- (X) EXISTING CROSSWALK STRIPING TO REMAIN
- (Y1) NEW SIGN MOUNTING BASE WITH BREAK AWAY POST.
- (Z1) NEW SOLID ARROW PAVEMENT MARKINGS.
- (Z2) EXISTING "NO PARKING FIRE LANE" SIGN TO BE REMOVED
- (Z3) NEW SOLID YELLOW PAVEMENT MARKING. SEE DETAIL.
- (Z4) EXISTING PAVEMENT STRIPING TO BE REFRESHED.

**NOTES TO CONTRACTOR:**

1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. CONTRACTOR SHALL REMOVE THE PAVEMENT MARKINGS IN THEIR ENTIRETY PRIOR TO SEAL COAT. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
5. CONTRACTOR TO PROVIDE AND INSTALL YELLOW PLASTIC LIGHT POLE BASE COVERS AND YELLOW PLASTIC BOLLARD COVERS. ONLY LIGHT POLE BASES OVER 80" IN CIRCUMFERENCE TO BE PAINTED. REMOVE PREVIOUS OVERSPRAY ON PAVING. REPLACE COVER FOR ANCHOR BOLTS IF DAMAGED/MISSING.
6. CONTRACTOR TO REFRESH ALL PARKING LOT STRIPING TO MATCH EXISTING, EXCEPT WHERE SPECIFIED IN SSM OR SECP SHEETS.
7. CONTRACTOR TO POWER WASH EXISTING SIDEWALK ALONG THE BFR, AUTO CARE CENTER, AND ONLINE PICKUP AREA.

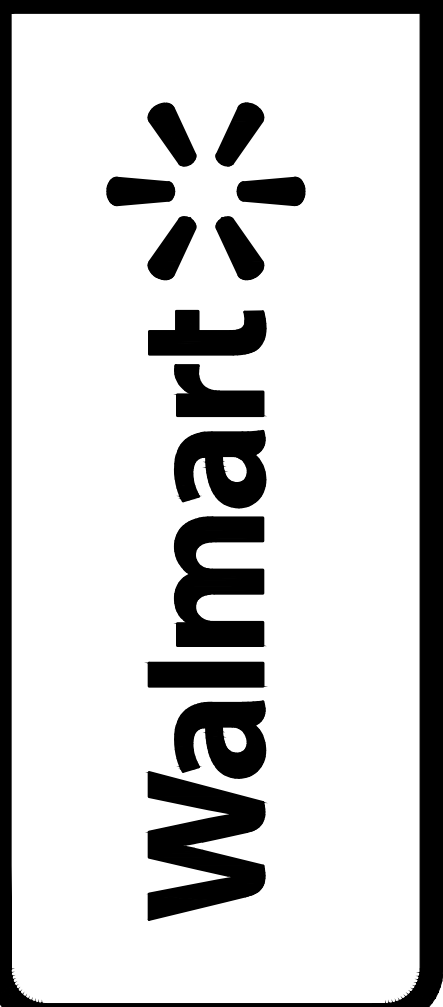


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**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LEED SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRAFFIC ENGINEERING SERVICES



SUPERCENTER #5777-228  
 450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
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|         |              |
|---------|--------------|
| DRAWN   | BTJ/TJN      |
| CHECKED | JUC/SJB      |
| DATE    | 06/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
| SHEET   |              |

**SECP-1**

**DEMOLITION AND SITE CONSTRUCTION PLAN**

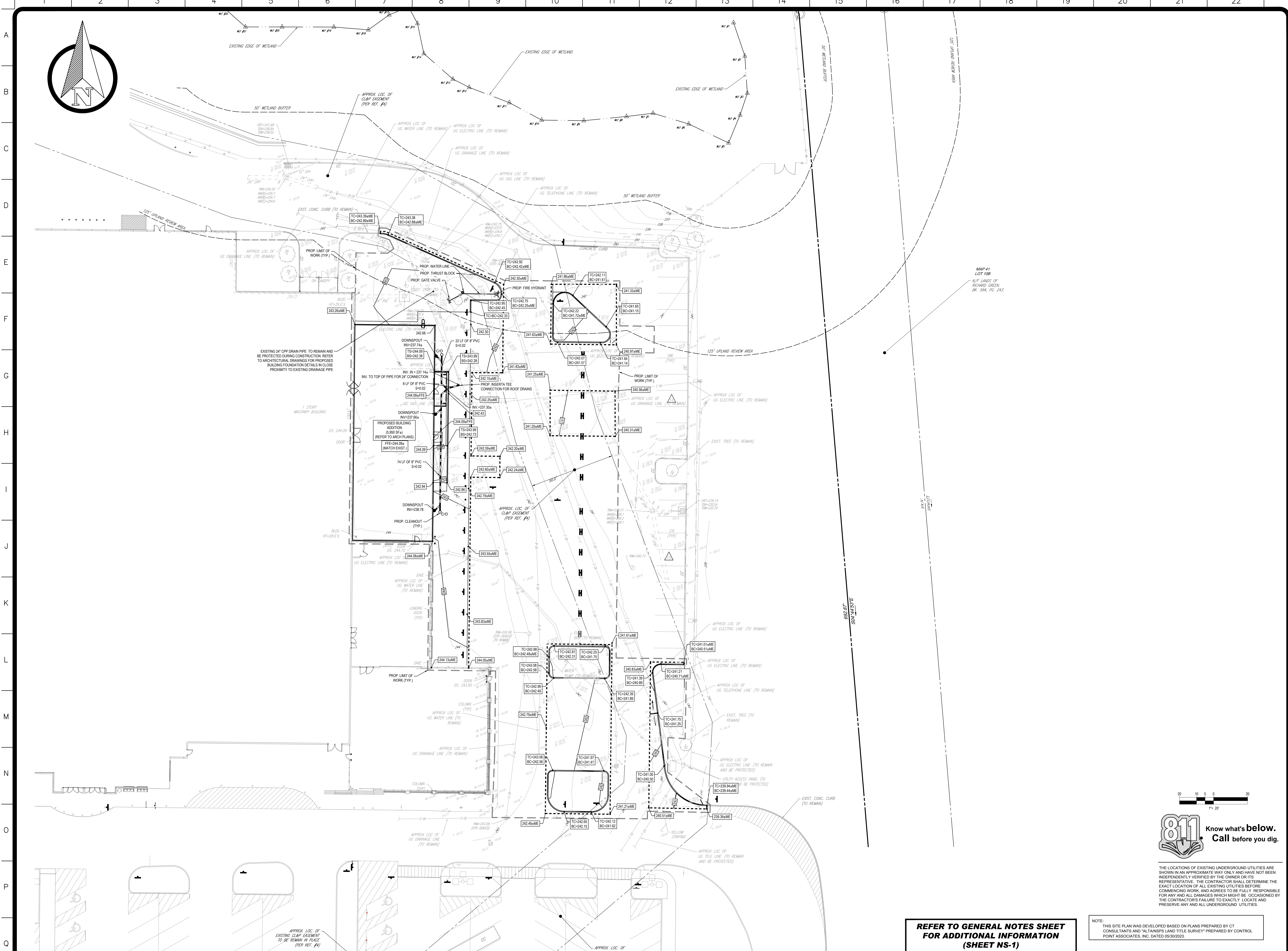




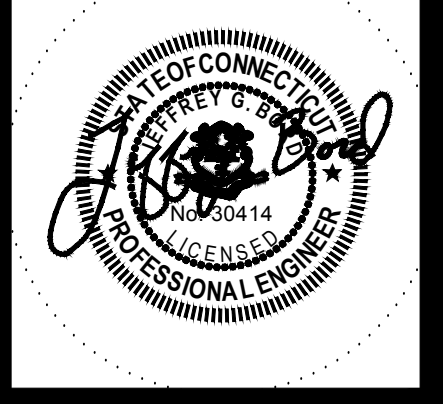




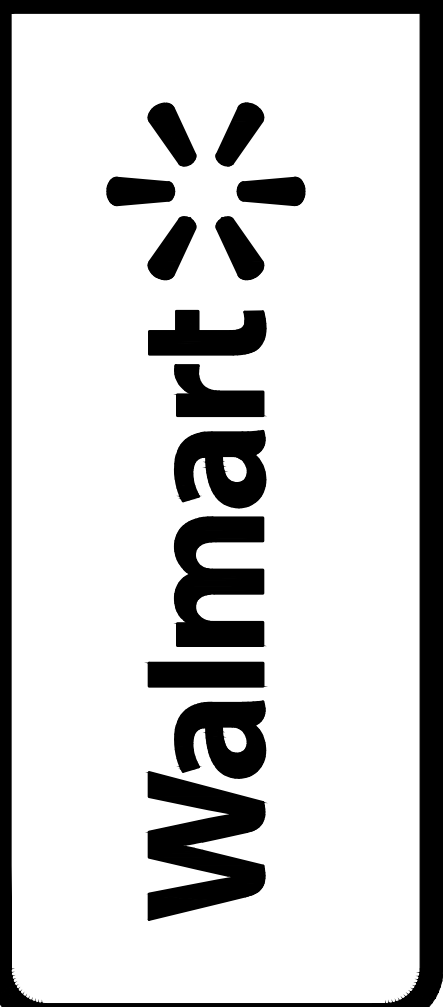




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SUPERCENTER #5777-228  
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 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



|         |              |
|---------|--------------|
| DRAWN   | BTJ/TJN      |
| CHECKED | JJC/SGB      |
| DATE    | 08/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
| SHEET   |              |

**GD-1**

**REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)**

NOTE: THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/30/2023.

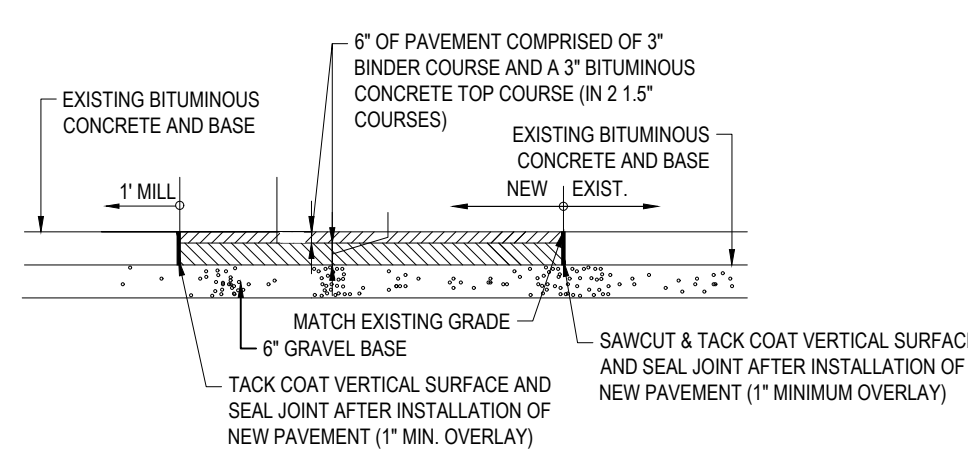


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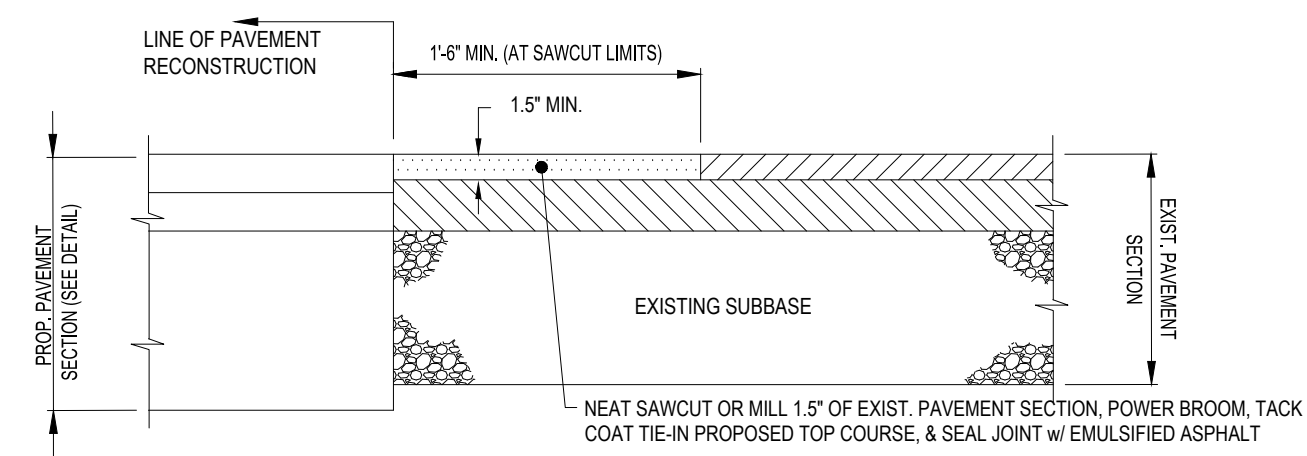




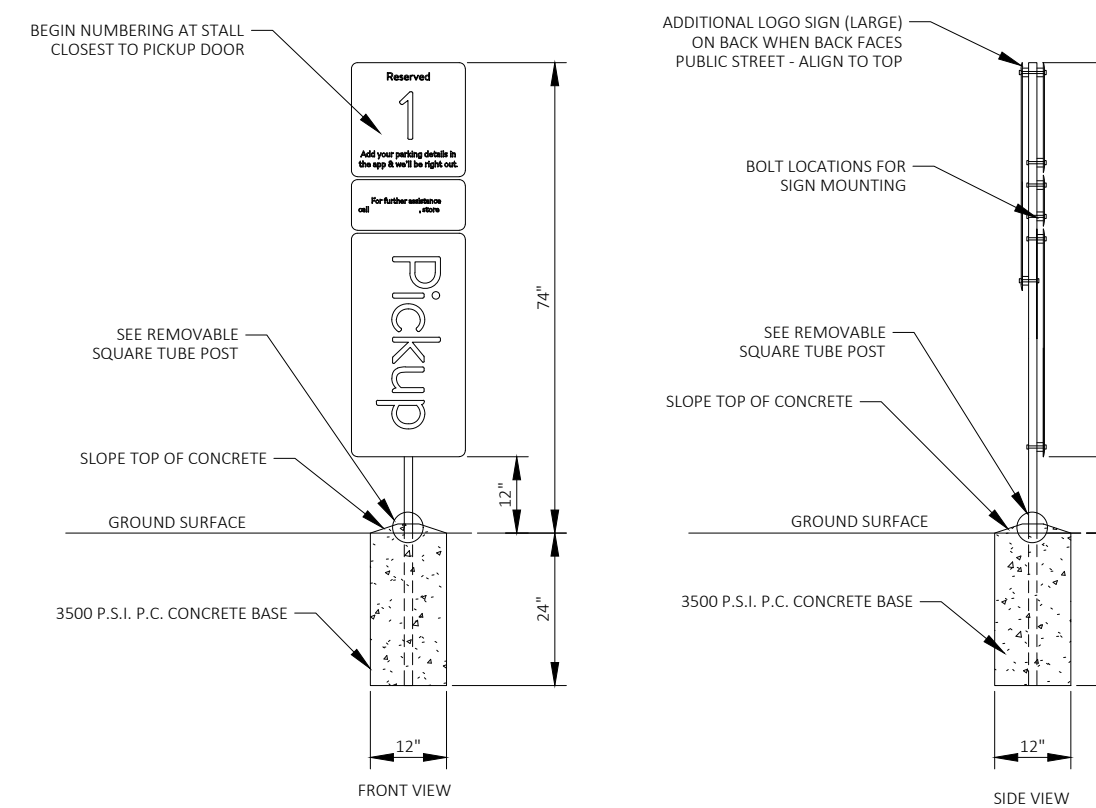




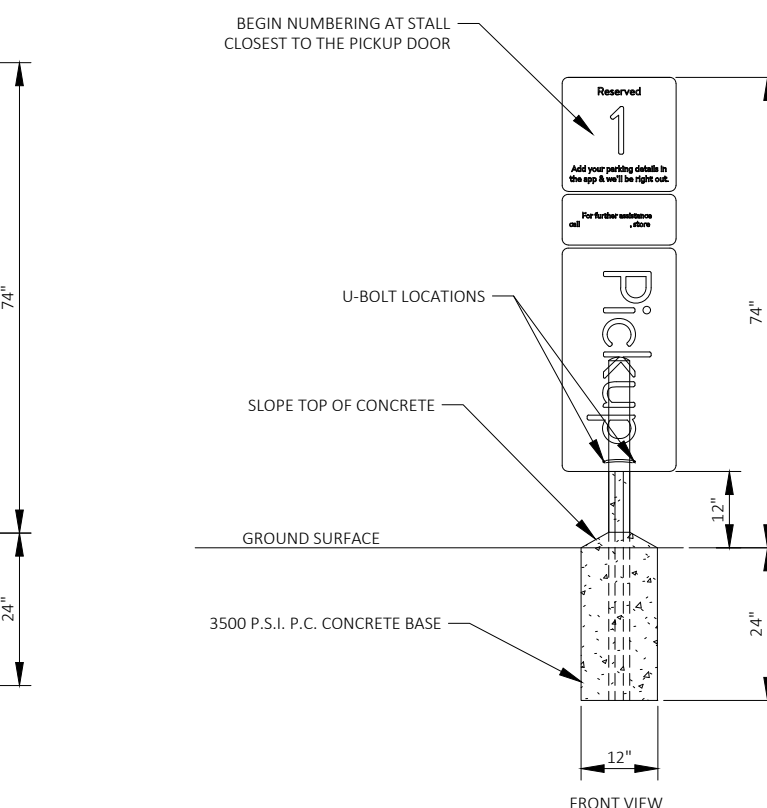
**1 DRIVEWAY PATCHING**  
N.T.S.



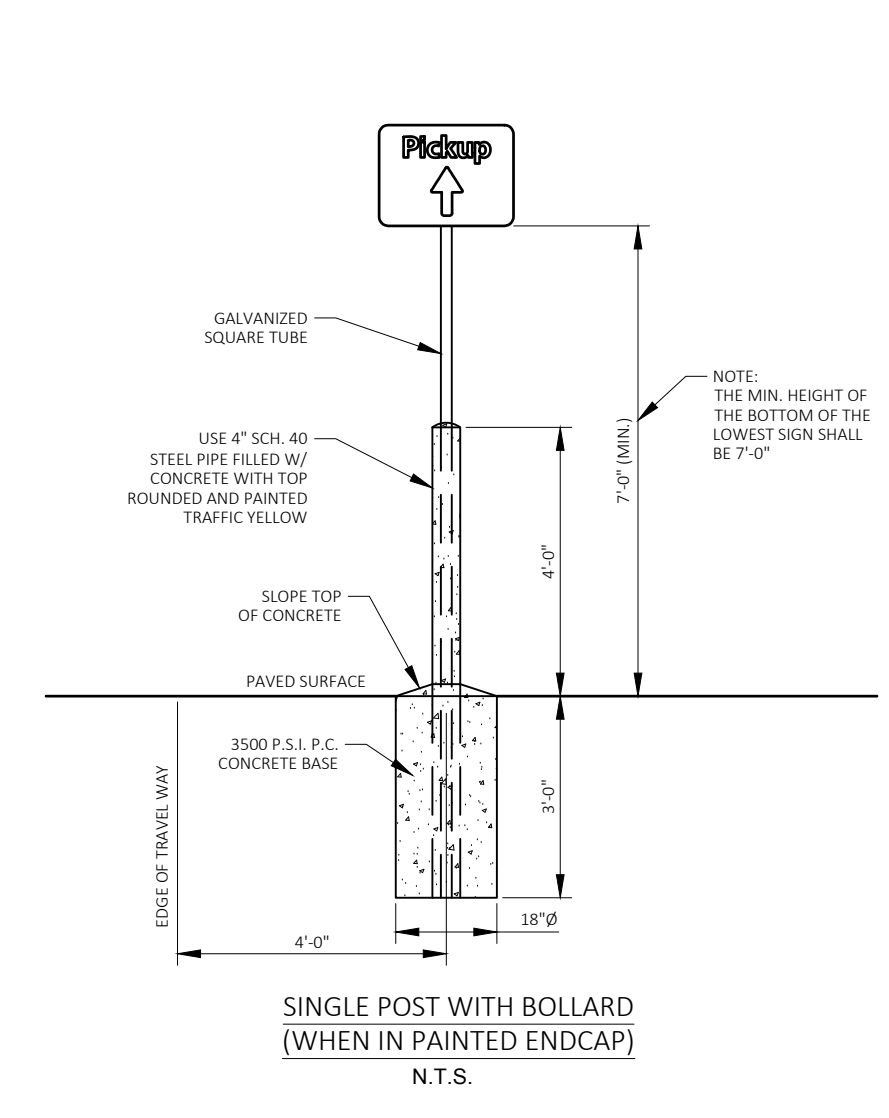
**2 PAVEMENT MILLING BITUMINOUS CONCRETE PAVEMENT TIE-IN**  
N.T.S.



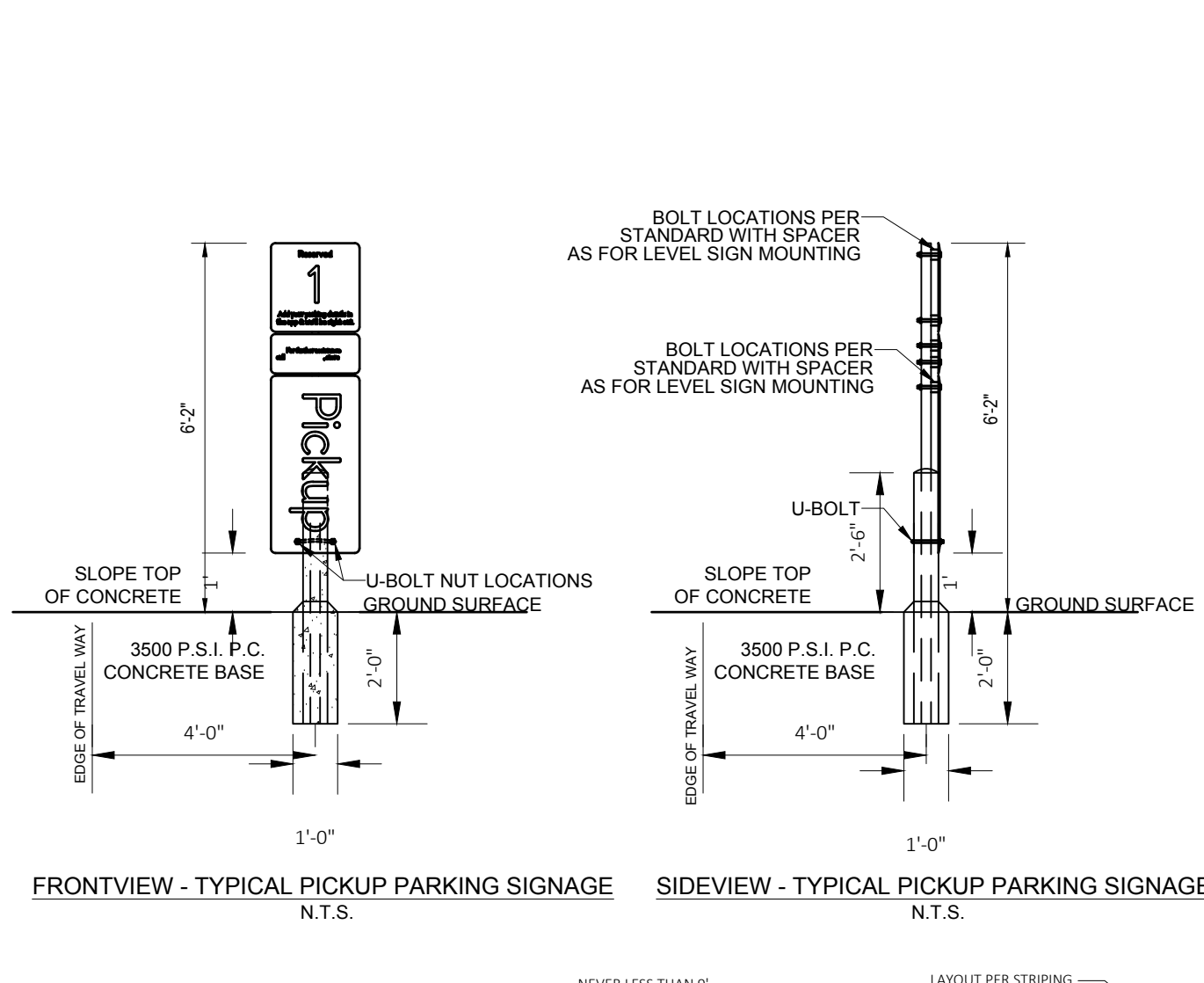
**TYPICAL PARKING SIGNAGE IN CURBED ISLAND**



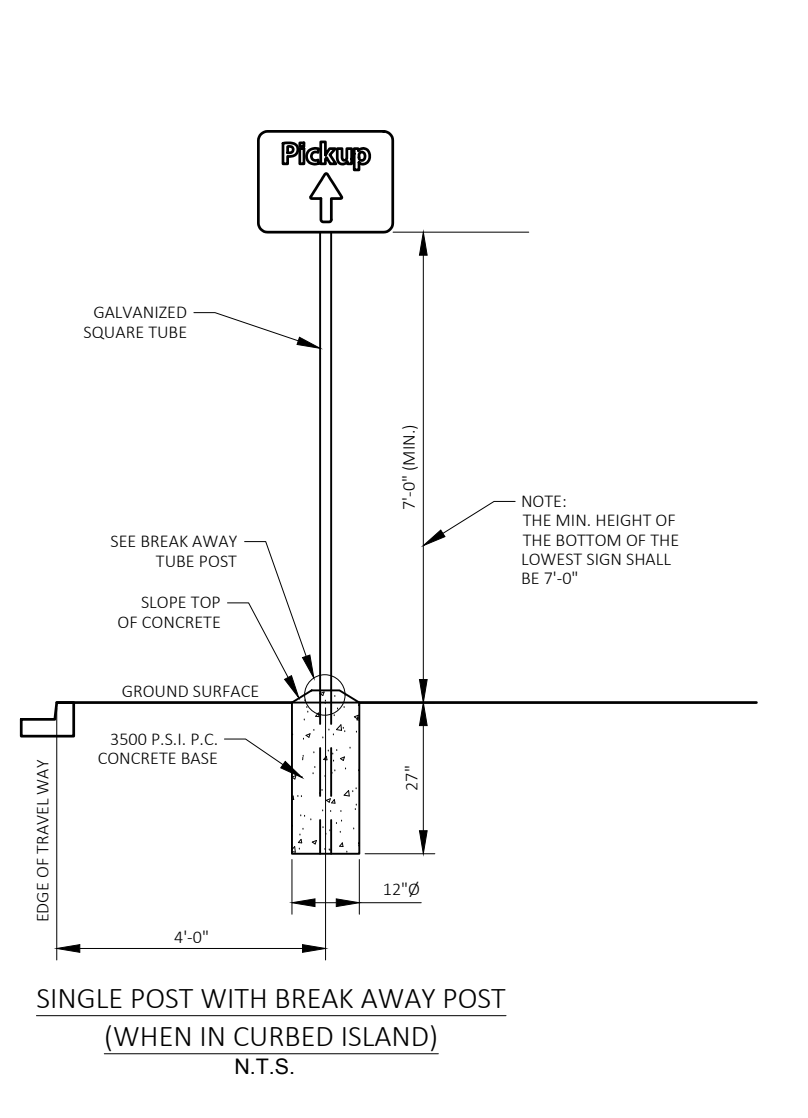
**TYPICAL PARKING SIGNAGE IN PAVEMENT**



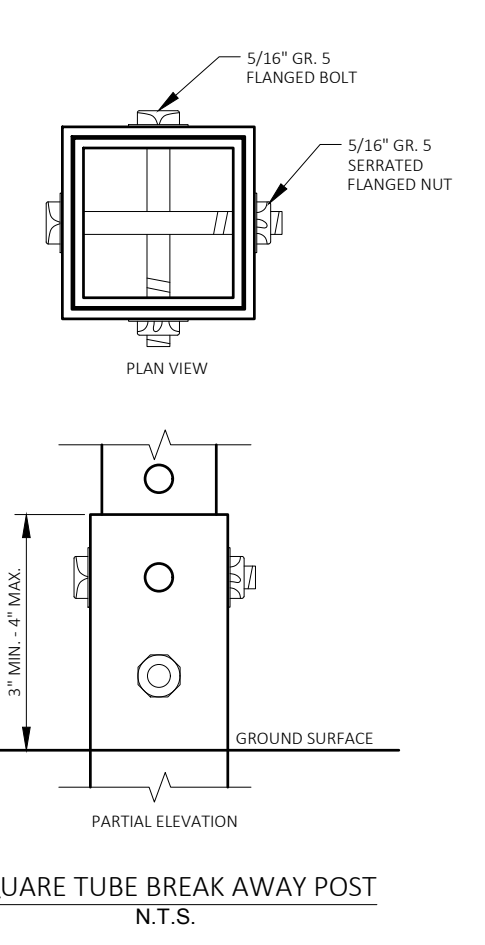
**SINGLE POST WITH BOLLARD (WHEN IN PAINTED ENDCAP)**  
N.T.S.



**FRONTVIEW - TYPICAL PICKUP PARKING SIGNAGE**  
**SIDEVIEW - TYPICAL PICKUP PARKING SIGNAGE**  
N.T.S.



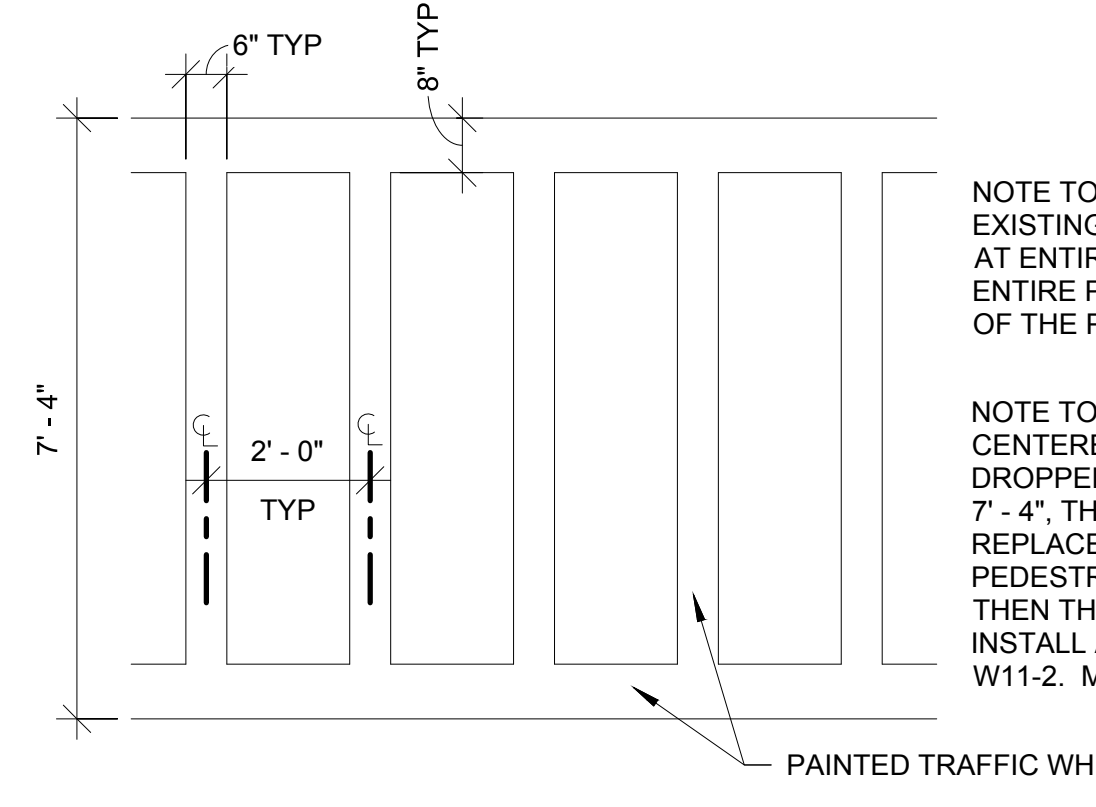
**SINGLE POST WITH BREAK AWAY POST (WHEN IN CURBED ISLAND)**  
N.T.S.



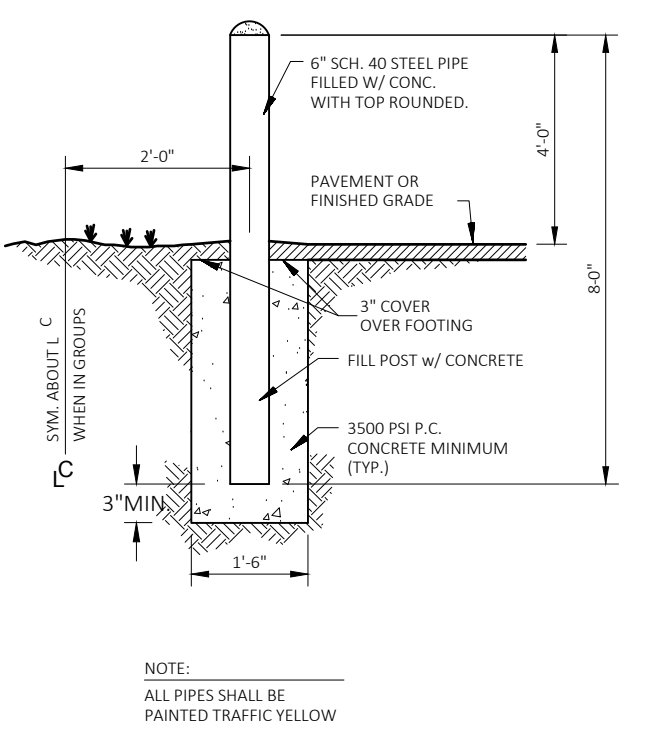
**SQUARE TUBE BREAK AWAY POST**  
N.T.S.

**3 PICKUP PARKING SIGN MOUNTING AND BASE**  
N.T.S.

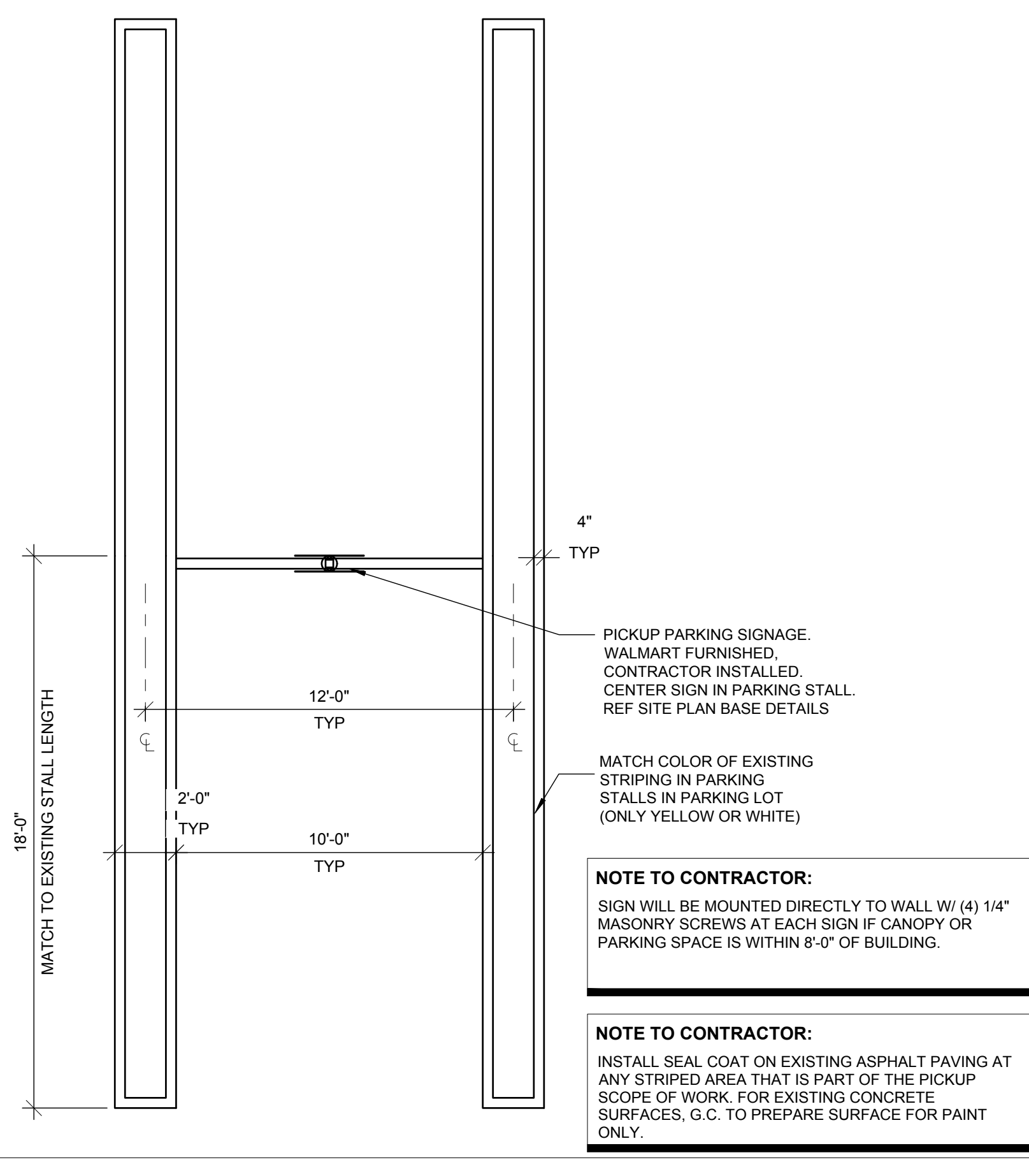
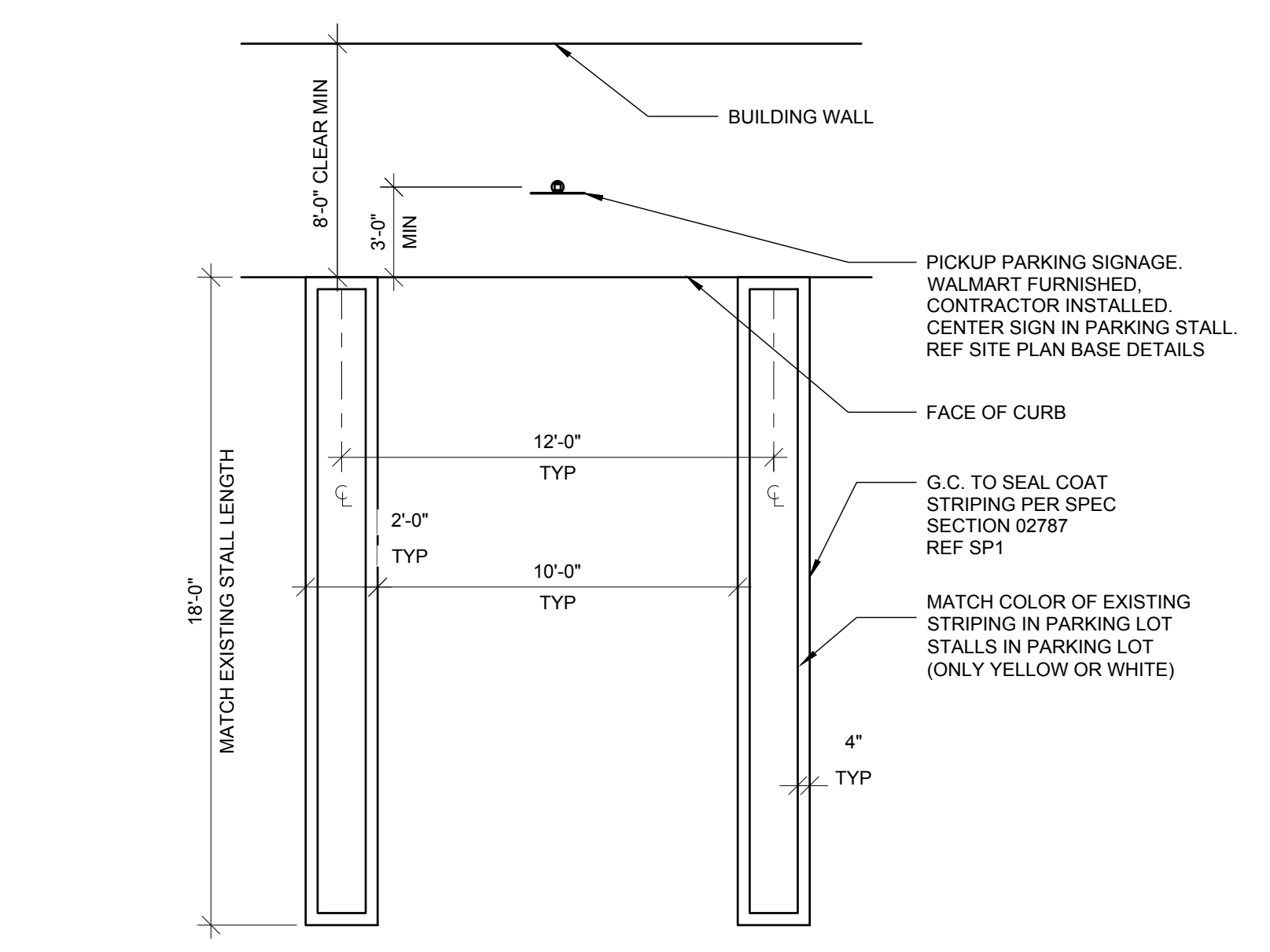
**4 SIGNAGE DIRECTIONAL SIGN MOUNTING AND BASE**  
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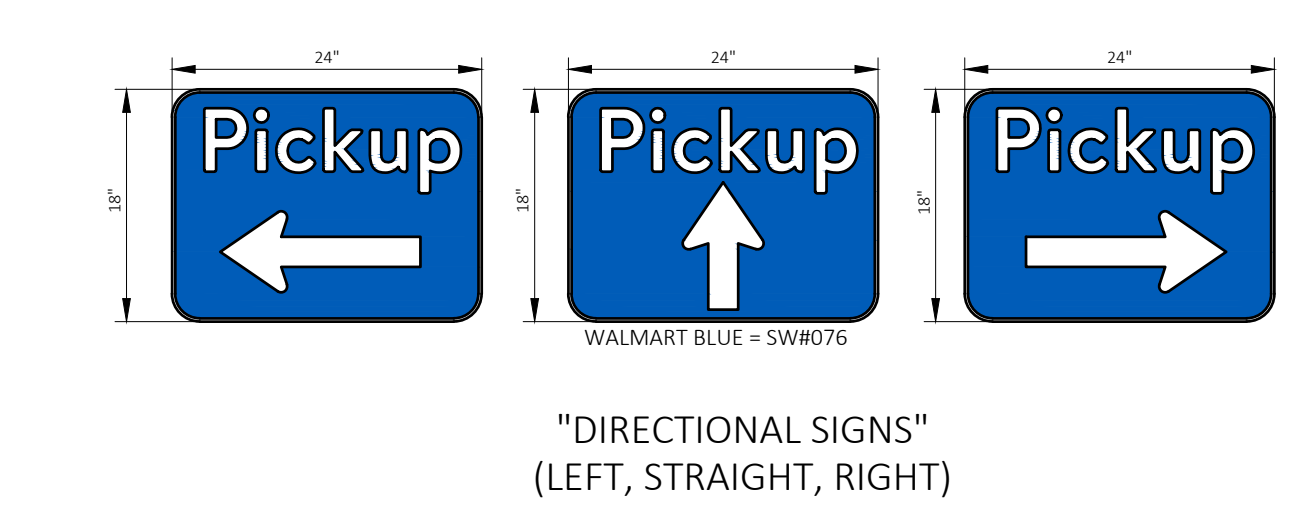
**5 CROSSWALK DETAIL**  
N.T.S.



**6 PIPE BOLLARD DETAIL**  
N.T.S.



**8 PICKUP PARKING STALL DETAIL (PROTO WIDTH = 12')**  
N.T.S.



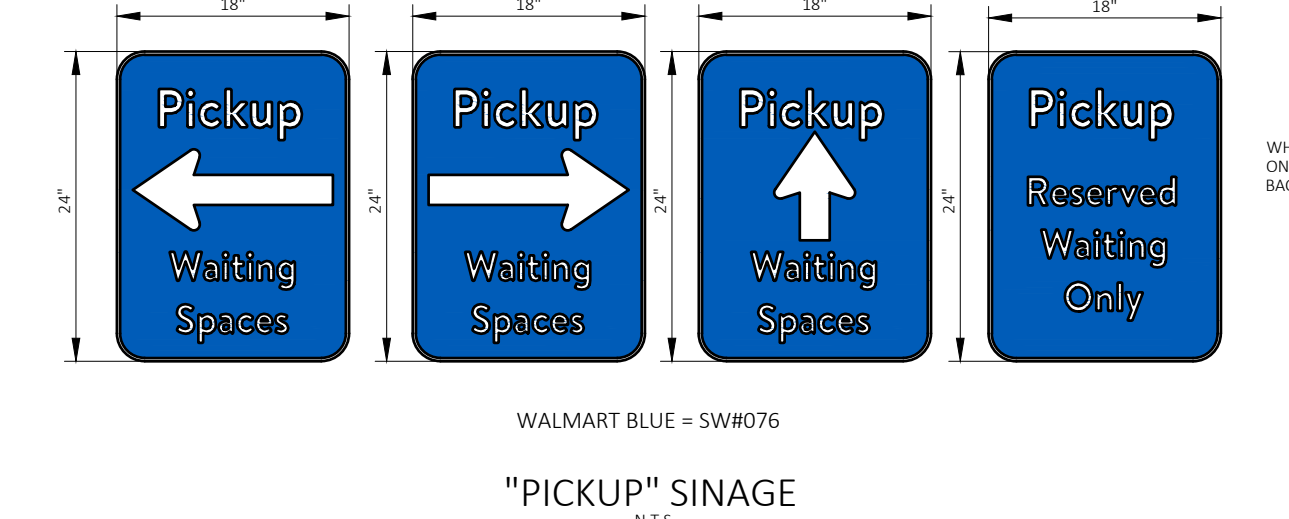
**"DIRECTIONAL SIGNS" (LEFT, STRAIGHT, RIGHT)**



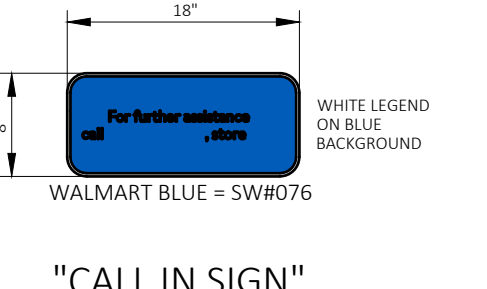
**"LOGO SIGN" (LARGE)**  
N.T.S.



**"DIRECTIONAL RESERVED SIGNS" (LEFT, STRAIGHT, RIGHT)**  
N.T.S.



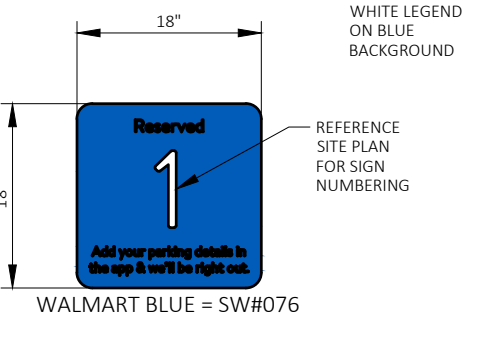
**"PICKUP" SIGNAGE**  
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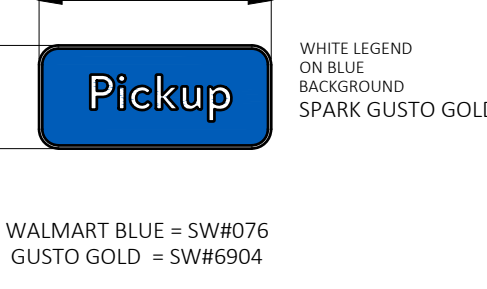
**"CALL IN SIGN"**  
N.T.S.



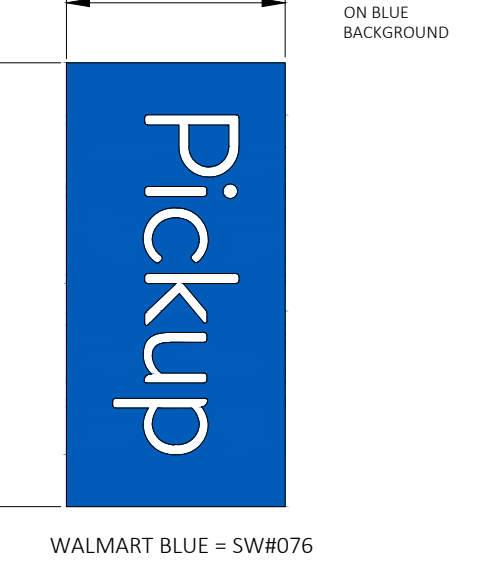
**"INFORMATIONAL SIGN"**  
N.T.S.



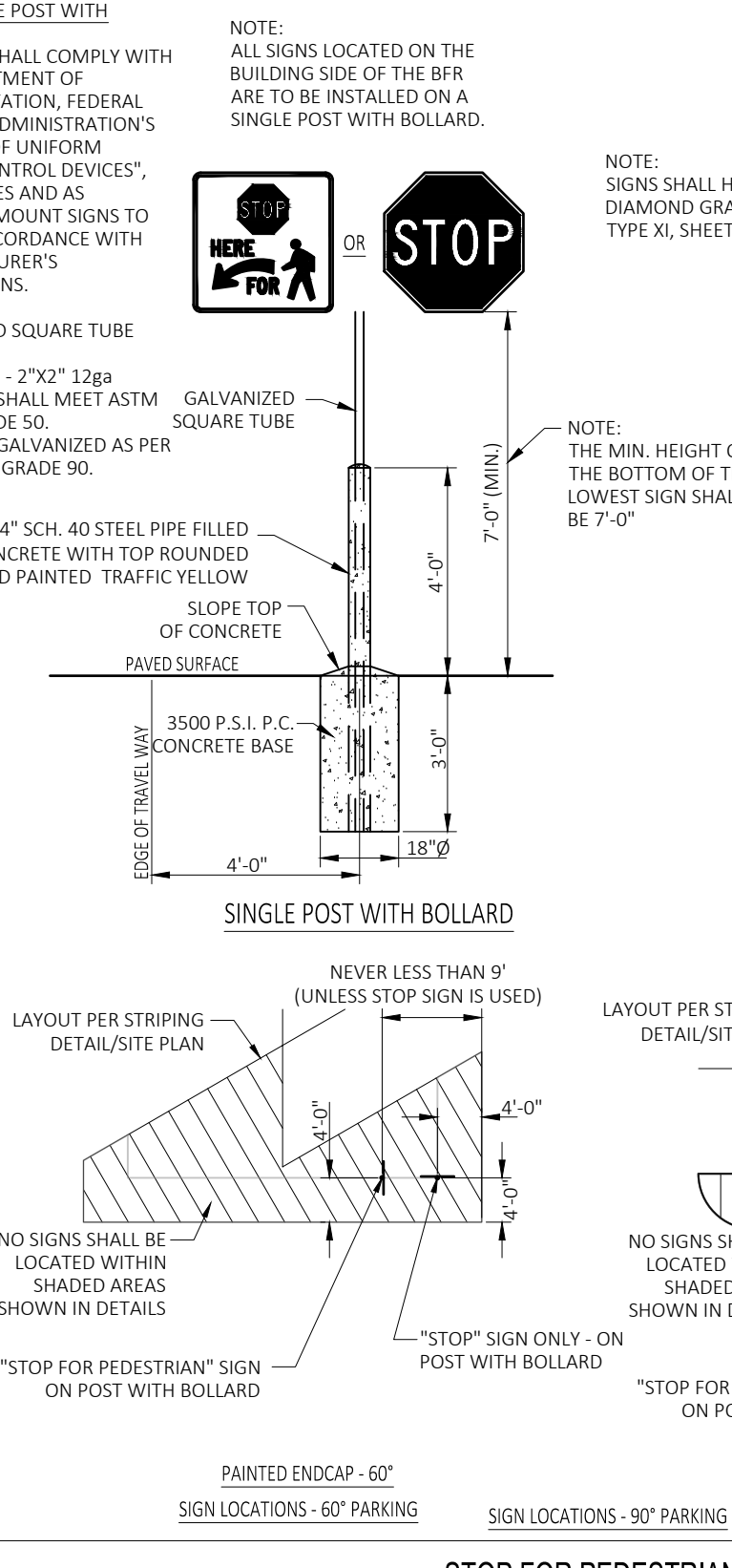
**"STALL DESIGNATION SIGN"**  
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**"LOGO SIGN" (SMALL)**  
N.T.S.



**"PICKUP BANNER"**  
N.T.S.



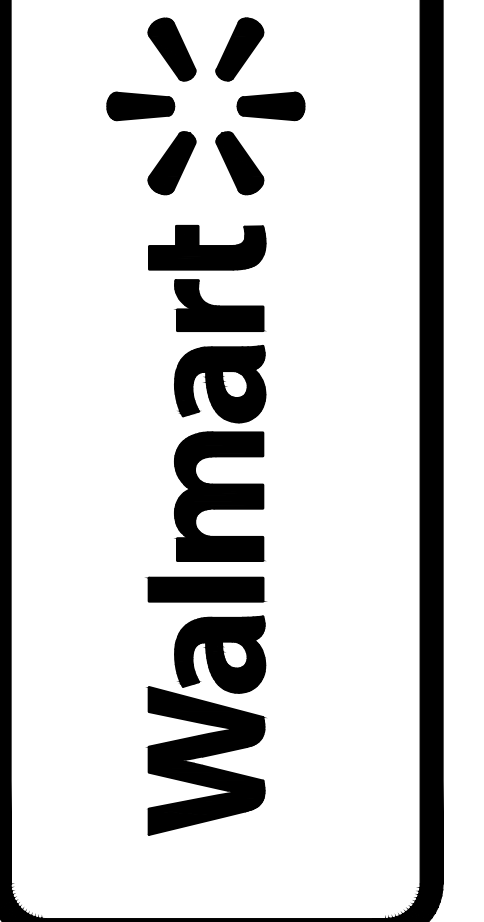
**7 STOP FOR PEDESTRIANS SIGN & SIGN MOUNTING/BASE DETAIL**  
N.T.S.

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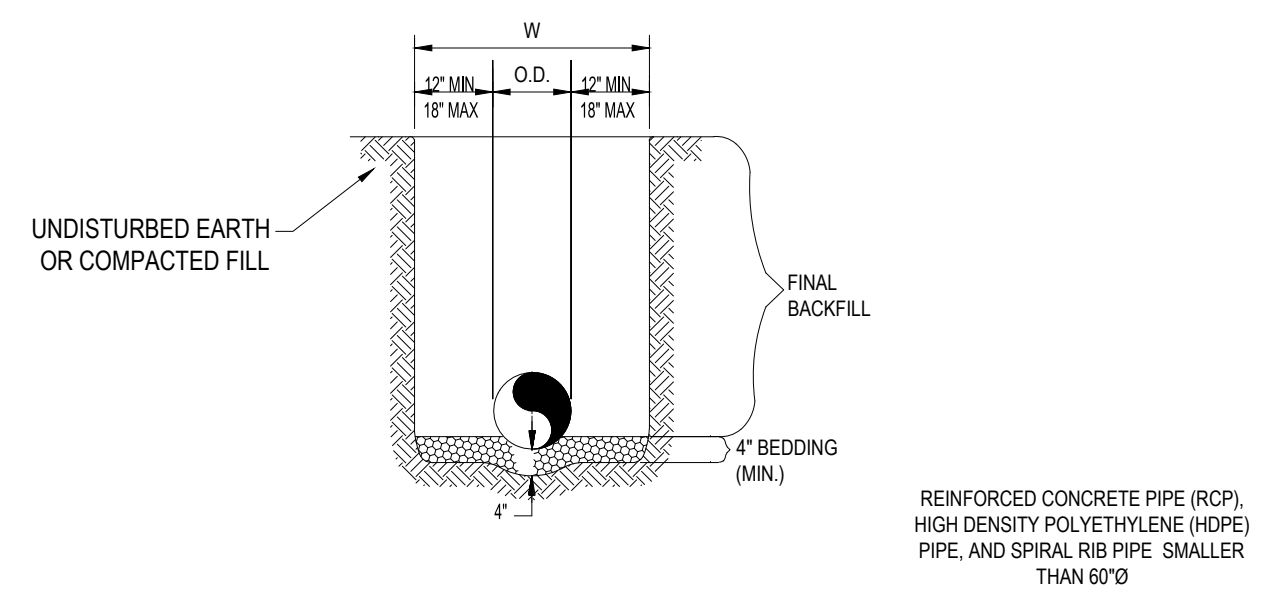


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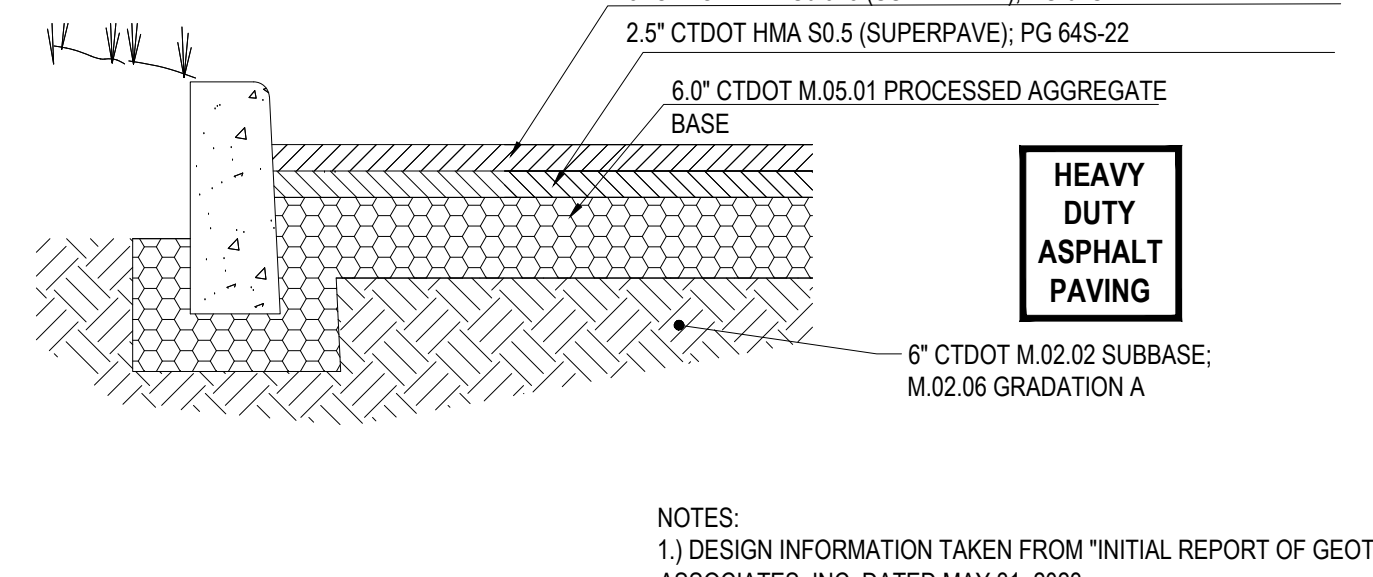
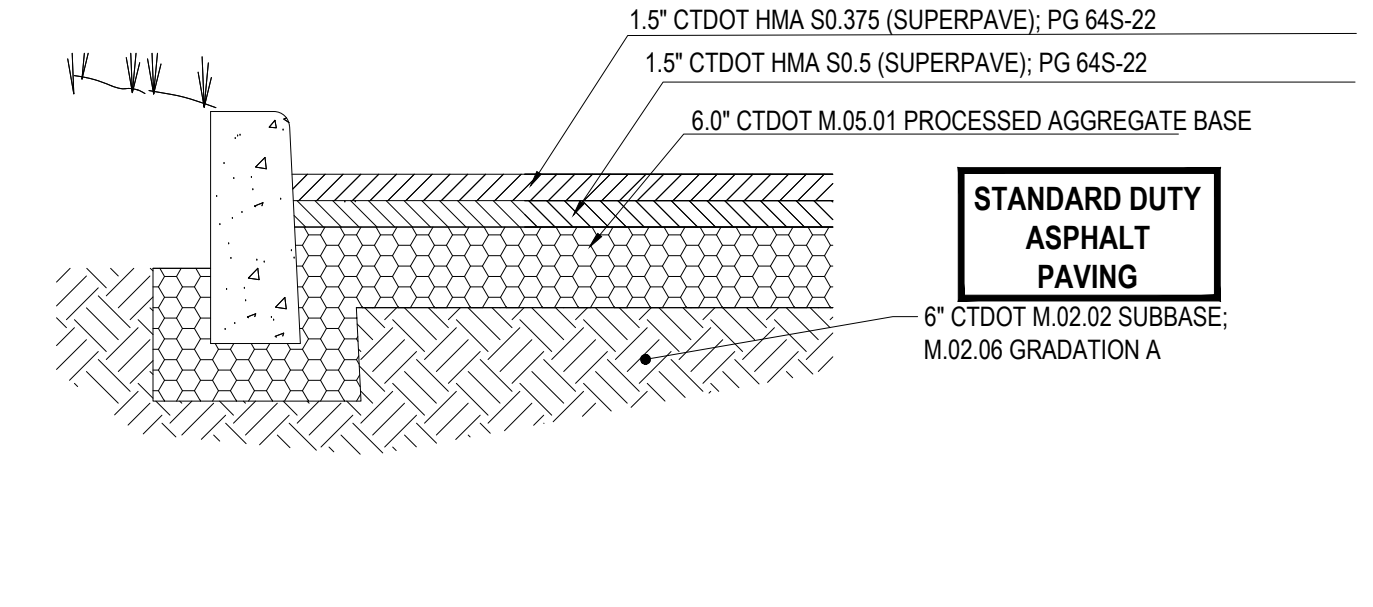
**DTL-1**

**DETAIL SHEET**

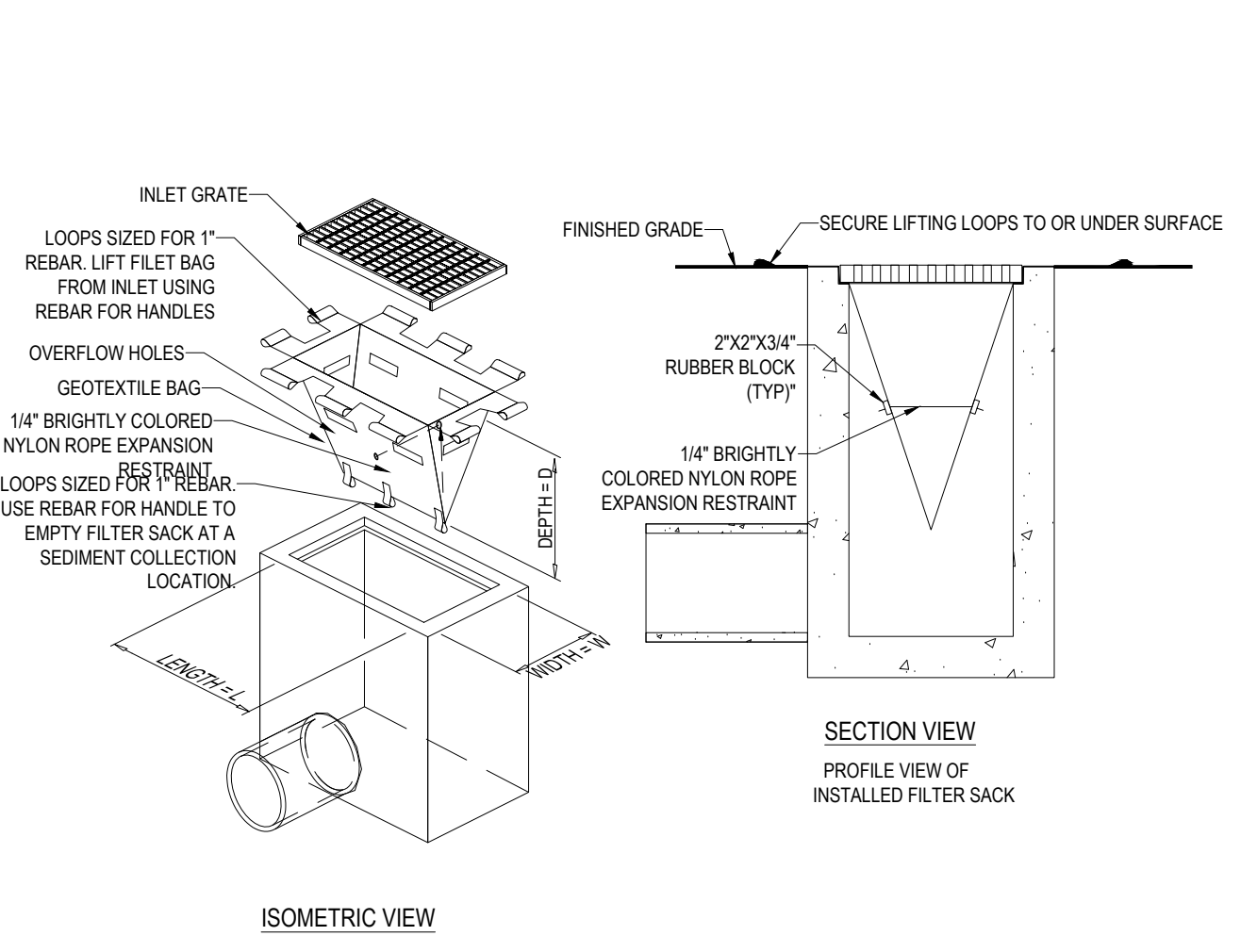




- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I/A WORKED BY HAND IF GROUNDWATER IS ANTICIPATED. THEN BEDDING SHALL BE CLASS I/B COMPACTED TO 85% STANDARD PROCTOR.
  2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS. AND SHALL BE CLASS I/A OR CLASS I/B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
  3. INITIAL BACKFILL SHALL BE CLASS I/A WORKED BY HAND, OR CLASS I/B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
  4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II, OR CLASS III COMPACTED TO 90% STANDARD PROCTOR.
  5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
  6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I/A COMPACTED TO 90% STANDARD PROCTOR.
  7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
  8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698, CLASS II AND I/A. MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
  9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
  10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



- NOTES:**
1. DESIGN INFORMATION TAKEN FROM "INITIAL REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITESTONE ASSOCIATES, INC. DATED MAY 31, 2023.
  2. SUBGRADE COMPACTED TO MIN. 95% OF MODIFIED PROCTOR MAXIMUM LABORATORY DENSITY.



| LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE |             |                  |
|--|-------------|------------------|
| PROPERTIES   | TEST METHOD | UNITS            |
| GRAB TENSILE STRENGTH                                      | ASTM D-4632 | 300 LBS          |
| ELONGATION   | ASTM D-4632 | 20%              |
| PUNCTURE   | ASTM D-4633 | 120 LBS          |
| MULLEN BURST   | ASTM D-3786 | 800 PSI          |
| TRAPEZOID TEAR   | ASTM D-4633 | 120 LBS          |
| UV RESISTANCE  | ASTM D-4355 | 80%              |
| APPEARANT OPENING SIZE                                     | ASTM D-4491 | 40 GAL/MIN/50 FT |
| FLOW RATE  | ASTM D-4491 | 0.55 SEC         |
| PERMEABILITY   | ASTM D-4491 | 1.5 SEC          |

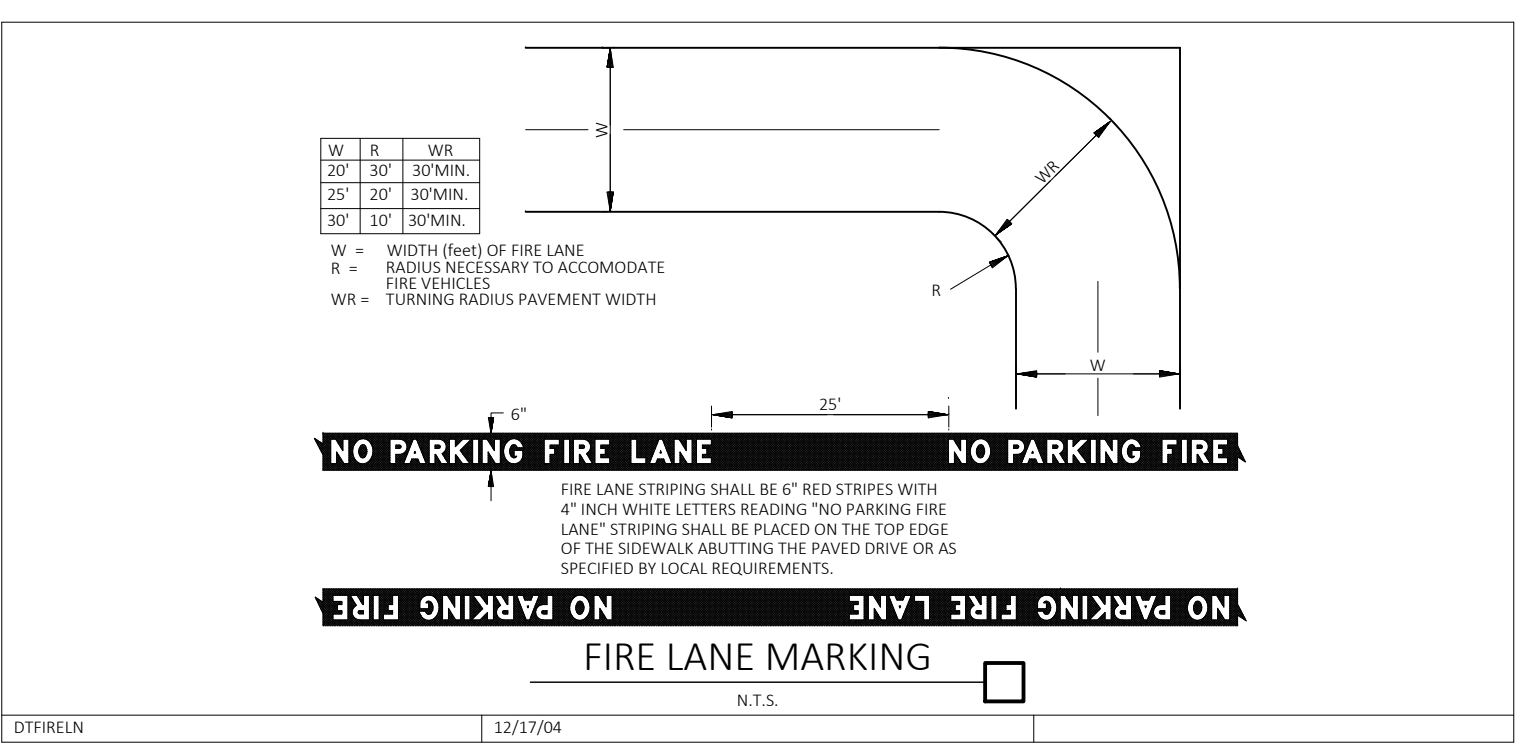
| MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE |             |                   |
|---|-------------|-------------------|
| PROPERTIES  | TEST METHOD | UNITS             |
| GRAB TENSILE STRENGTH                                       | ASTM D-4632 | 265 LBS           |
| ELONGATION  | ASTM D-4632 | 10%               |
| PUNCTURE  | ASTM D-4633 | 135 LBS           |
| MULLEN BURST  | ASTM D-3786 | 420 PSI           |
| TRAPEZOID TEAR  | ASTM D-4633 | 45 LBS            |
| UV RESISTANCE   | ASTM D-4355 | 80%               |
| APPEARANT OPENING SIZE                                      | ASTM D-4491 | 20 LBS SIEVE      |
| FLOW RATE   | ASTM D-4491 | 200 GAL/MIN/50 FT |
| PERMEABILITY  | ASTM D-4491 | 1.5 SEC           |

- NOTE:**  
DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
  2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
  3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
  4. INSPECT PER REGULATORY REQUIREMENTS.
  5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
  6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 10 INCHES AND 36 INCHES.
  7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

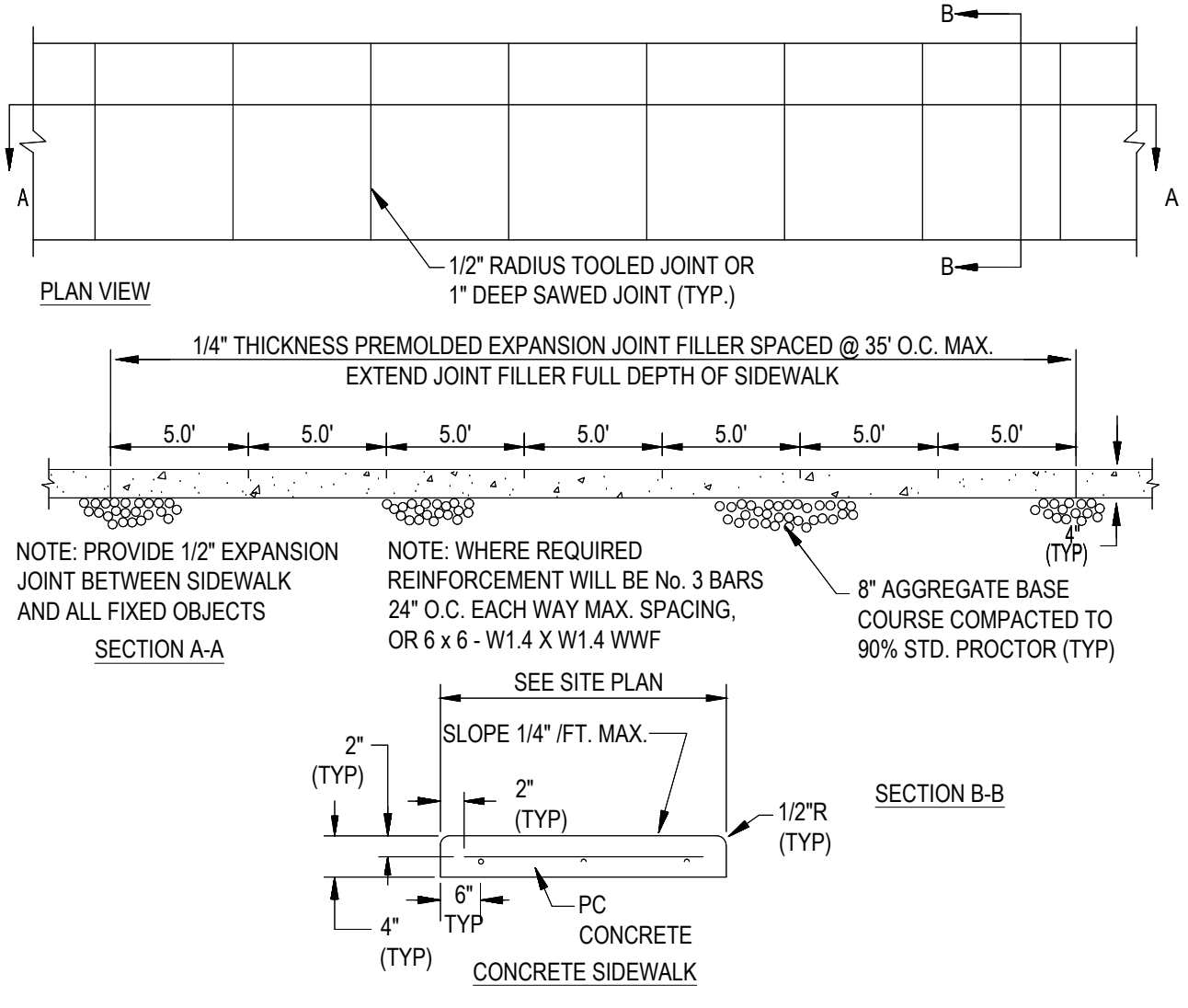
10 STORM SEWER TRENCH AND BEDDING  
N.T.S.

11 PAVING DETAILS  
N.T.S.

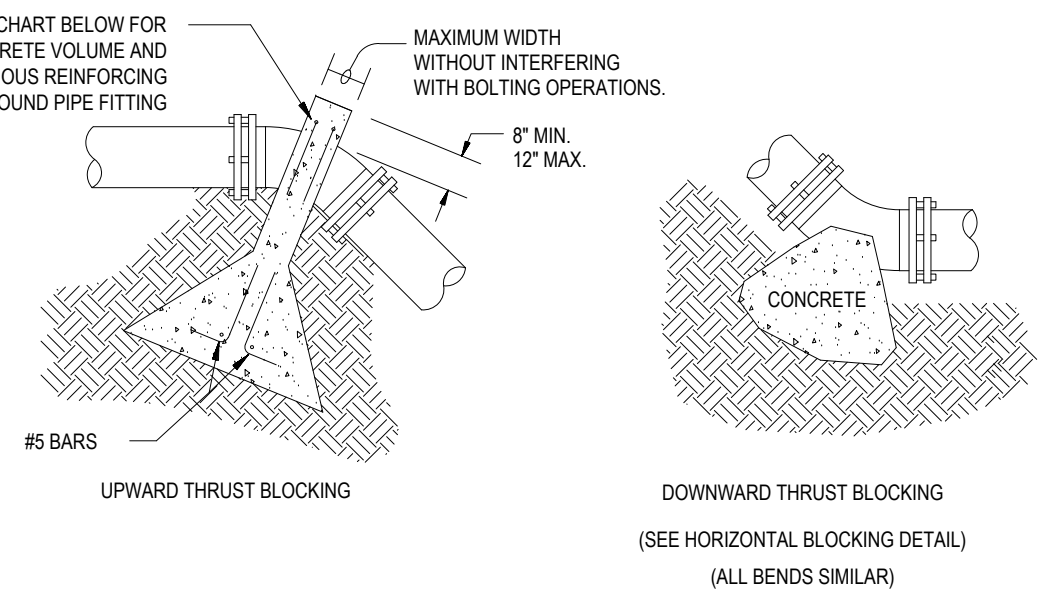
12 FILTER SACS (GRATED INLETS) DETAIL  
N.T.S.



13 FIRE LANE MARKING DETAIL  
N.T.S.

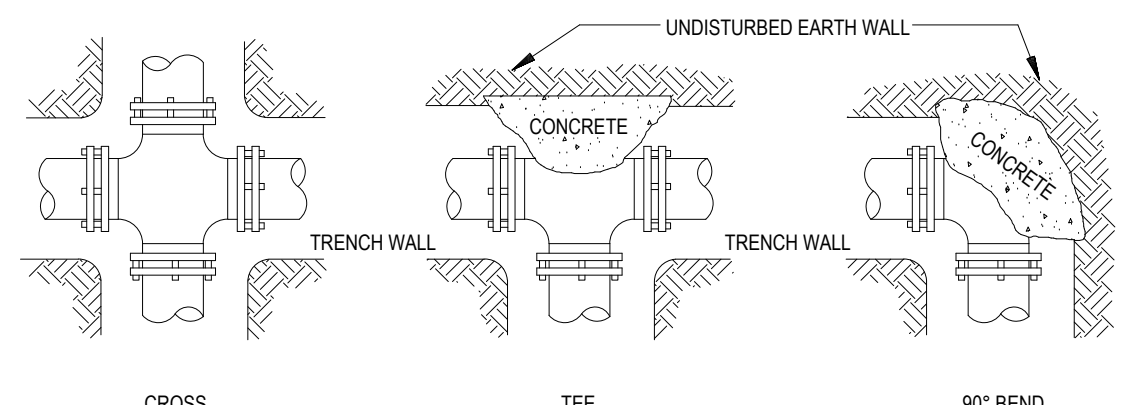


14 CONCRETE SIDEWALK DETAIL  
N.T.S.



| UPWARD THRUST BLOCKING<br>(REQUIRED REINFORCING BARS & CUBIC YARDS OF P.C. CONCRETE) |          |        |      |          |        |      |              |        |      |              |        |      |
|--|----------|--------|------|----------|--------|------|--------------|--------|------|--------------|--------|------|
| PIPE SIZE  | 90° BEND |        |      | 45° BEND |        |      | 22 1/2° BEND |        |      | 11 1/4° BEND |        |      |
|  | CONC.    | REINF. | QTY. | CONC.    | REINF. | QTY. | CONC.        | REINF. | QTY. | CONC.        | REINF. | QTY. |
| 6"   | 1.5      | 3      | 5    | 1.5      | 3      | 5    | 1.25         | 2      | 5    | 1.25         | 2      | 5    |
| 8"   | 2        | 3      | 5    | 2        | 3      | 5    | 1.5          | 2      | 5    | 1.5          | 2      | 5    |
| 10"  | 2.5      | 3      | 5    | 2.5      | 3      | 5    | 2            | 3      | 5    | 2            | 3      | 5    |
| 12"  | 3        | 3      | 5    | 3        | 3      | 5    | 2.5          | 3      | 5    | 2.5          | 3      | 5    |

- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
  2. WRAP ALL FITTINGS WITH VULCOR.
  3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
  4. BACKING TABLES: THE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
  5. ALL BENDS WHERE THE EXTENSIONS ARE BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
  6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 P.S.F. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY ENGINEERS.
  7. ALL CONCRETE SHALL BE 2500 P.S.I.
  8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

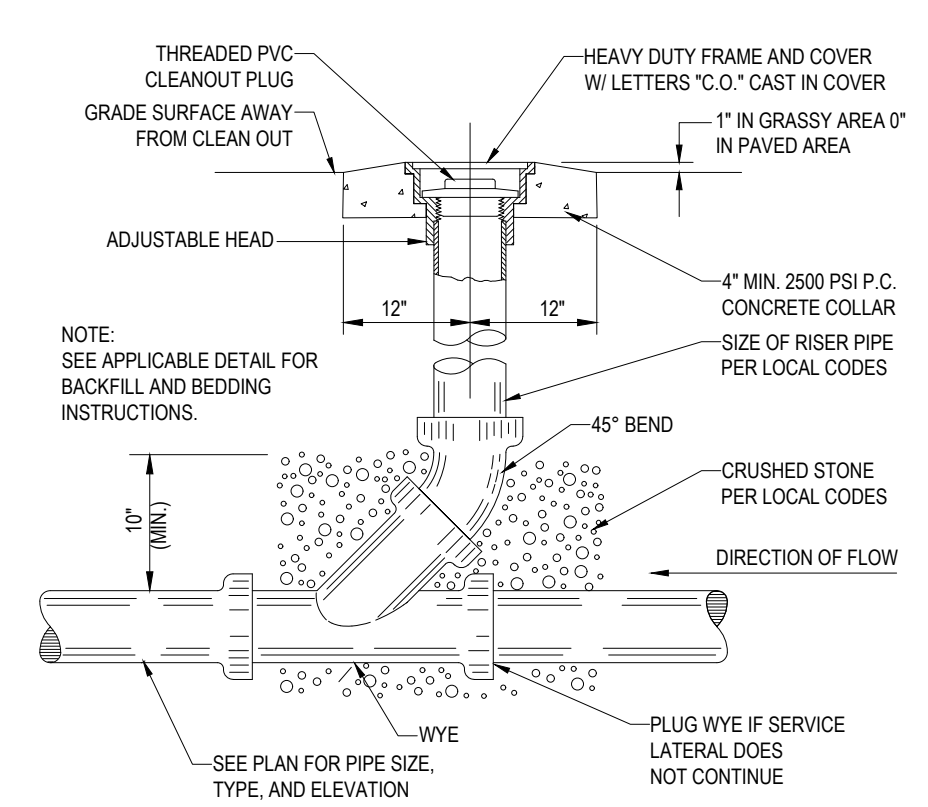


| HORIZONTAL THRUST BLOCKING<br>(BLOCKING HEIGHT GREATER THAN PIPE D.O.D. (BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT)) |      |     |         |       |         |         |
|--|------|-----|---------|-------|---------|---------|
| PIPE SIZE  | TEE  |     |         | BENDS |         |         |
|  | PLUG | 10' | 11 1/4' | 10'   | 11 1/4' | 11 1/4' |
| 3"   | 1.0  | 1.0 | 1.0     | 1.0   | 1.0     | 1.0     |
| 4"   | 1.0  | 1.0 | 1.0     | 1.0   | 1.0     | 1.0     |
| 6"   | 1.5  | 2.0 | 1.0     | 1.0   | 1.0     | 1.0     |
| 8"   | 2.5  | 3.5 | 1.8     | 1.0   | 1.0     | 1.0     |
| 10"  | 4.0  | 5.5 | 2.8     | 1.5   | 1.0     | 1.0     |
| 12"  | 6.0  | 8.0 | 4.0     | 2.0   | 1.5     | 1.5     |

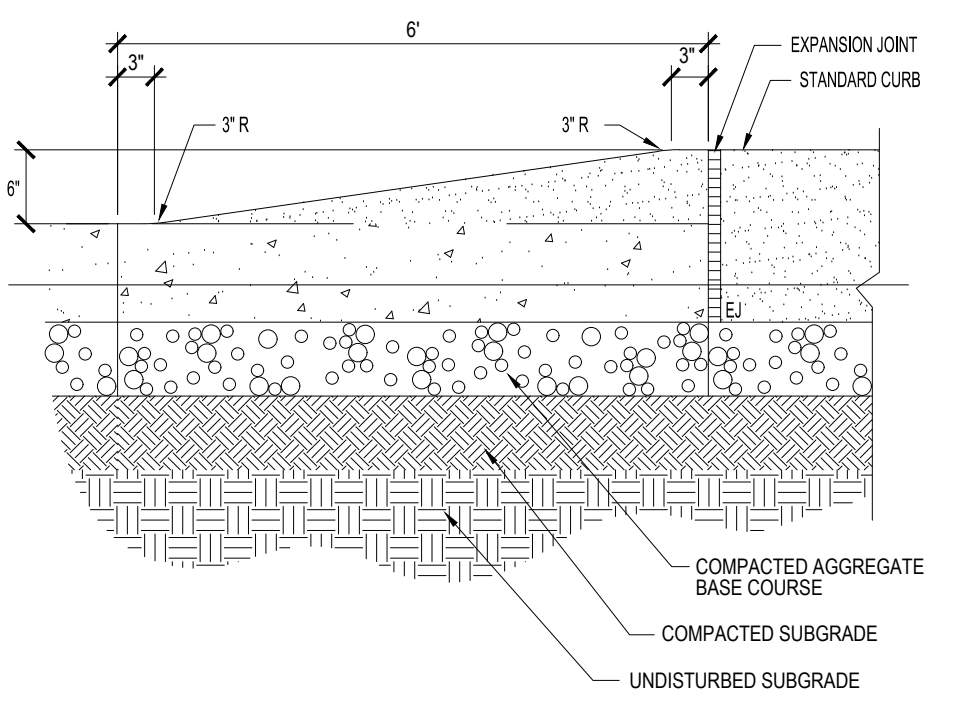
- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
  2. WRAP ALL FITTINGS WITH VULCOR.
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  7. ALL CONCRETE SHALL BE 2500 P.S.I.
  8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

15 VERTICAL THRUST BLOCKING  
N.T.S.

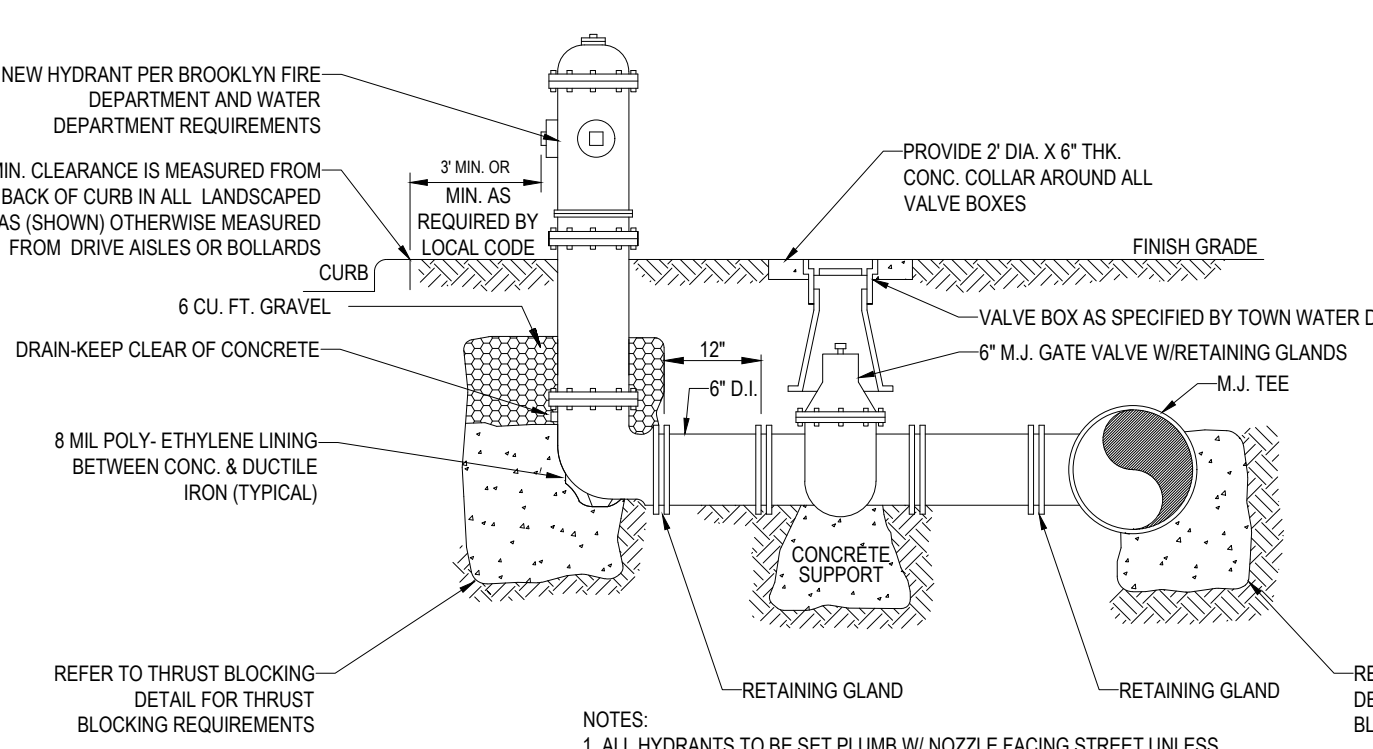
16 HORIZONTAL THRUST BLOCKING  
N.T.S.



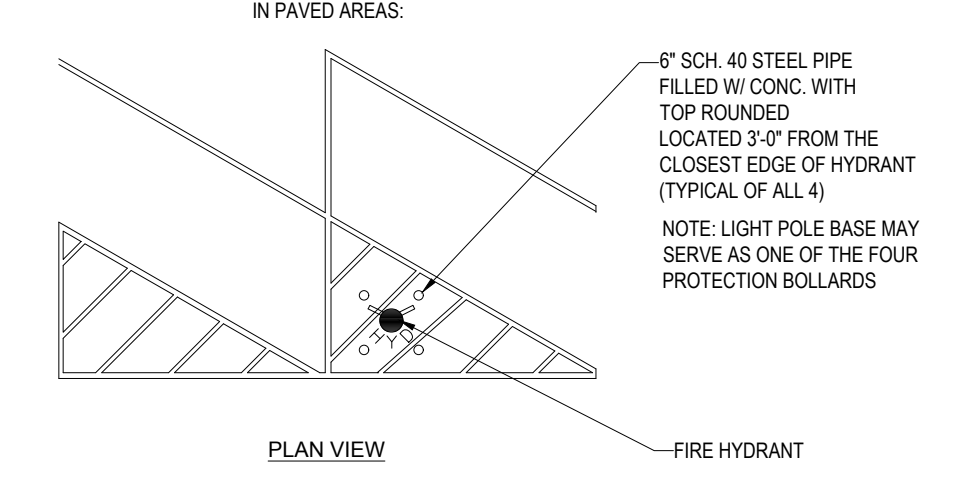
16 CLEANOUT DETAIL  
N.T.S.



17 TRANSITION CURB DETAIL  
N.T.S.

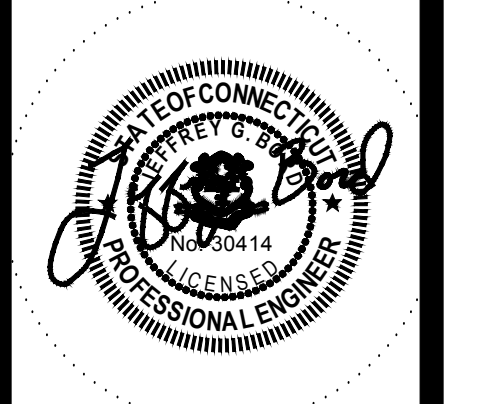


18 TYPICAL HYDRANT & VALVE INSTALLATION  
N.T.S.

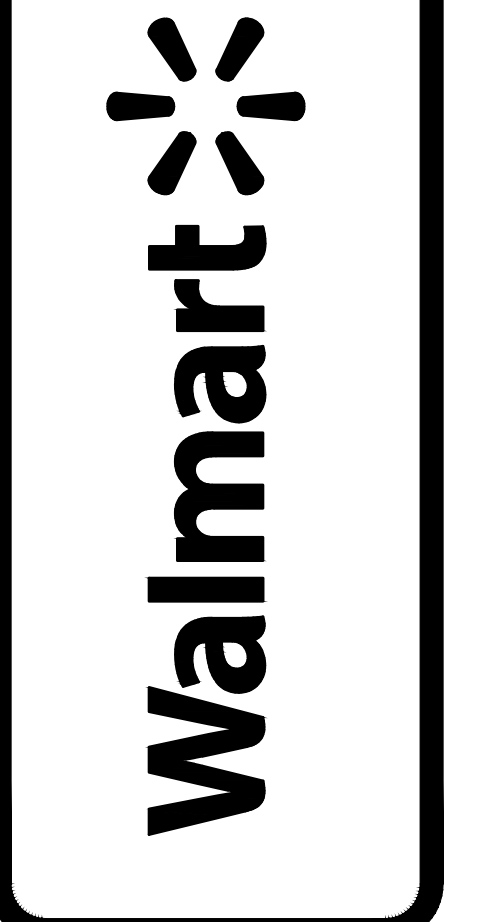


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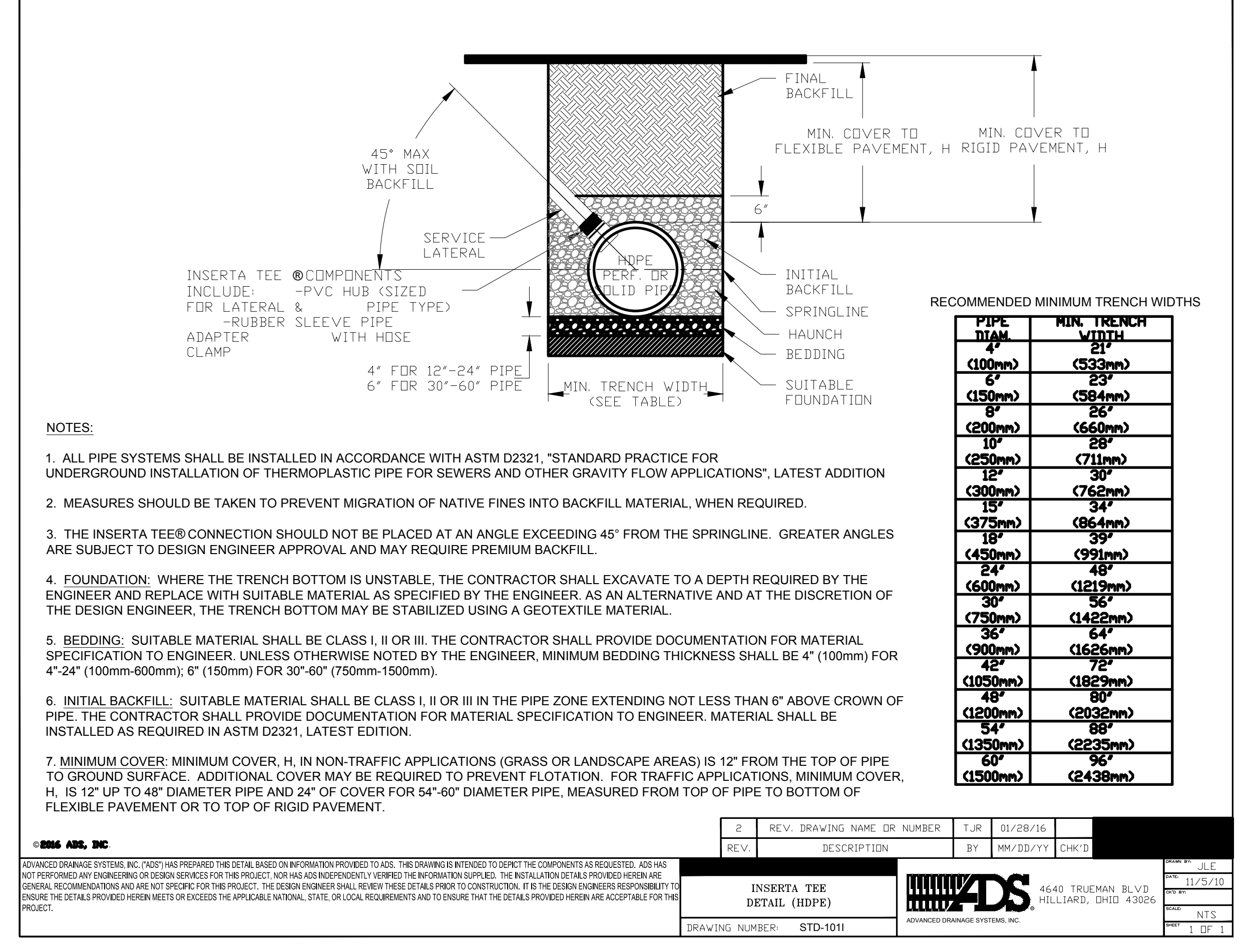
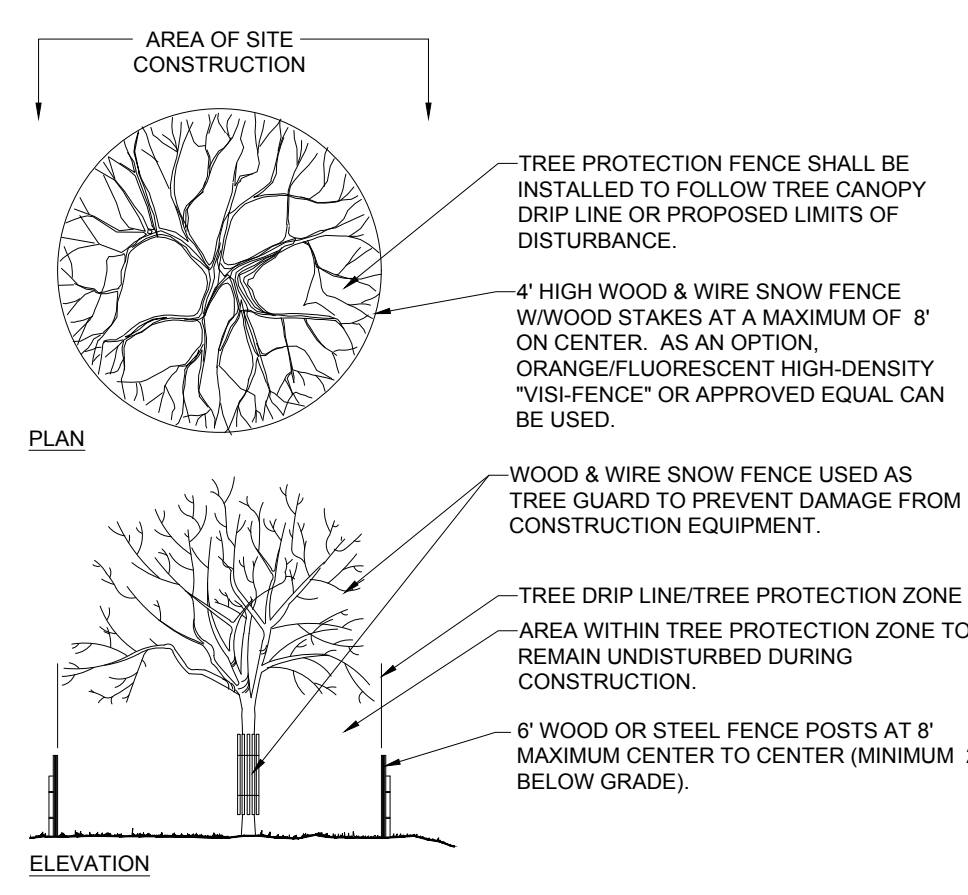
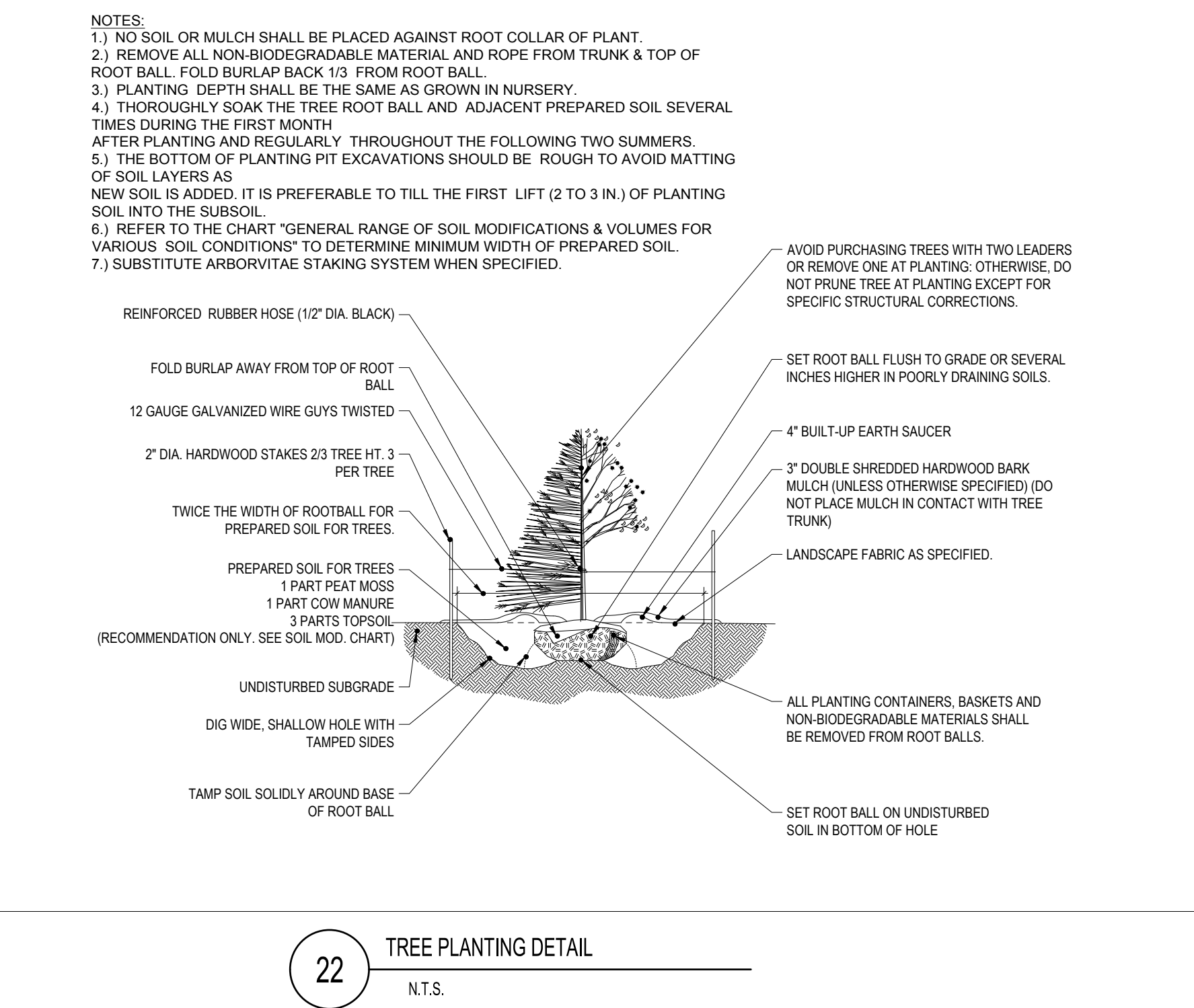
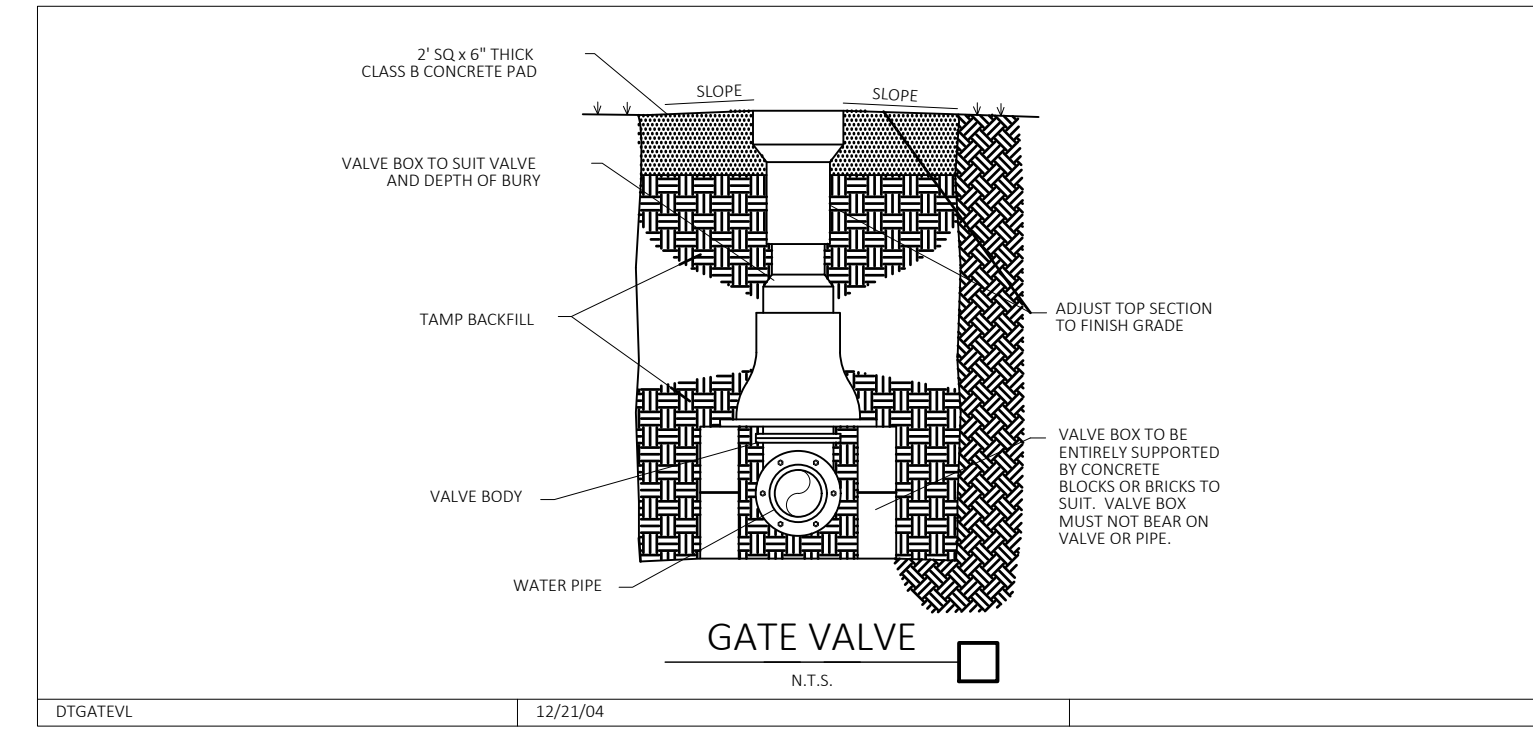
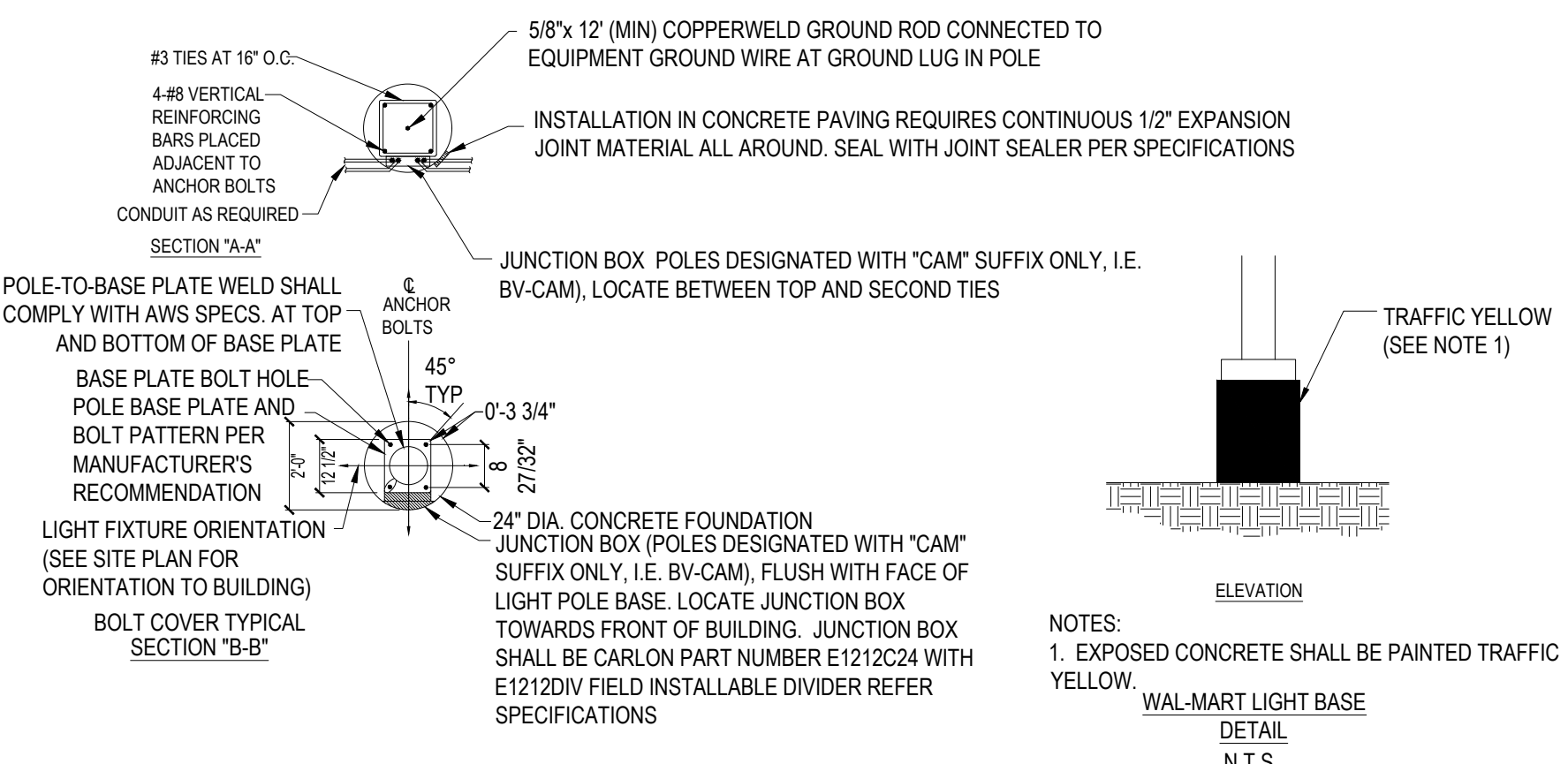


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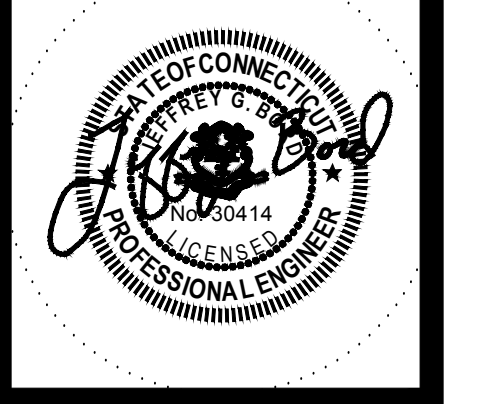
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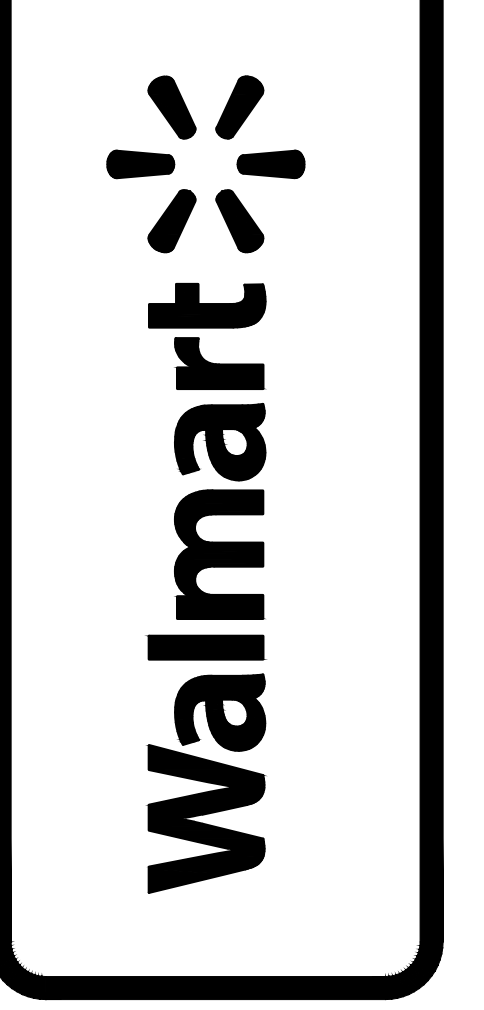


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| JOB No. | MAA230031.00 |
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SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
- Demolition of structures, paving, and utilities.
  - Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance. Obtain required permits and licenses from appropriate authorities. Pay associated fees including disposal charges.
- B. Notify affected utility companies before starting work and comply with their requirements.
- C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
- B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
  - Slump Range: 1 to 3-inches at time of placement
  - Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control.
- B. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.
- D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.
- F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, infringe upon, or limit access to their property. Coordinate notice with Owner.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
- B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.
- C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.
- D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.
- E. Comply with governing regulations pertaining to environmental protection.
- F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.
- B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
- C. Fill or remove piping and appurtenances as shown.
- D. Demolish concrete and masonry in small sections. Break up concrete slabs on grade that are 2-feet or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-feet of proposed subgrade.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.
- B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
- D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on site or off site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
- Painting and marking of pavements, curbs, and guard posts (bollards)..

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. American Association of State Highway and Transportation (AASHTO):
- AASHTO M247 - Glass Beads Used in Traffic Paints
  - AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
- C. Master Painter's Institute (MPI):
- MPI 32 - Traffic Marking Paint, Solvent Based.
  - MPI 97 - Traffic Marking Paint, Latex.
- D. ASTM International (ASTM):
- ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
- E. Federal Specifications (FS):
- FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
  - FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
  - FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.
- B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
- C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval. Paint shall be non bleeding, quick drying, and alkyl petroleum base paint suitable for traffic bearing surface and be mixed in accordance with manufacturer's instructions before application for colors White, Yellow, Blue, and Red.
- D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.
- E. Pickup Area Pavement Marking Paint: Paint shall conform to the requirements specified herein for solvent borne or waterborne paints, with exception of the relevant difference due to the material being supplied in a color other than white or yellow.
- Color: Orange, according to the following mix rate:

| Gallon | Color  |
|--------|--------|
| 5      | Yellow |
| 1      | Red    |
| 6      | Orange |

- Contractor's Option: In lieu of field mixing, limited quantities of pre-mixed orange marking paint conforming to the requirements specified herein are available for purchase from select national coatings suppliers.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
- B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.
- B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
- C. Following items shall be painted with colors noted below:
- Pedestrian Crosswalks: White
  - Exterior Sidewalk Curbs and Guard posts: Yellow
  - Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
  - Fire Lanes: Red or per local code.
  - Lane Striping where separating traffic moving in opposite directions: Yellow.
  - Lane Striping where separating traffic moving in the same direction: White.
  - ADA Symbols: Blue or per local code.
  - ADA parking space markings as shown on the drawings.
  - Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
  - Associate Parking Area: White, unless otherwise noted on Construction Drawings.
  - "Pickup" area striping and other areas as shown on site plan and in associated details - Orange, as specified herein.
- D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
- Traffic control signs.
- B. Related Requirements:
- Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM):
- ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated Welded and Seamless.
  - ASTM C94 - Ready Mix Concrete
  - ASTM D4956 - Retroreflective Sheeting for Traffic Control.
- C. US Department of Transportation, Federal Highway Administration:
- Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD. Sign classification, type, size, and color shall be as shown on the drawings
- B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
- B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
  - Slump Range: 1 to 3-inches at time of placement
  - Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
- B. Install signs of the type and at locations shown on the Drawings.
- C. Install posts of the type as shown on the drawing.
- D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

**SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.**

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- STAR PRODUCTS

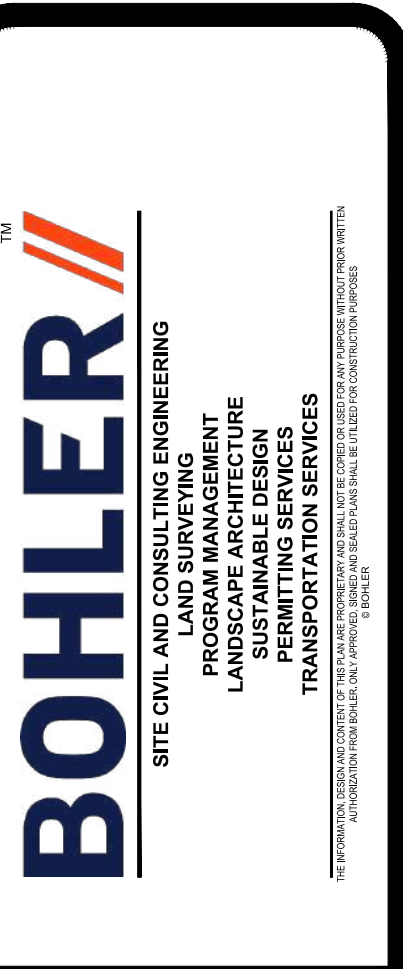
  - MICRO-PAVE PRO-BLEND WITH ADDED SAND
  - SINGLE COAT
- SEAL MASTER

  - POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
  - SINGLE COAT
- GEM SEAL BLACK DIAMOND XL

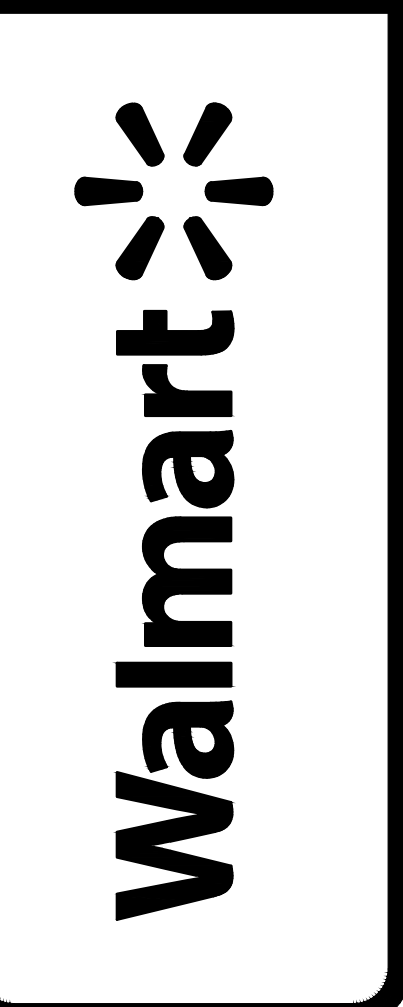
  - WITH ADDED SAND
  - SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

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SUPERCENTER #5777-228  
 450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



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| DRAWN   | BT/JT/JN     |
| CHECKED | JJC/GB       |
| DATE    | 08/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
| SHEET   |              |

**CSS-1**

**SPECIFICATIONS SHEET**



SEAL COAT SPECIFICATION  
PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:
1. Site Demolition Specification
  2. Pavement Markings Specification
  3. Traffic Signs and Signals Specification

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM)
1. ASTM C 136 - Method of Sieve Analysis of Fine and Coarse Aggregate
  2. ASTM D 217 - Method for Cone Penetration of Lubricating Grease
  3. ASTM D 244 - Test Methods for Emulsified Asphalts
  4. ASTM D 562 - Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer
  5. ASTM D 977 - Emulsified Asphalt
  6. ASTM D 2397 - Cationic Emulsified Asphalt
  7. ASTM D 2042 - Method for solubility of Asphalt Materials in Trichloroethylene
  8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal
  9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job foreman.
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
  2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
    - a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).
    - b. Review proposed sources of materials.
    - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If crack sealing is needed (reference section 2.4.C below) or other areas of pavement distress are noted during tour, submit appropriate RFI to project team for review.
    - d. Review requirements for protecting paving work, including restriction and redirection of traffic during installation and curing period.
    - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.
    - f. Review paving requirements (drawings, specifications, and other contract documents).
    - g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
  - h. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.
  2. Pavement temperature is above 55 F.
  3. Surface is dry and no moisture is expected within 24 hours.
  4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a ph not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.
- E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.
- F. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

2.2 COMPOSITION

- A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 - Undiluted Seal Coat Design Properties

| Method   | Minimum | Maximum |
|--|---------|---------|
| Weight (per gallon), ASTM D 244, lbs                             | 9.0     |         |
| Cone Penetration, ASTM D 217, mm                                 | 340     | 700     |
| % Non-Volatile <sup>1</sup>                                      | 50      |         |
| % Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042 | 10      | 35      |
| Wet Track Abrasion Loss, ASTM D 3910, g                          |         | 35      |
| Viscosity, ASTM D 562, KU  | 75      |         |
| Dried Film Color   | Black   |         |

<sup>1</sup>Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.3 EQUIPMENT

- A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.
- B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.
- C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.
- D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform spread. There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.
- E. Clean equipment with a petroleum solvent if previously used with a different material.
- F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.
- G. Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.4 PREPARATION

- A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site Demolition.
- B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.
1. Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.
  2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
- C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.
- D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.
- E. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.
- F. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.
- G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.5 APPLICATION

- A. Apply seal coat at a total rate (undiluted) of 0.17gal./SY.
- B. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.
- C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.
- D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.
- E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.
- F. The finished surface shall present a uniform texture with no streaks.
- G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.
- H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

END OF SECTION

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**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LEAST ENVIRONMENTAL IMPACT  
SUSTAINABLE DESIGN  
PERMITTING SERVICES



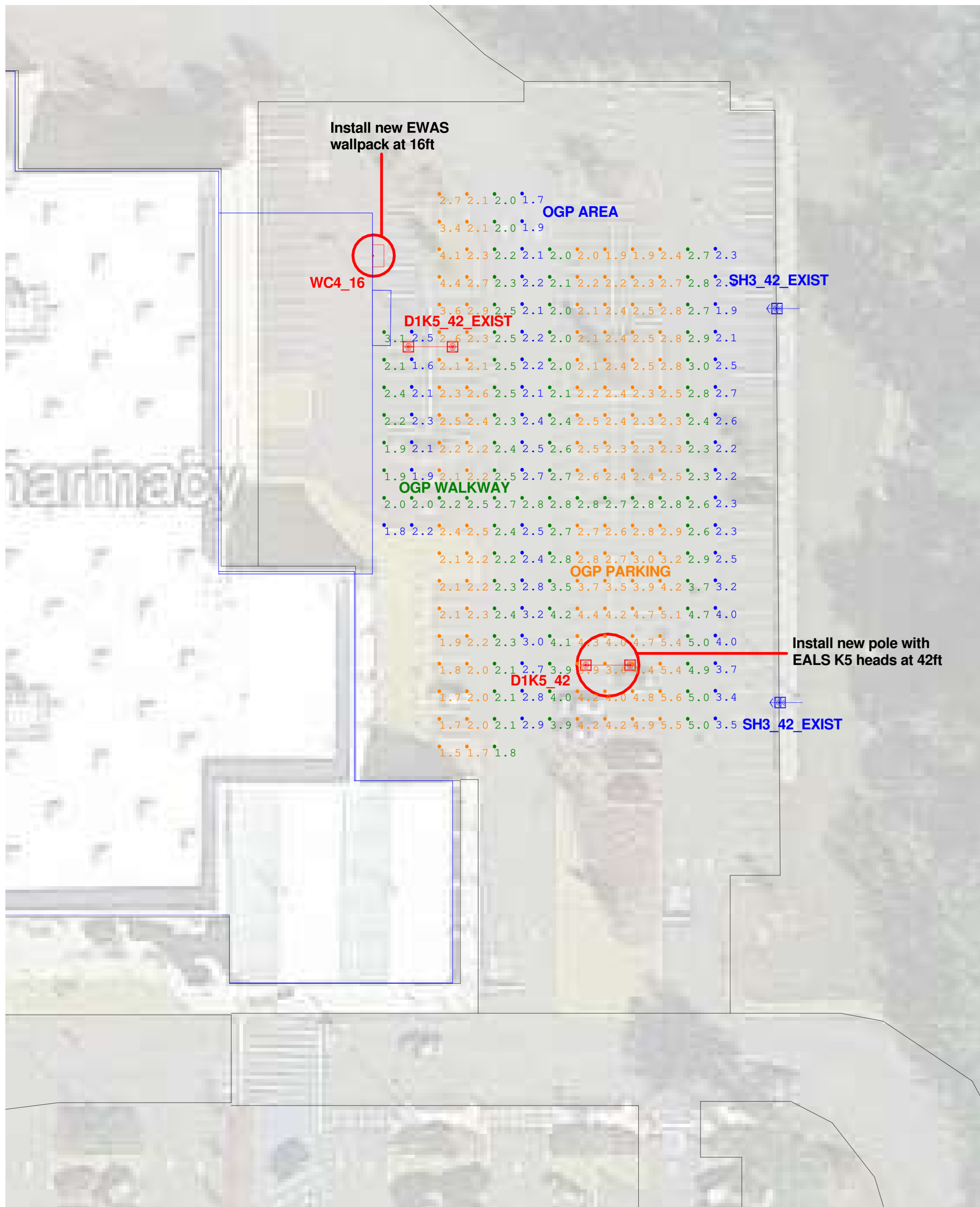
SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



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| DRAWN   | BT/JT/JN     |
| CHECKED | JUC/KCB      |
| DATE    | 06/29/2023   |
| SCALE   | AS NOTED     |
| JOB No. | MAA230031.00 |
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**CSS-2**





Scale: 1 inch= 25 Ft.

L93 = OPERATING HOURS AT WHICH AN AVERAGE OF 8% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 93% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

L95 = OPERATING HOURS AT WHICH AN AVERAGE OF 5% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 95% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

IN COMPARISON, NON-LED LUMINAIRES ARE RATED WITH MEAN LUMENS MEASURED AT 40-50% OF RATED LIFE, DEPENDING ON TECHNOLOGY, AND RATED LIFE OF B50, WHERE B50 = OPERATING HOURS AT WHICH 50% OF A TESTED POPULATION OF LAMPS HAVE FAILED.

PROPERTY LINES BASED OFF PROVIDED LIGHTING RETROFIT SURVEY AND GOOGLE EARTH PRO. CALCULATION AREAS TREATED AS OPEN AND EMPTY. NO TREES ARE CONSIDERED IN THE DESIGN, ACTUAL VALUES MAY VARY FROM CALCULATED VALUES SHOWN. LED STATISTICS SHOWN ARE AT 50000 HOURS L93 & L95 RATING (~12 YEARS @ 12 HRS/DAY)

**Notes:**

This is a remodel request for the OGP area on a site that has already been retrofit to LED fixtures in 2018  
 Material with "exist" label is already installed on site and is included here as light contribution only  
 All other material is what is being added to increase the lighting in the OGP Pick up area per request

**Calculation Summary Illuminance Foot-candles**

| Label         | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-----|-----|-----|---------|---------|
| OGP AREA      | 2.5 | 4.0 | 1.6 | 1.6     | 2.5     |
| OGP PARKING   | 2.9 | 5.6 | 1.5 | 1.9     | 3.7     |
| OGP WALKWAY   | 2.7 | 5.0 | 1.8 | 1.5     | 2.8     |
| Property Line | 0.0 | 0.2 | 0.0 | N.A.    | N.A.    |

**EXISTING MATERIAL**

| Symbol | Qty | Label         | Arrangement | LLF   | Description                                     | Arr. Watts | Arr. Lum. Lumens | BUG Rating | [MANUFAC]        |
|--------|-----|---------------|-------------|-------|---|------------|------------------|------------|------------------|
|        | 2   | SH3_42_EXIST  | SINGLE      | 0.855 | 1-EALP015H3AW750NDD1BLCKF 39ft pole on 3ft base | 183        | 21300            | B3-U0-G2   | CURRENT LIGHTING |
|        | 1   | D1K5_42_EXIST | BACK-BACK   | 0.855 | 2-EALP015K5SM750NDD1BLCKF 39ft pole on 3ft base | 548        | 60000            | B5-U0-G3   | CURRENT LIGHTING |

**ADDITIONAL MATERIAL**

| Symbol | Qty | Label   | Arrangement | LLF   | Description                                     | Arr. Watts | Arr. Lum. Lumens | BUG Rating | [MANUFAC]        |
|--------|-----|---------|-------------|-------|---|------------|------------------|------------|------------------|
|        | 1   | D1K5_42 | D180        | 0.837 | 2-EALS035K5SM750NDD1BLCKF 39ft pole on 3ft base | 478        | 60000            | B5-U0-G3   | CURRENT LIGHTING |
|        | 1   | WC4_16  | SINGLE      | 0.837 | 1-EWAS010C4F740N1FMFLCK mounted at 16ft         | 56         | 7500             | B1-U0-G2   | CURRENT LIGHTING |

The magnitude of the differences between calculated and field measurements varies. In general, differences of less than 20% can be expected, but in extreme cases, where a calculation method cannot handle the complexity of the lighting system, they may be greater. A more complete discussion of the uncertainties is available.

ANSI/IES L6-20  
Lighting Science: Calculation of Light and its Effects

Provided for:  
CURRENT

Provided BY:  
Application Solution Center  
apps@currentlighting.com

282528 Science Park Blvd.,  
Beachwood, OH 44122

Designer: Hari

Date: 7/13/2023

Drawing #: Walmart #5777 Brooklyn, CT OGP - A200700C.AGI

**Walmart #5777 Brooklyn, CT OGP  
A200700C**

USE EVOLVE LED AREA LIGHT (EALP) 5000K CCT  
 AT EXISTING LUMINAIRE LOCATIONS  
 TARGET: 1:5 OGP Walling  
 10'x10' CALCULATION GRID SPACING  
 HORIZONTAL POINTS AT GRADE VERTICAL POINTS AT 5' ANG.  
 5000HOURS SHOWN

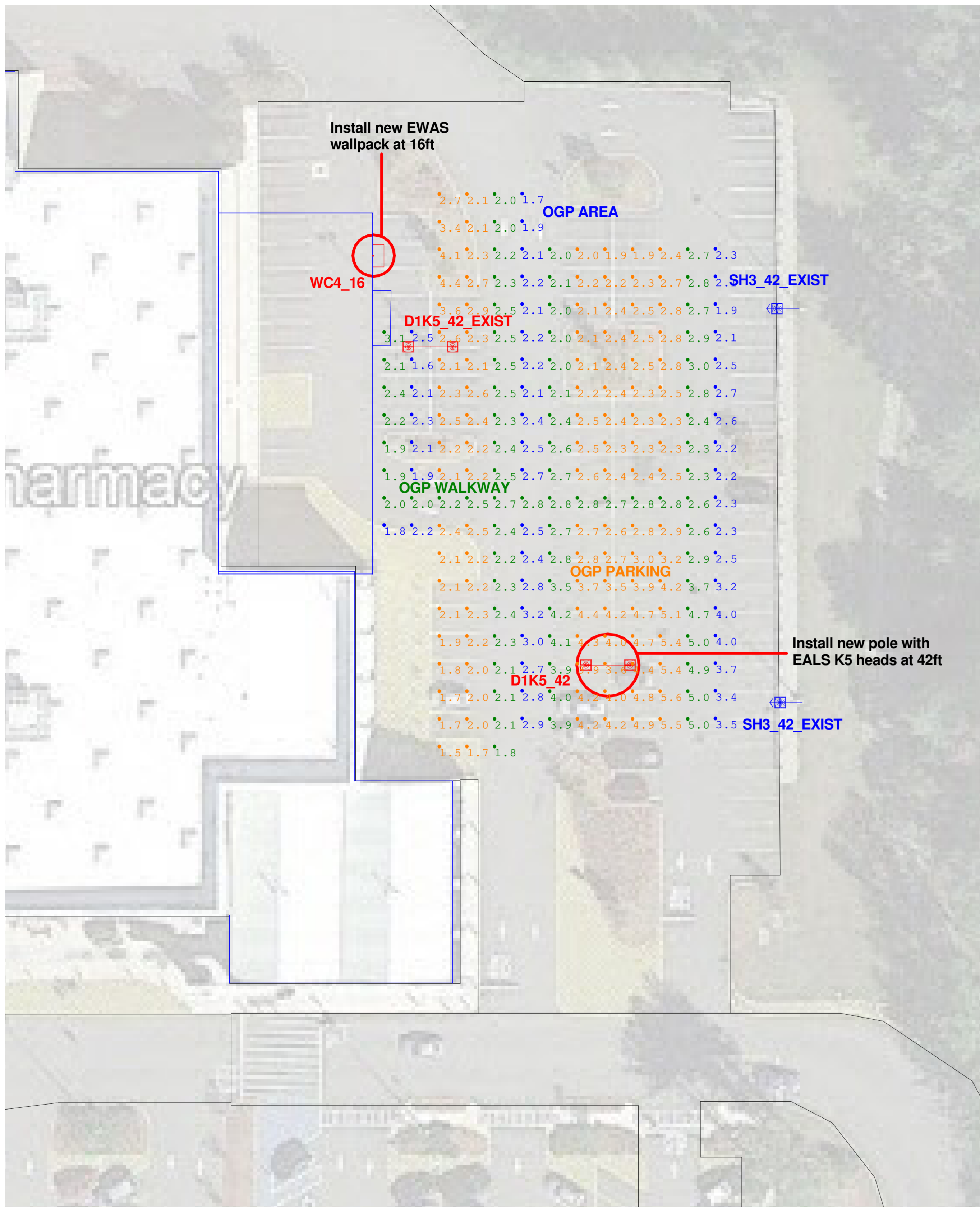












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L95 = OPERATING HOURS AT WHICH AN AVERAGE OF 5% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 95% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

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PROPERTY LINES BASED OFF PROVIDED LIGHTING RETROFIT SURVEY AND GOOGLE EARTH PRO. CALCULATION AREAS TREATED AS OPEN AND EMPTY. NO TREES ARE CONSIDERED IN THE DESIGN, ACTUAL VALUES MAY VARY FROM CALCULATED VALUES SHOWN. LED STATISTICS SHOWN ARE AT 50000 HOURS L93 & L95 RATING (~12 YEARS @ 12 HRS/DAY)

**Notes:**

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 All other material is what is being added to increase the lighting in the OGP Pick up area per request

**Calculation Summary Illuminance Foot-candles**

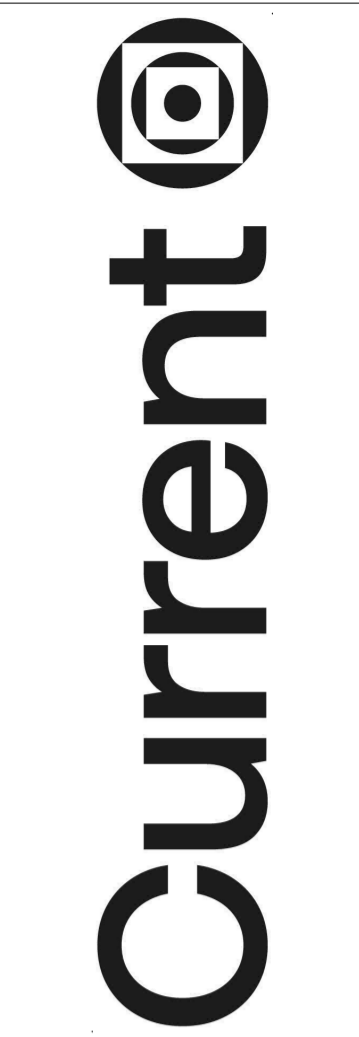
| Label         | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-----|-----|-----|---------|---------|
| OGP AREA      | 2.5 | 4.0 | 1.6 | 1.6     | 2.5     |
| OGP PARKING   | 2.9 | 5.6 | 1.5 | 1.9     | 3.7     |
| OGP WALKWAY   | 2.7 | 5.0 | 1.8 | 1.5     | 2.8     |
| Property Line | 0.0 | 0.2 | 0.0 | N.A.    | N.A.    |

**EXISTING MATERIAL**

| Symbol | Qty | Label         | Arrangement | LLF   | Description                                     | Arr. Watts | Arr. Lum. Lumens | BUG Rating | [MANUFAC]        |
|--------|-----|---------------|-------------|-------|---|------------|------------------|------------|------------------|
|        | 2   | SH3_42_EXIST  | SINGLE      | 0.855 | 1-EALP015H3AW750NDD1BLCKF 39ft pole on 3ft base | 183        | 21300            | B3-U0-G2   | CURRENT LIGHTING |
|        | 1   | D1K5_42_EXIST | BACK-BACK   | 0.855 | 2-EALP015K5SM750NDD1BLCKF 39ft pole on 3ft base | 548        | 60000            | B5-U0-G3   | CURRENT LIGHTING |

**ADDITIONAL MATERIAL**

| Symbol | Qty | Label   | Arrangement | LLF   | Description                                     | Arr. Watts | Arr. Lum. Lumens | BUG Rating | [MANUFAC]        |
|--------|-----|---------|-------------|-------|---|------------|------------------|------------|------------------|
|        | 1   | D1K5_42 | D180        | 0.837 | 2-EALS035K5SM750NDD1BLCKF 39ft pole on 3ft base | 478        | 60000            | B5-U0-G3   | CURRENT LIGHTING |
|        | 1   | WC4_16  | SINGLE      | 0.837 | 1-EWAS010C4F740N1FMBLCK mounted at 16ft         | 56         | 7500             | B1-U0-G2   | CURRENT LIGHTING |



The magnitude of the differences between calculated and field measurements varies. In general, differences of less than 20% can be expected, but in extreme cases, where a calculation method cannot handle the complexity of the lighting system, they may be greater. A more complete discussion of the uncertainties is available.

ANSI/IES L6-20  
Lighting Science: Calculation of Light and its Effects

Provided for:  
CURRENT

Provided BY:  
Application Solution Center  
apps@currentlighting.com

282528 Science Park Blvd.,  
Beachwood, OH 44122

Designer: Hari  
 Date: 7/13/2023  
 Drawing #: Walmart #5777 Brooklyn, CT OGP - A200700C.AGI

**Walmart #5777 Brooklyn, CT OGP  
A200700C**

BE ENVOLE LED AREA LIGHT (EALP) 5000K CCT  
 AT EXISTING LUMINAIRE LOCATIONS  
 TARGET: 1:5 OGP Area  
 10x10' CALCULATION GRID SPACING  
 HORIZONTAL POINTS AT GRADE VERTICAL POINTS AT 5' ANG.  
 5000HOURS SHOWN



RECEIVED

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date JUL 31 2023  
Action Date \_\_\_\_\_

Application #SP 23-004  
Check# 1002

APPLICATION FOR SPECIAL PERMIT

Name of Applicant Shole's Supply CT LLC Phone \_\_\_\_\_  
Mailing Address 633 WASHINGTON ST, COVENTRY RI Phone 401-822-2212

Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Phone \_\_\_\_\_

Name of Engineer/Surveyor Arcton Surveying LLC  
Address 18 Providence Rd, Brooklyn CT  
Contact Person PAUL ARCTON Phone 979-2240 Fax \_\_\_\_\_

Property location/address 564 Providence Rd - Route 6  
Map # 41 Lot # 17 Zone PC Total Acres 9.97

Proposed Activity - PROPOSED ACE HARDWARE STORE w/OUTSIDE DISPLAY  
\* PROPANE FILLING STATION

Change of Use: Yes  No  If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion \_\_\_\_\_

Utilities - Septic: On Site \_\_\_\_\_ Municipal  Existing \_\_\_\_\_ Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public  Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

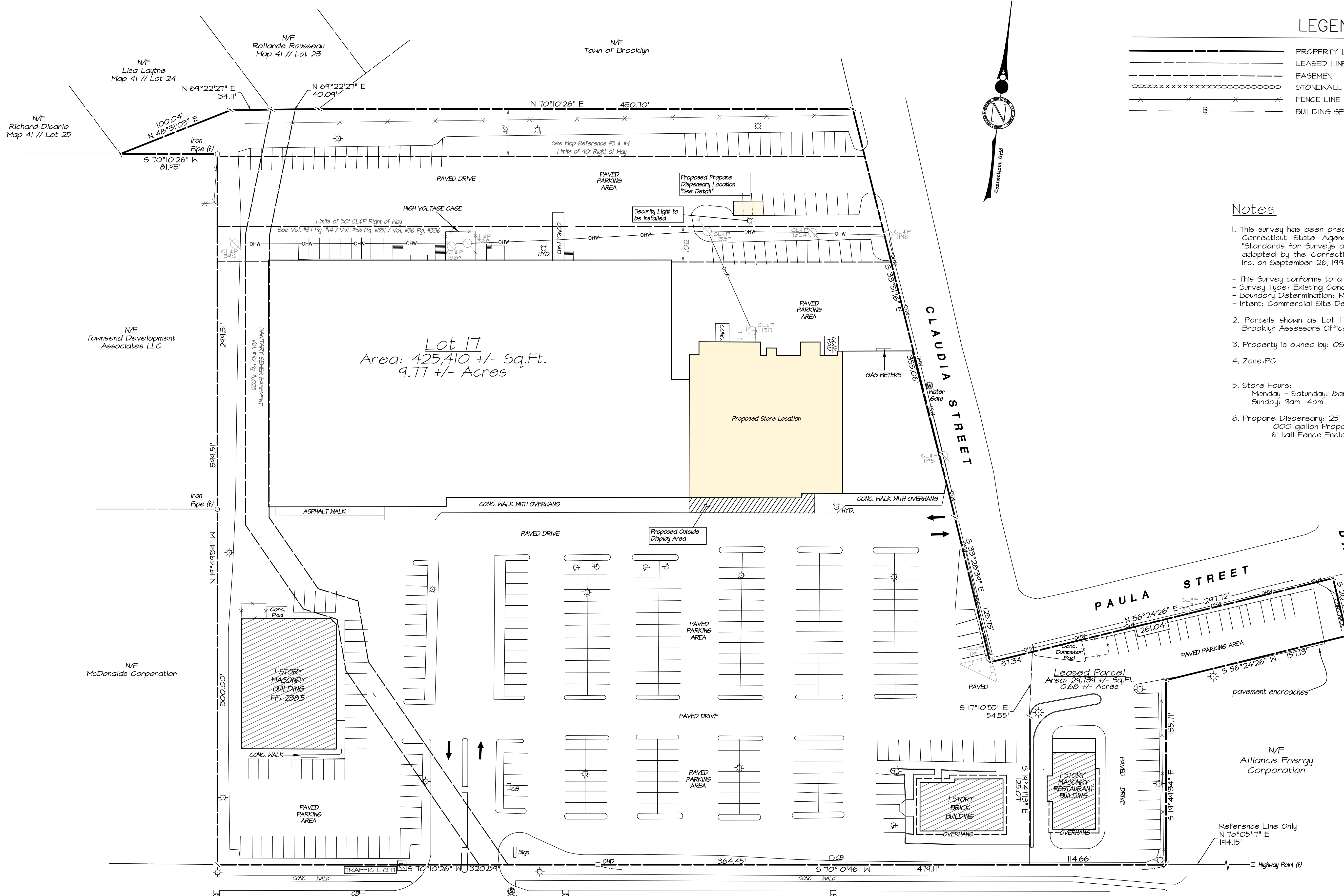
- Fee\$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans
- See also Site Plan Review Worksheet

Variances obtained \_\_\_\_\_ Date \_\_\_\_\_

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

• Applicant: Andrew Shole Date 7-31-23  
- Owner: Andrew Shole Date 7-31-23

\* Note: Any consulting fees will be paid by the applicant



**LEGEND**

|  |                  |  |                  |
|--|------------------|--|------------------|
|  | PROPERTY LINE    |  | IRON PIN FOUND   |
|  | LEASED LINE      |  | DRILL HOLE FOUND |
|  | EASEMENT         |  | MONUMENT FOUND   |
|  | STONEWALL        |  | PROPERTY POINT   |
|  | FENCE LINE       |  | LIGHT STANDARD   |
|  | BUILDING SETBACK |  | FIRE HYDRANT     |
|  |                  |  | UTILITY POLE     |

- Notes**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996
    - This Survey conforms to a Class "A-2" Horizontal Accuracy
    - Survey Type: Existing Conditions Plan
    - Boundary Determination: Resurvey
    - Intent: Commercial Site Development
  - Parcels shown as Lot 17, on Assessors Tax Map 41 of the Brooklyn Assessors Office
  - Property is owned by: OSJ of Brooklyn LLC
  - Zone: PC
  - Store Hours:
    - Monday - Saturday: 8am - 7pm
    - Sunday: 9am - 4pm
  - Propane Dispensary: 25' x 12'  
1000 gallon Propane Tank  
6' tall Fence Enclosure with 2 gates on Concrete Pad

**Lot 17**  
Area: 425,410 +/- Sq.Ft.  
9.77 +/- Acres

**Leased Parcel**  
Area: 29,734 +/- Sq.Ft.  
0.68 +/- Acres

**Map References**  
1. Boundary Survey Prepared for OSJ of Brooklyn, 504 Providence Road, Brooklyn, Connecticut, Date: December 2019, Prepared by Archer Surveying LLC

To my knowledge and belief, this map is substantially correct as noted herein.

*[Signature]*  
7/31/2023  
Paul M. Archer, Conn. L.S. #70013

No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Archer Surveying LLC  
18 Providence Road, Brooklyn, CT 06008  
DAVID A. SMITH, P.E. 14173 DATE 7/31/2023  
NOT VALID UNLESS SEAL IS AFFIXED HERETO

| REVISIONS |             |
|-----------|-------------|
| DATE      | DESCRIPTION |
|           |             |
|           |             |
|           |             |

**Site Development Plan**  
Prepared For:  
**Sholes Ace Hardware & Supply**  
564 Providence Road (Route 6)  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'

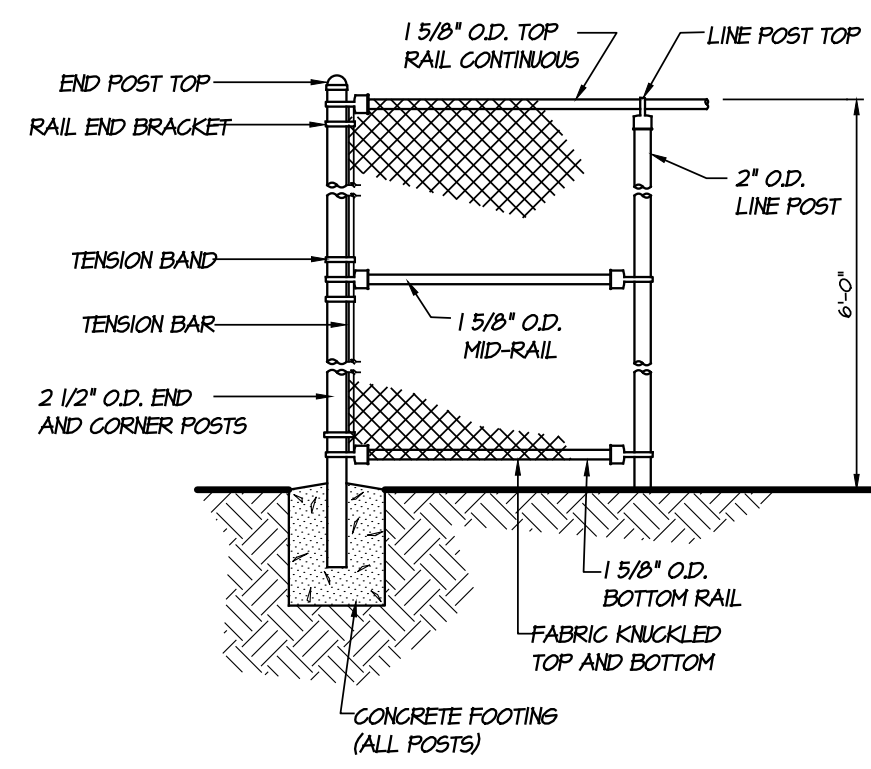
**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240 / (860) 928-1921

**KWP**  
SURVEYING - ENGINEERING - SITE PLANNING

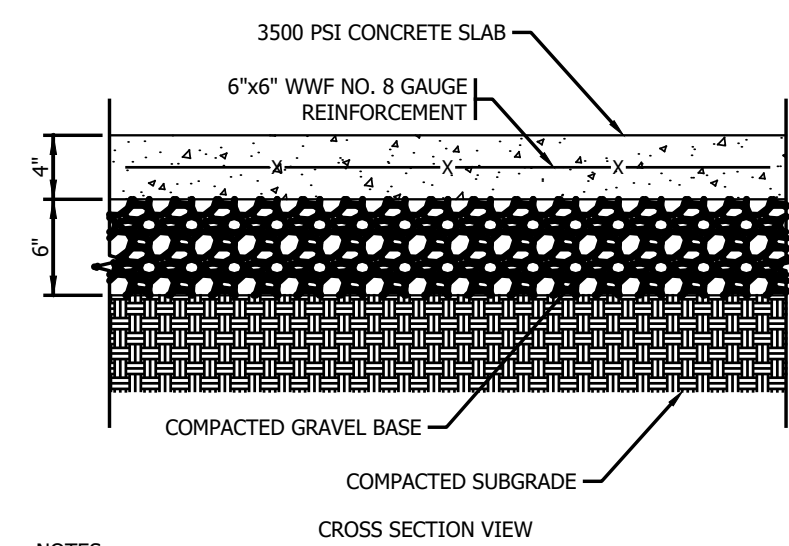
**LOUIS J. SOJA, JR.**  
LAND SURVEYOR - LAND PLANNER

Sheet No. 1 OF 2 Project No. 2272 Date: July 27, 2023



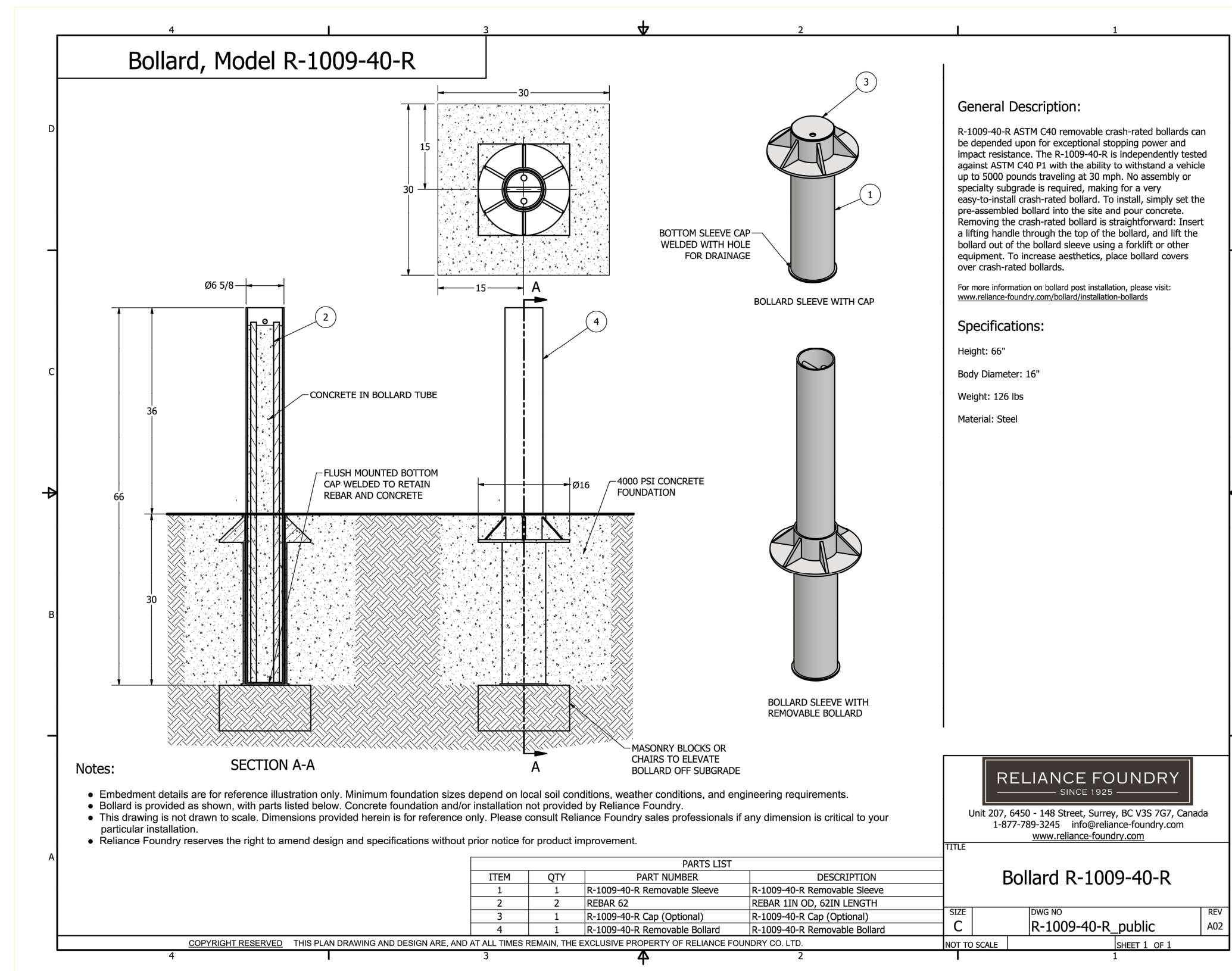


**CHAIN LINK FENCE DETAIL**  
NOT TO SCALE



- NOTES:**
1. 1/2" PREFORMED EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 LINEAR FEET AND 1/4" TOOLED JOINTS EVERY 5 LINEAR FEET.
  2. CROSS SLOPE OF WALK SURFACE SHALL BE 1/4" PER FOOT MAXIMUM.
  3. PROVIDE BROOM FINISH ON SIDEWALKS.

**CONCRETE PAD DETAIL**  
NOT TO SCALE



**General Description:**

R-1009-40-R ASTM C40 removable crash-rated bollards can be depended upon for exceptional stopping power and impact resistance. The R-1009-40-R is independently tested against ASTM C40 P1 with the ability to withstand a vehicle up to 5000 pounds traveling at 30 mph. No assembly or specialty subgrade is required, making for a very easy-to-install crash-rated bollard. To install, simply set the pre-assembled bollard into the site and pour concrete. Removing the crash-rated bollard is straightforward: Insert a lifting handle through the top of the bollard, and lift the bollard out of the bollard sleeve using a forklift or other equipment. To increase aesthetics, place bollard covers over crash-rated bollards.

For more information on bollard post installation, please visit: [www.reliancefoundry.com/bollards/bollards.html](http://www.reliancefoundry.com/bollards/bollards.html)

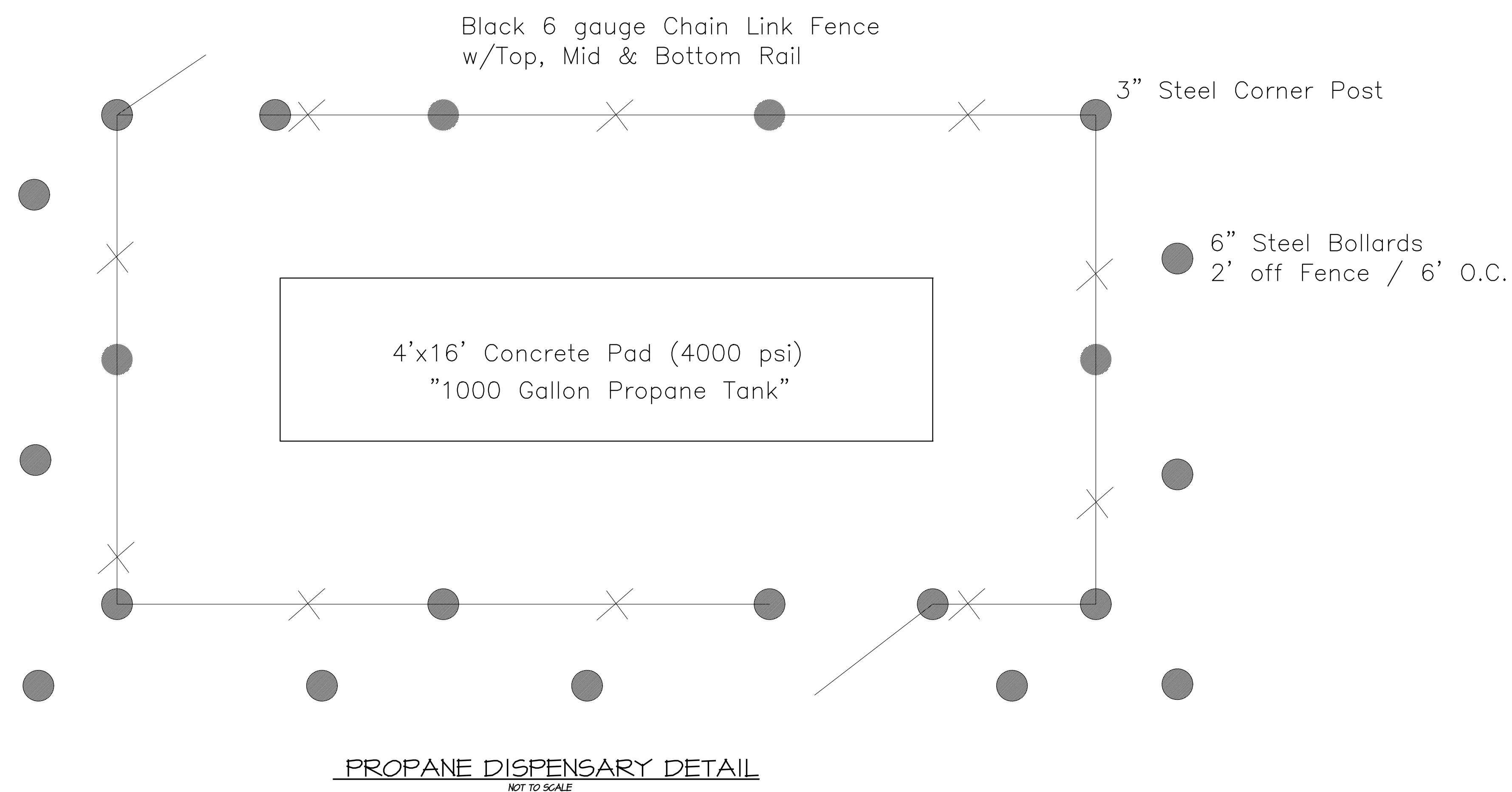
**Specifications:**

Height: 66"  
Body Diameter: 16"  
Weight: 126 lbs  
Material: Steel

**RELIANCE FOUNDRY**  
Unit 207, 6455 - 148 Street, Surrey, BC V3S 7G2, Canada  
1-877-789-3245 info@reliance-foundry.com  
[www.reliance-foundry.com](http://www.reliance-foundry.com)

**Bollard R-1009-40-R**

| ITEM | QTY | PART NUMBER                  | DESCRIPTION                  |
|------|-----|------------------------------|------------------------------|
| 1    | 1   | R-1009-40-R Removable Sleeve | R-1009-40-R Removable Sleeve |
| 2    | 2   | REBAR 63                     | REBAR 1/2\"/>                |



**PROPANE DISPENSARY DETAIL**  
NOT TO SCALE

**Detail Sheet**  
Prepared For:  
**Sholes Ace Hardware & Supply**  
564 Providence Road (Route 6)  
Brooklyn, Connecticut

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240 / (860) 928-1921  
**KWP** **LOUIS J. SOJA, JR.**  
SURVEYING - ENGINEERING - SITE PLANNING LAND SURVEYING - LAND PLANNING

| REVISIONS |             |
|-----------|-------------|
| DATE      | DESCRIPTION |
|           |             |
|           |             |
|           |             |
|           |             |

PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE  
IN  
ZONING BOUNDARY

RECEIVED

AUG 14 2023

Date 8-14-23

FEE \$ 250.00

State Fee \$ 60.00

Application # ZC 23-003

Check # 3198

Public Hearing Date \_\_\_\_\_ Commission Action \_\_\_\_\_

Effective Date \_\_\_\_\_

Name of Applicant JEFF WEAVER Phone 450 9432

Mailing Address P.O. Box 9 - BROOKLYN

Applicants Interest in the Property OWNER

Property Owner JEFF WEAVER Phone 450-9432

Mailing Address P.O. Box 9 - BROOKLYN

|               |              |                        |
|---------------|--------------|------------------------|
| MAP <u>43</u> | LOT <u>6</u> | LOT SIZE <u>52± AC</u> |
| MAP _____     | LOT _____    | LOT SIZE _____         |
| MAP _____     | LOT _____    | LOT SIZE _____         |

More lots , repeat above on separate sheet

ZONE: R10\_\_\_ R30  RA  VCD\_\_\_ NC\_\_\_ RB\_\_\_ PC\_\_\_ I\_\_\_

REQUEST CHANGE: FROM RA TO R30

REQUEST CHANGE: FROM \_\_\_\_\_ TO \_\_\_\_\_

REQUEST CHANGE: FROM \_\_\_\_\_ TO \_\_\_\_\_

More changes , repeat above on separate sheet

REASON FOR REQUEST: PROPERTY BEING SUBDIVIDED IS IN DUAL ZONES  
- WANT TO PUT 1.3 AC OF RA INTO R-30

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

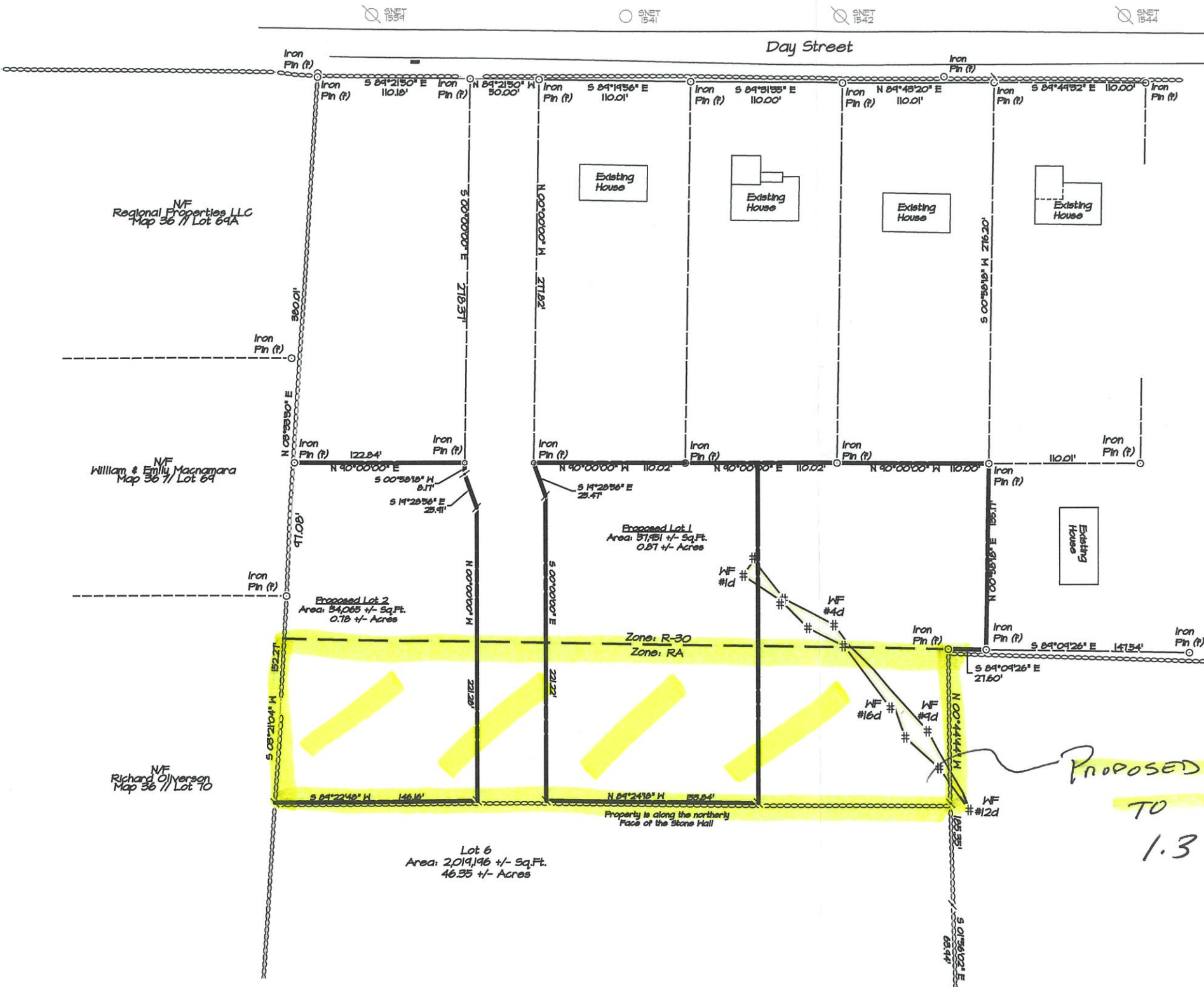


**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1998.
  - This Survey conforms to a Class "A-2" Horizontal Accuracy Class "1-2" Vertical Accuracy
  - Survey Type: Subdivision Plan
  - Boundary Determination: Resurvey on Existing Boundary Original on Proposed Boundary
  - Intent: 4 Lot Subdivision
- Total Lot Area = 44.48 Acres  
Total Area of Subdivision = 252 Acres
- Zone = R-30 / RA
- Owner / Applicant = Jeffrey Weaver  
P.O. Box 9, Brooklyn, CT 06284
- Parcel is shown as Lot #6 on Assessor's Map #48
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year Flood hazard area
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018 and field located by Archer Surveying LLC
- There are not Known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
- Parcel does not lie within an aquifer protection area
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
- Passive Solar Energy techniques were considered in the design of the subdivision

**MAP REFERENCE:**

- Division of Property - First Time Split, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1"=100', Prepared by Archer Surveying LLC
- 10 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
- 6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC
- 4 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: July 2021, Scale: 1"=50', Prepared by Archer Surveying LLC



**PROPOSED ZONE CHANGE TO R-30 1.3 AC**

**RECEIVED  
AUG 14 2023**



**LEGEND**

|  |                        |  |                        |
|--|------------------------|--|------------------------|
|  | EXISTING PROPERTY LINE |  | 100 YEAR FLOOD LIMIT   |
|  | PROPOSED PROPERTY LINE |  | EXISTING INDEX CONTOUR |
|  | EXISTING EASEMENT LINE |  | EXISTING CONTOUR       |
|  | ZONE LINE              |  | WETLANDS FLAG          |
|  | STONEWALL              |  | BUILDING SETBACK       |
|  | STONEWALL REMAINS      |  | IRON PIN FOUND         |
|  | UTILITY POLE           |  | PROPERTY POINT         |

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #70013 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

| REVISIONS |  |
|-----------|--|
|           |  |
|           |  |
|           |  |
|           |  |

**Subdivision Plan**  
"2 Lot Subdivision"

Prepared For:  
**Jeffrey Weaver**  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 770-2240 / (860) 928-1921

**LOUIS J. BOJA, JR.**  
LAND SURVEYOR

|                  |                  |                   |
|------------------|------------------|-------------------|
| Sheet No. 3 of 6 | Project No. 2212 | Date: May 1, 2023 |
|------------------|------------------|-------------------|

RECEIVED

JUL 27 2023

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_

Application # SD 23-001  
Check # 3121

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant JEFF WEAVER Phone \_\_\_\_\_  
Mailing Address P.O. Box 9, BROOKLYN CT 06231  
Applicants Interest in the Property owner

Property Owner JEFF WEAVER Phone \_\_\_\_\_  
Mailing Address P.O. Box 9, BROOKLYN CT

Name of Engineer/Surveyor ARCHER SURVEYING LLC  
Address 18 PROVIDENCE RD BROOKLYN CT  
Contact Person PAUL ARCHER Phone 979-2240 Fax \_\_\_\_\_

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Subdivision  Re subdivision \_\_\_\_\_  
Property location DA/ ST  
Map # 43 Lot # 6 Zone R-30/2A Total Acres 3± Acres to be Divided 3±  
Number of Proposed Lots 2 Length of New Road Proposed 0  
Sewage Disposal: Private  Public \_\_\_\_\_

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary \_\_\_\_\_ Storm \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_

Is parcel located within 500 feet of an adjoining Town? No

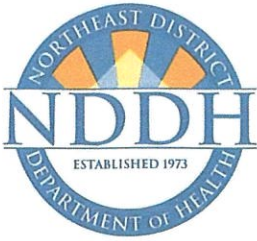
- The following shall accompany the application when required:
- 4.2.2 Fee \$ \_\_\_\_\_ State (\$60.00) \_\_\_\_\_
  - 4.2.3 Sanitary Report \_\_\_\_\_
  - 4.2.5, 3 copies of plans \_\_\_\_\_
  - 4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.
  - 4.2.6 Erosion & Sediment Control Plans
  - 4.2.7 Certificate of Public Convenience and Necessity
  - 4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: JEFF WEAVER / JAW Date 7-26-23  
Owner: JEFF WEAVER / JAW Date 7-26-23

\*Note: All consulting fees shall be paid by the applicant





# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET · UNIT 4 · BROOKLYN, CT 06234  
PHONE (860) 774-7350 · FAX (860) 774-1308 · WEB SITE WWW.NDDH.ORG

May 10, 2023

Jeffrey Weaver  
PO Box 9  
Brooklyn, CT 06234

**SUBJECT: FILE #23000175 -- DAY STREET MAP #43, LOT #6 (PART 4) BROOKLYN, CT**

Dear Jeffrey Weaver:

Upon review of the subdivision plan (ARCHER SURVEYING LLC, WEAVER, PROT #233015, DRAWN 05/01/2023) submitted to this office on 05/03/2023 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots:1 and 2 require that a Professional Engineer design and submit individual plot plan(s) for review and approval prior to construction.
2. Proposed lots are based on 2 bedroom multi-family homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
3. If the proposed septic area is moved, additional testing may be required
4. Footing drain on lot #2 must be relocated on Professional Engineer Design to meet 25 foot separation distance to septic system.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist ~ NDDH

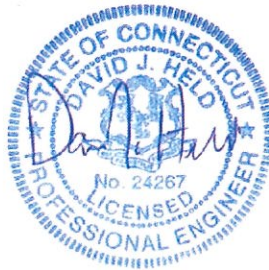
cc: Town of Brooklyn; Archer Surveying, LLC

**Driveway Culvert Design  
Proposed 2 Lot Resubdivision  
Brooklyn, CT**

Prepared for

**Jeffrey Weaver**

**7/11/2023**



Prepared by:

**Provost & Rovero, Inc.**



### **Design Summary**

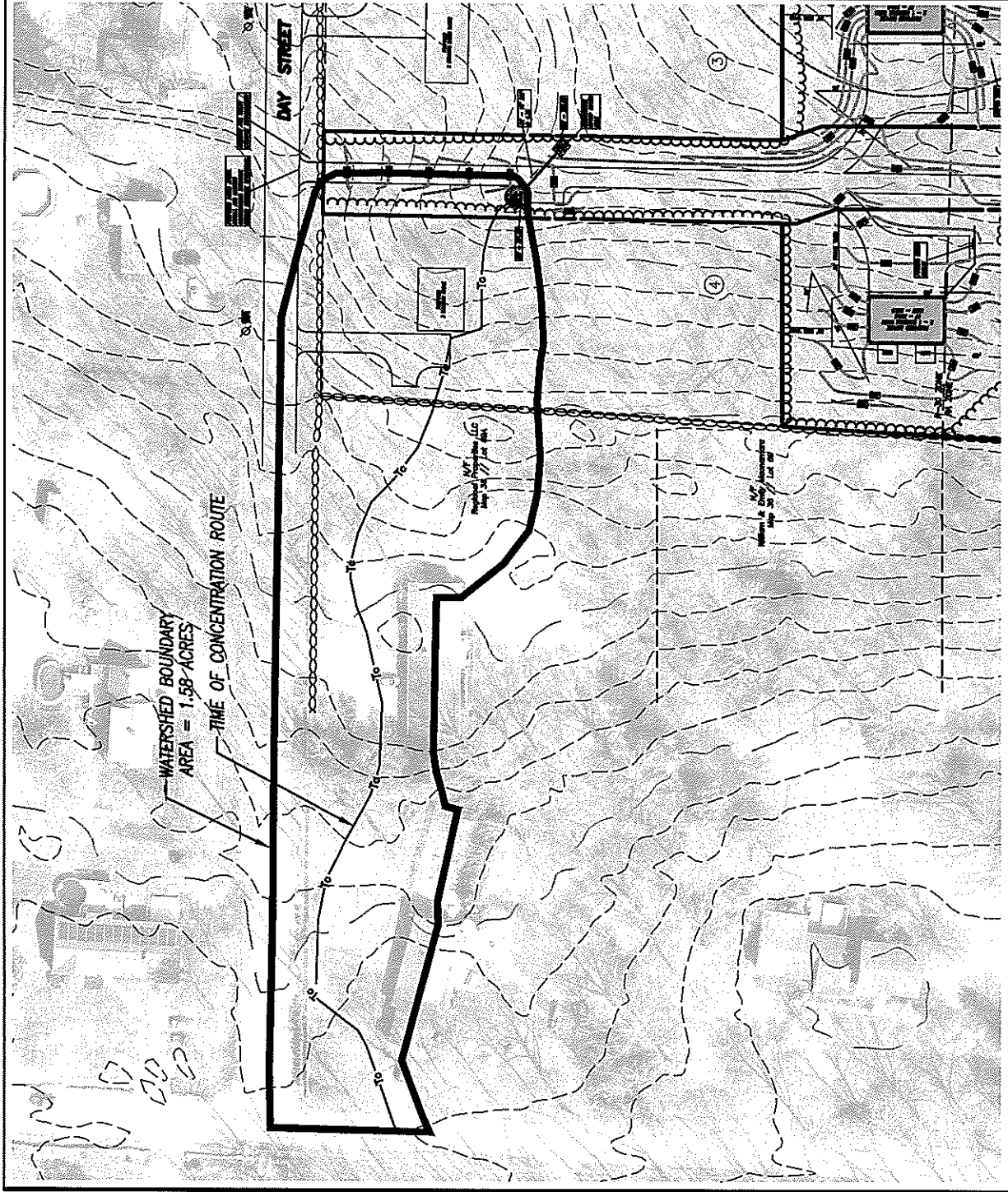
A culvert is proposed to convey periodic flows under the shared driveway serving proposed lots 1 and 2. This culvert has been designed to convey a 10 year design storm. The design flow rate has been determined with the Rational method utilizing ConnDOT IDF data. The culvert has been designed utilizing Federal Highway Administration methodology and Carlson Hydrology software. Watershed mapping and calculation reports are attached hereto.



WATERSHED MAP  
PREPARED FOR  
**JEFFREY WEAVER**  
PROPOSED 2 LOT RESUBDIVISION  
DAY STREET  
BROOKLYN, CONNECTICUT

SCALE: 1" = 80'  
JOB NO: 233015      DATE: 7/1/2023  
DRAWN BY: DAI

**Provost & Dovo, Inc.**  
57 EAST MAIN ST., P.O. BOX 191, PLAINFIELD, CT.



Time of Concentration (Tc)

Tue Jul 11 10:58:57 2023

Project: WEAVER  
Location: DAY STREET  
Developed

By: DJH  
Checked:  
Date: 07/11/23  
Date:

Sheet Flow

Segment ID: SHEET FLOW

|                                     |        |               |
|-------------------------------------|--------|---------------|
| Manning's Roughness Coeff. (n):     | 0.240  |               |
| Flow Length, L (total L <= 100 ft): | 100.00 | ft            |
| Two-yr 24-hr Rainfall, P:           | 3.20   | in            |
| Land Slope, s:                      | 2.50   | %             |
| Tc:                                 | 0.218  | hr (13.1 min) |

Shallow Concentrated Flow

Segment ID: SHALLOW CONC.

|                       |           |                   |
|-----------------------|-----------|-------------------|
| Surface Description:  | Unpaved   |                   |
| Flow Length, L:       | 530.00    | ft                |
| Watercourse Slope, s: | 7.70      | %                 |
| Average Velocity, V:  | 4.48      | ft/s              |
| Tc:                   | 0.033     | hr (2.0 min)      |
| <br>Total Tc:         | <br>0.250 | <br>hr (15.0 min) |



1.Data:

|                       |                 |       |
|-----------------------|-----------------|-------|
| Drainage Area         | A = 1.58        | acre  |
| Runoff Coefficient    | C = 0.40        |       |
| Time of Concentration | 0.25            | hrs   |
| Rainfall ID:          | Connecticut DOT |       |
| Return Period:        | 10 YEAR         |       |
| Rainfall Intensity:   | I = 4.00        | in/hr |
| 2.Peak Discharge:     | Qp = 2.53       | cfs   |

Design Parameters

Section

|                    |          |
|--------------------|----------|
| Shape:             | Circular |
| Material:          | Concrete |
| Diameter:          | 15.00 in |
| Manning's n:       | 0.0130   |
| Number of Barrels: | 1        |

Inlet

|             |                           |
|-------------|---------------------------|
| Inlet Type: | Square Edge with Headwall |
| Ke:         | 0.50                      |

Inverts

|                          |         |    |
|--------------------------|---------|----|
| Inlet Invert Elevation:  | 291.000 | ft |
| Outlet Invert Elevation: | 289.500 | ft |
| Length:                  | 32.000  | ft |
| Slope:                   | 4.69    | %  |

Culvert Calculation

|                        |                            |      |
|------------------------|----------------------------|------|
| Discharge:             | 2.53                       | cfs  |
| Headwater Elevation:   | 291.901                    | ft   |
| Tailwater Elevation:   | 0.500                      | ft   |
| Downstream Velocity:   | 8.66                       | ft/s |
| Downstream Flow Depth: | 0.360                      | ft   |
| Flow Control Type:     | Inlet Control, Unsubmerged |      |



## PREFORMED SCOUR HOLE DESIGN (English Units)

Client: Jeff Weaver  
 Project: Day Street Subdivision  
 Proj. No: 233015  
 Return Period for Design (yr.): 10

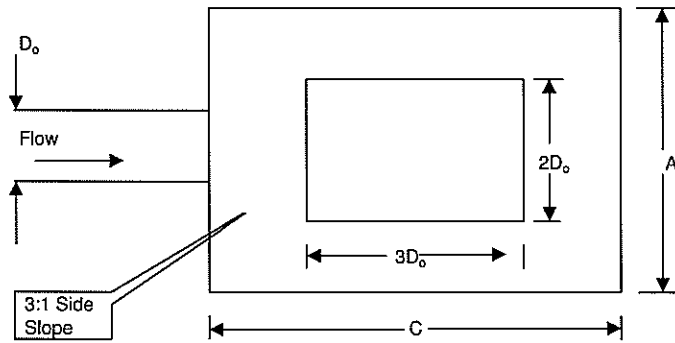
Prepared By: DJH  
 Checked By:

Date: 7/11/2023  
 Date:

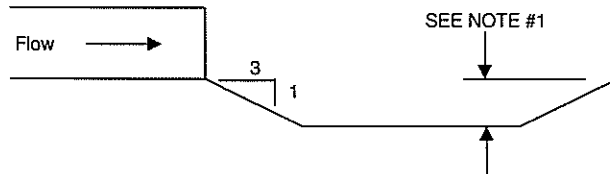
| Outlet Location  | Pipe Dia. ( $D_o$ ) (ft) | Q in System ( $\text{ft}^3/\text{s}$ ) | critical depth (ft) | TW (ft) | basin depression (ft) | Riprap depth (in) | Length C (ft) | Width A (ft) | Riprap Size ( $d_{50}$ ) (in) | ConnDOT Riprap Size Required |
|------------------|--------------------------|--|---------------------|---------|-----------------------|-------------------|---------------|--------------|-------------------------------|------------------------------|
| Driveway culvert | 1.25                     | 2.53                                   | 1.00                | 1.125   | 0.625                 | 12                | 7.5           | 6.3          | 0.3                           | modified                     |

### Notes:

- The basin depression should be between  $.5D_o$  and  $D_o$ .
- Reference: "Loose Riprap Protection, Minnesota Technical Release 3, July 1989, U.S.D.A. Soil Conservation Service".



PLAN VIEW



SECTION VIEW



\$ 150 - Public Hearing  
\$ 100 - SP  
\$ 300 - Site Plan Rev  
\$ 60 - State  
\$ 15 - Plan Copies:

**RECEIVED**  
PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date Aug. 17 2023

Application #SP 23-005  
Check # 638

**APPLICATION FOR SPECIAL PERMIT**

Name of Applicant Creamery Sea House Phone 860.815-4444  
Mailing Address 8 Wolf Den Road, Brooklyn, CT 06234 Phone \_\_\_\_\_

Name of Engineer/Surveyor N/A  
Address \_\_\_\_\_  
Contact Person \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

Name of Attorney N/A  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 8 Wolf Den Road, Brooklyn, CT 06234  
Map# 24 Lot# 54 Zone VCD Total Acres 4.1  
Sewage Disposal: Private \_\_\_\_\_ Public  Existing  Proposed \_\_\_\_\_  
Water: Private  Public \_\_\_\_\_ Existing  Proposed \_\_\_\_\_

Proposed Activity Sit down cafe + restaurant serving + catering tea beverages, food, including ice cream + baked goods + Retail gift shop.

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? NO

The following shall accompany the application when required:

- Fee \$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Creamery Sea House Date 8/11/23  
Owner: Julie E. MacCormack Date 8/11/23

\*Note: All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date AUG 17 2023  
Action Date \_\_\_\_\_

Application # SPR  
Check# \_\_\_\_\_

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant Creamery Tea House Phone 860-815-4444  
Mailing Address 8 Wolf Den Road, Brooklyn, CT 06234 Phone \_\_\_\_\_

Name of Owner Julie E. MacCormack Phone 860-815-4444  
Mailing Address 8 Wolf Den Road, Brooklyn, CT 06234 Phone \_\_\_\_\_

Name of Engineer/Surveyor N/A  
Address \_\_\_\_\_  
Contact Person \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 8 Wolf Den Road, Brooklyn, CT. 06234  
Map # 24 Lot # 54 Zone VCD Total Acres 1.11

Proposed Activity Sit down cafe + Tea Rooms serving beverages food, ice cream and baked goods with capability of catering locally. Retail gift shop selling tea + gifts. Restaurant + Retail

Change of Use: Yes  No \_\_\_\_\_ If Yes, Previous Use Antique Retail Shop  
Area of Proposed Structure(s) or Expansion No expansion using existing space-as is.

Utilities - Septic: On Site \_\_\_\_\_ Municipal  Existing yes Proposed \_\_\_\_\_  
Water: Private  Public \_\_\_\_\_ Existing yes Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

- Fee \$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans
- See also Site Plan Review Worksheet

Variances obtained \_\_\_\_\_ Date \_\_\_\_\_

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Applicant: Creamery Tea House Date 8/11/23  
Owner: Julie E. MacCormack Date 8/11/23

\* Note: Any consulting fees will be paid by the applicant



PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date AUG 23 2023

Action Date \_\_\_\_\_

Application # SPR 23-006

Check# \_\_\_\_\_

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant CHIP Fund 6 LLC & CHIP Fund 8 LLC Phone 203-257-5661  
Mailing Address 18 Wells Hill Road, Easton, CT 06612 Phone \_\_\_\_\_

Name of Owner CHIP Fund 6 LLC & CHIP Fund 8 LLC Phone 203-257-5661  
Mailing Address 18 Wells Hill Road, Easton, CT 06612 Phone \_\_\_\_\_

Name of Engineer/Surveyor Provost & Rovero, Inc.  
Address P.O. Box 191, Plainfield, CT 06374  
Contact Person David J. Held, P.E., L.S. Phone 860-234-3183 Fax \_\_\_\_\_

Property location/address 5 Front Street & 29 Tiffany Street  
Map # 47 Lot # 59, 60 Zone R-10 Total Acres 1.815

Proposed Activity Installation of additional solar carport structure  
(Modification of previous site plan approval granted in 2021)

Change of Use: Yes \_\_\_ No X If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion see attached site plan

Utilities - Septic: On Site \_\_\_\_\_ Municipal X Existing \_\_\_\_\_ Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public X Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

- Fee \$ 400 State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans
- See also Site Plan Review Worksheet

Variances obtained N/A Date 8/17/2023

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Applicant: [Signature] Date 8/17/2023  
Owner: [Signature] Date 8/17/2023  
*managing member*  
*managing member*

\* Note: Any consulting fees will be paid by the applicant

# Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

August 23, 2023

Town of Brooklyn Planning & Zoning Commission  
69 South Main Street  
Brooklyn, CT 06234

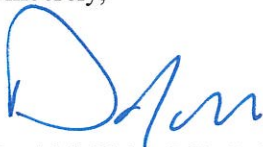
**RE: Proposed Solar Array – Front Street & Tiffany Street – Brooklyn, CT  
P&R Job No. 213008**

Dear Commissioners:

Attached hereto, please find a completed application form, \$460.00 application fee and five (5) copies of site plans for modifications to the proposed solar array on property owned by CHIP Fund 8 LLC. This project was previously approved in 2021 and installation is anticipated by the end of 2023. As part of an effort to better serve both of the subject properties, an additional carport structure is desired for additional covered parking and renewable generating capacity. A boundary line adjustment will be completed prior to completion of the project to ensure compliance with applicable setback requirements. The previously approved carport and ground mounted array will not be changed as part of this modification.

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

**RECEIVED**

**AUG 23 2023**



PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date AUG 23 2023

Action Date \_\_\_\_\_

Application # SPR 23-006

Check# \_\_\_\_\_

APPLICATION FOR SITE PLAN REVIEW

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Address P.O. Box 191, Plainfield, CT 06374  
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Applicant: [Signature] Date 8/17/2023  
Owner: [Signature] Date 8/17/2023  
*managing member*  
*managing member*

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August 23, 2023

Town of Brooklyn Planning & Zoning Commission  
69 South Main Street  
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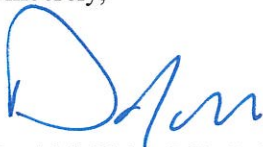
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Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

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**AUG 23 2023**

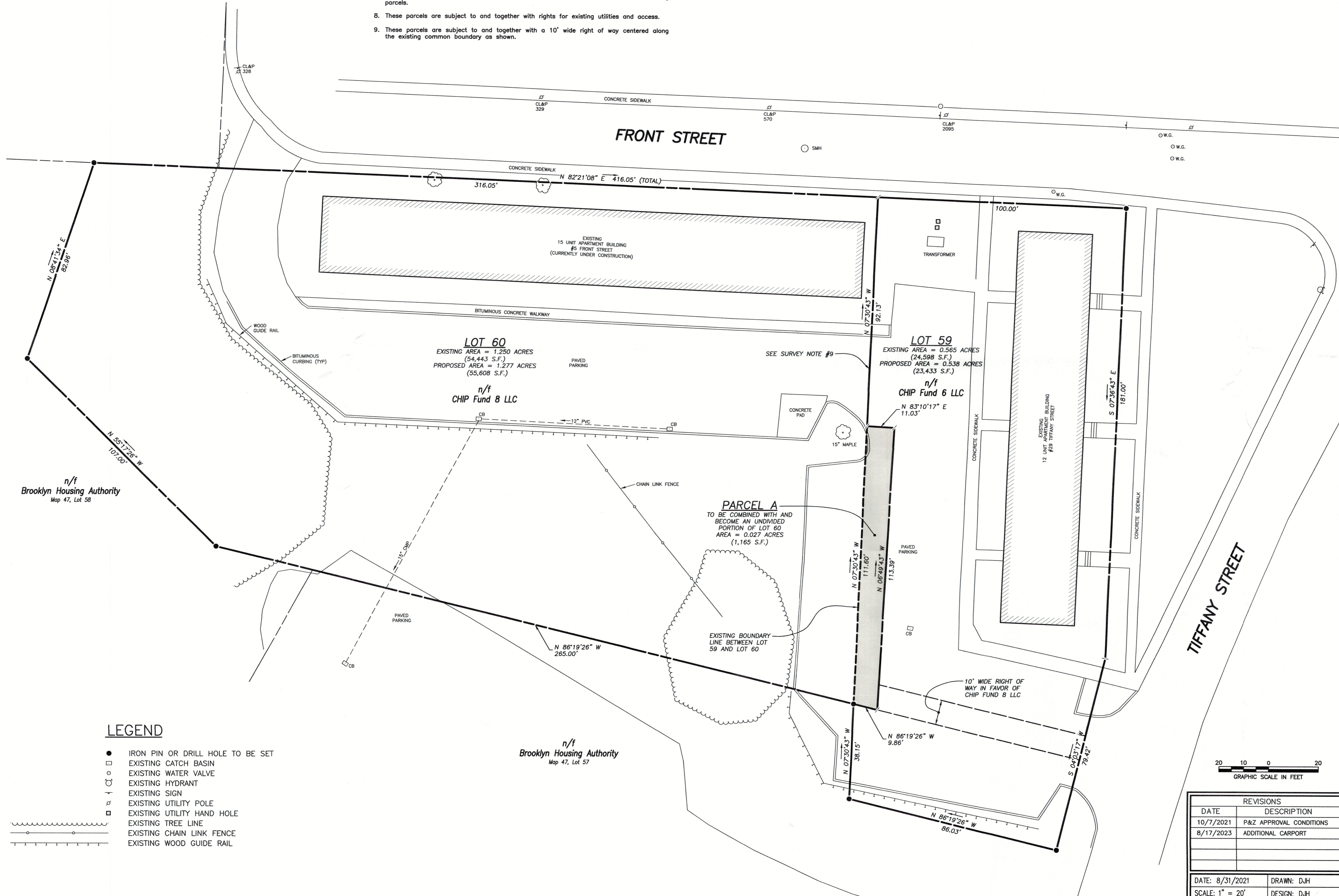
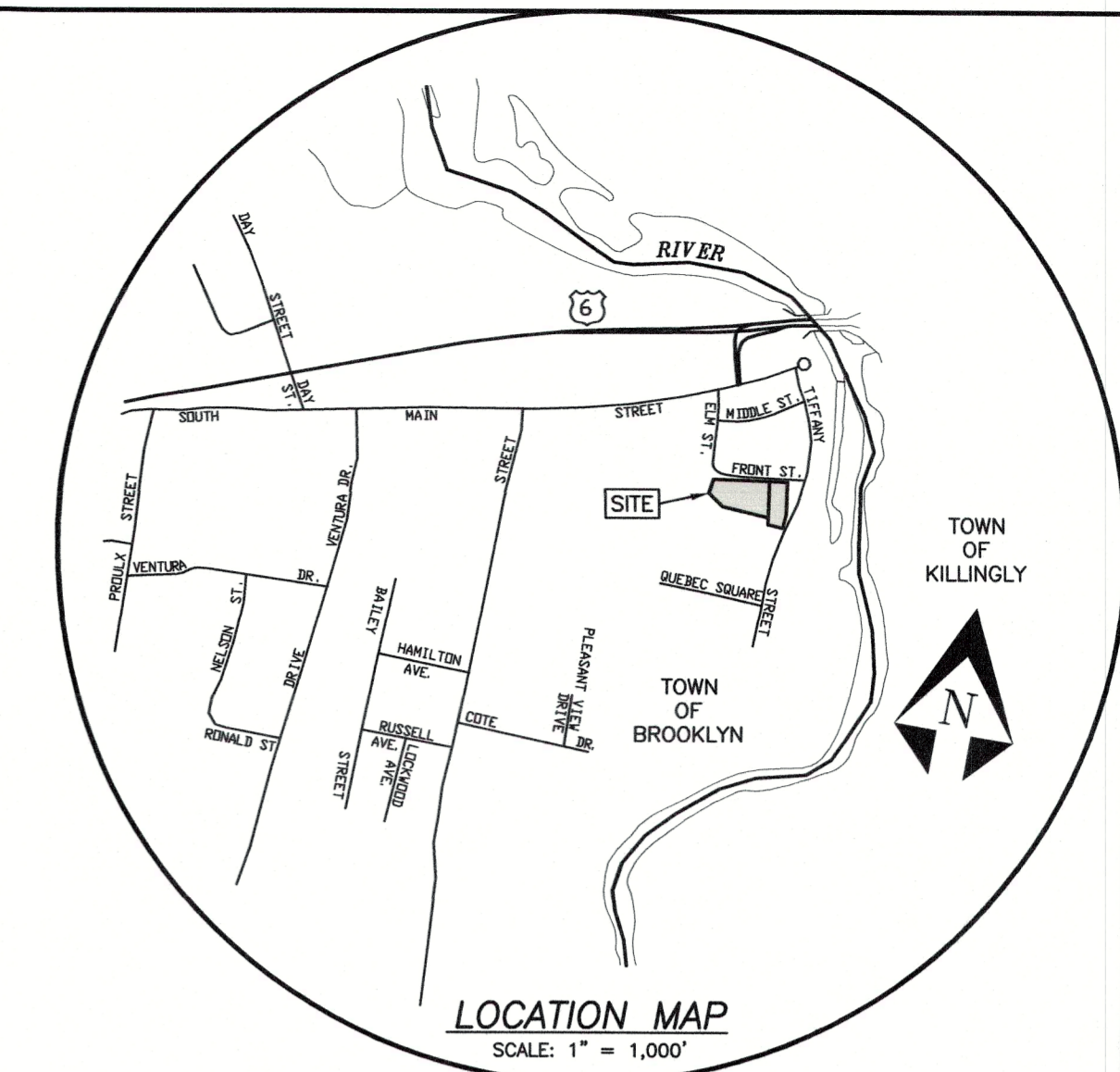


**NOTES:**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Boundary Determination Category: Resurvey.
  - Survey Type: Property Survey.
- Zone = R-10.
- Parcels are shown as Lots 59 and 60 on Assessors Map 47.
- Owners of record: CHIP Fund 6 LLC & CHIP Fund 8 LLC  
18 Wells Hill Road  
Easton, CT 06612
- The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
- Bearings are referenced to CT state plane coordinates, NAD83(2011), Epoch 2010.0000.
- The intent of this survey is to show a boundary adjustment between two abutting parcels.
- These parcels are subject to and together with rights for existing utilities and access.
- These parcels are subject to and together with a 10' wide right of way centered along the existing common boundary as shown.

**MAP REFERENCES:**

- "Plan in Subdivision - of - Dwellings and Land - of - Wauregan-Quinebaug Mills Inc. - at - East Brooklyn & Danielson, Conn. - Scale: 1" = 100' - Oct. 1934 - Wm. K. Pike, C.E."
- "Plan of Land - to be Acquired by - Quebec Square Housing Inc. - Quebec Square - Brooklyn, Connecticut - Scale: 1" = 40' - Dated: Nov. 12, 1977 - Kietlyka, Woods & Pike"
- "Site Layout & Planting Plan - Tiffany Place - Tiffany Street - Brooklyn, CT - Scale: 1" = 40' - Dziki & Associates Architects"



**LEGEND**

- IRON PIN OR DRILL HOLE TO BE SET
- EXISTING CATCH BASIN
- EXISTING WATER VALVE
- EXISTING HYDRANT
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING UTILITY HAND HOLE
- EXISTING TREE LINE
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD GUIDE RAIL

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID J. HELD, L.S. LIC. NO. 24267 DATE 8/20/23

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

PROPERTY SURVEY  
SHOWING PROPOSED BOUNDARY LINE ADJUSTMENT  
PREPARED FOR  
**CHIP FUND 6 LLC & CHIP FUND 8 LLC**  
FRONT STREET & TIFFANY STREET  
BROOKLYN, CONNECTICUT

| REVISIONS |                         |
|-----------|-------------------------|
| DATE      | DESCRIPTION             |
| 10/7/2021 | P&Z APPROVAL CONDITIONS |
| 8/17/2023 | ADDITIONAL CARPORT      |
|           |                         |
|           |                         |
|           |                         |
|           |                         |
|           |                         |

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RECEIVED  
AUG 23 2023

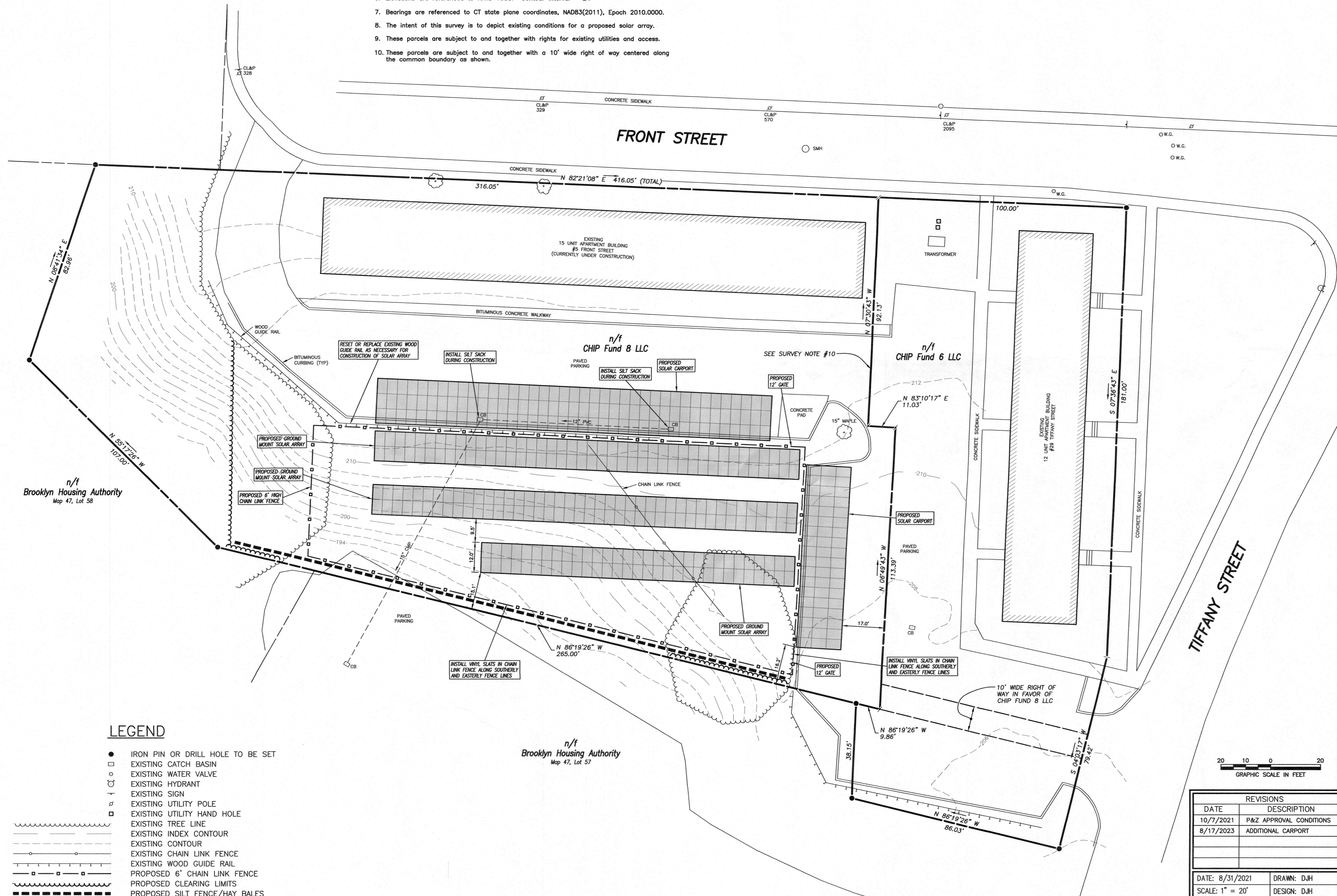
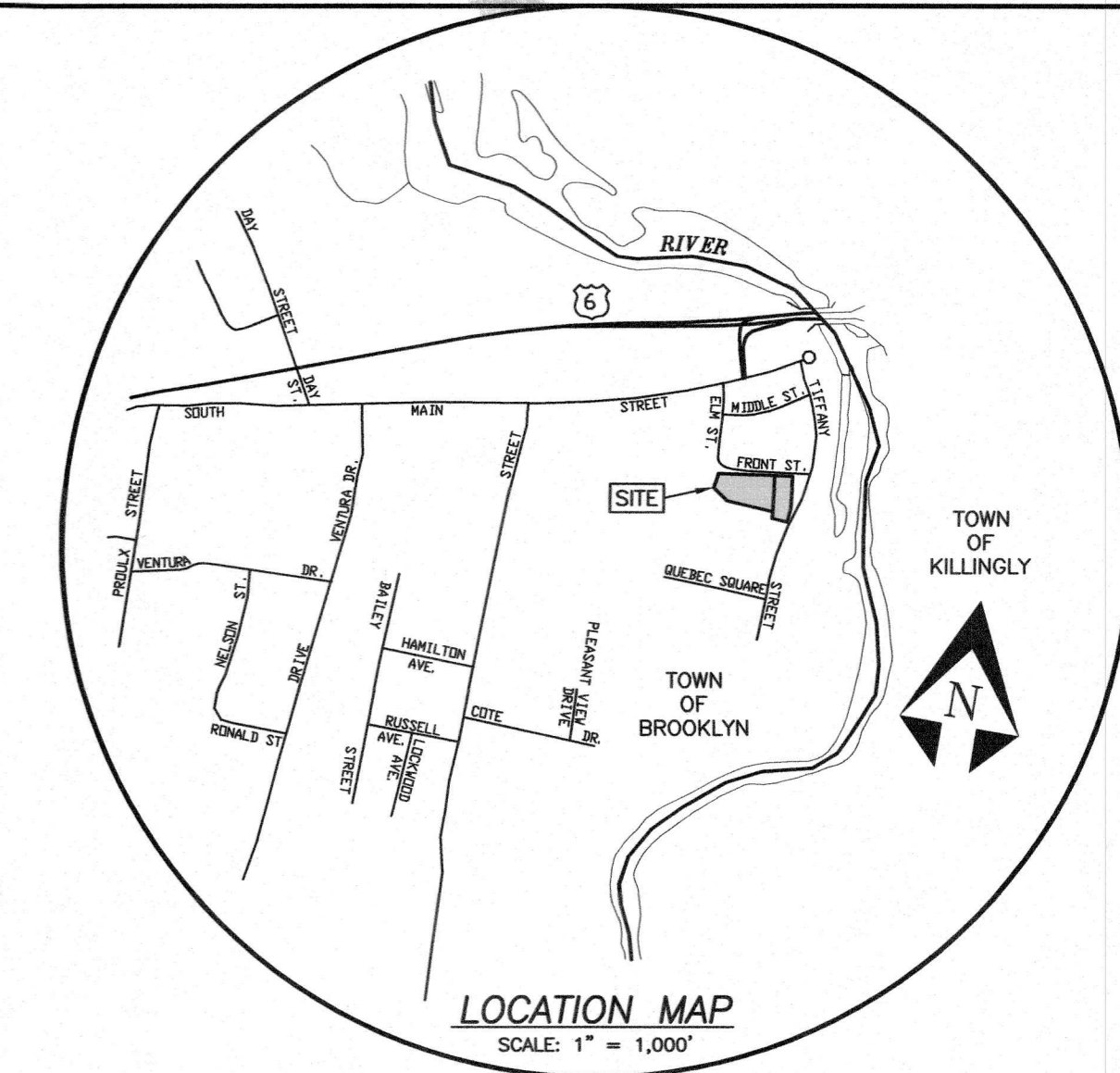


**NOTES:**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Topographic features conform to a Class "T-2" accuracy.
  - Boundary Determination Category: Re-survey.
  - Survey Type: Improvement Location Survey.
- Zone = R-10.
- Parcels are shown as Lots 59 and 60 on Assessors Map 47.
- Owners of record: CHIP Fund 6 LLC & CHIP Fund 8 LLC  
18 Wells Hill Road  
Easton, CT 06612
- The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
- Elevations are referenced to NAVD 1988. Contour interval = 2'.
- Bearings are referenced to CT state plane coordinates, NAD83(2011), Epoch 2010.0000.
- The intent of this survey is to depict existing conditions for a proposed solar array.
- These parcels are subject to and together with rights for existing utilities and access.
- These parcels are subject to and together with a 10' wide right of way centered along the common boundary as shown.

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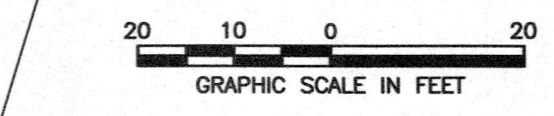
STATE OF CONNECTICUT  
DAVID J. HELD, L.S.  
8/23/23  
ENGINEER DATE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
DAVID J. HELD, L.S. LIC. NO. 24267 8/23/23 DATE  
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

IMPROVEMENT LOCATION SURVEY  
PROPOSED SOLAR ARRAY  
PREPARED FOR  
**CHIP FUND 6 LLC & CHIP FUND 8 LLC**  
FRONT STREET & TIFFANY STREET  
BROOKLYN, CONNECTICUT

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- LEGEND**
- IRON PIN OR DRILL HOLE TO BE SET
  - EXISTING CATCH BASIN
  - EXISTING WATER VALVE
  - EXISTING HYDRANT
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  - EXISTING UTILITY POLE
  - EXISTING UTILITY HAND HOLE
  - EXISTING TREE LINE
  - EXISTING INDEX CONTOUR
  - EXISTING CONTOUR
  - EXISTING CHAIN LINK FENCE
  - EXISTING WOOD GUIDE RAIL
  - PROPOSED 6" CHAIN LINK FENCE
  - PROPOSED CLEARING LIMITS
  - PROPOSED SILT FENCE/HAY BALES



| REVISIONS |                         |
|-----------|-------------------------|
| DATE      | DESCRIPTION             |
| 10/7/2021 | P&Z APPROVAL CONDITIONS |
| 8/17/2023 | ADDITIONAL CARPORT      |
|           |                         |
|           |                         |

|                      |                |
|----------------------|----------------|
| DATE: 8/31/2021      | DRAWN: DJH     |
| SCALE: 1" = 20'      | DESIGN: DJH    |
| SHEET: 2 OF 3        | CHK BY: ---    |
| DWG. No: Client File | JOB No: 213008 |

C:\Users\Dave\Desktop\JOB5\213008\Drawings\213008SP rev 8-17-23.dwg Aug 17, 2023 2:42 PM







## **Margaret's Report 8/31/2023**

### **Zoning Permits issued:**

**180 Canterbury Road – Michael and Sharon Turkia.** Approved in the Scenic Route 169 Overlay Zone: Strip and re-roof.

**183 Barrett Hill Road – Ryan and Erica Murphy.** Construction of a new 24' x 50' horse barn with 12' x 40- lean-to.

**502 Allen Hill Road –Langevin Limited Partnership.** Renewal of Zoning Permit for Events Facility Special Permit.

**564 Providence Road - Sholes Ace Hardware.** Change of use to Sholes Ace Hardware with no expansion of existing store. Above-ground propane storage and outside display of merchandise require PZC approval before a zoning permit can be issued for these uses.

**534 Wauregan Road – Wayne Jolley.** 28' x 30' one bedroom addition with 7' x 28' porch.

**364 Christian Hill Road – Christopher Thomas.** Remove 2 sets of front steps and overhangs. Build new 34' x 48" front porch and 36" x 48" overhang over the new front door.

**92 Allen Hill Road – Troy Devolve.** Construct new 15' x 26' above ground pool.

### **Final Certificates of Zoning Compliance issued:**

**57A Lasalette Drive – Craig Dunlop.** Detached accessory dwelling unit with covered porch.

**Sign Permits issued:** None.

**Home Offices Documented:** None.

**ZBA Variances Granted:** None.

**Other Business:** None.



## Town of Brooklyn

### P&Z Budget FY24

Fiscal Year: 2023-2024

Print accounts with zero balance     Exclude inactive accounts with zero balance

From Date: 7/1/2023

To Date: 8/31/2023

Account Number  
Description

| 2 FY2324 Adopted Budget w/ |        | 2 FY2324 Adopted Budget w/ |        | 2 FY2324 Adopted Budget w/ |        |
|----------------------------|--------|----------------------------|--------|----------------------------|--------|
| FTE                        | Amount | FTE                        | Amount | FTE                        | Amount |

|                    |   |      |              |      |              |      |              |
|--------------------|---|------|--------------|------|--------------|------|--------------|
| 1005.00.0000.20213 | Planning & Zoning State Fees                  | 0.00 | \$0.00       | 0.00 | \$0.00       | 0.00 | \$0.00       |
| 1005.00.0000.20218 | Planning & Zoning Publication Fee             | 0.00 | \$0.00       | 0.00 | \$0.00       | 0.00 | \$0.00       |
| 1005.00.0000.42203 | Planning & Zoning Fees                        | 0.00 | (\$8,000.00) | 0.00 | (\$8,000.00) | 0.00 | (\$8,000.00) |
| 1005.41.4153.51620 | Planning & Zoning-Wages PT                    | 0.00 | \$0.00       | 0.00 | \$0.00       | 0.00 | \$0.00       |
| 1005.41.4153.51900 | Planning & Zoning-Wages-Rec. Secretary        | 0.00 | \$4,800.00   | 0.00 | \$4,800.00   | 0.00 | \$4,800.00   |
| 1005.41.4153.53020 | Planning & Zoning-Legal Services              | 0.00 | \$10,000.00  | 0.00 | \$10,000.00  | 0.00 | \$10,000.00  |
| 1005.41.4153.53200 | Planning & Zoning-Professional Affiliations   | 0.00 | \$110.00     | 0.00 | \$110.00     | 0.00 | \$110.00     |
| 1005.41.4153.53220 | Planning & Zoning-In Service Training         | 0.00 | \$500.00     | 0.00 | \$500.00     | 0.00 | \$500.00     |
| 1005.41.4153.53400 | Planning & Zoning-Other Professional Services | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   |
| 1005.41.4153.55400 | Planning & Zoning-Advertising & Legal Notices | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   |
| 1005.41.4153.55500 | Planning & Zoning-Printing & Publications     | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   | 0.00 | \$1,000.00   |



## Town of Brooklyn

### P&Z Budget FY24

Fiscal Year: 2023-2024

Print accounts with zero balance   
  Exclude inactive accounts with zero balance

From Date: 7/1/2023

To Date: 8/31/2023

Account Number  
Description

| 2 FY2324 Adopted Budget w/<br>FTE | 2 FY2324 Adopted Budget w/<br>Amount | 2 FY2324 Adopted Budget w/<br>FTE | 2 FY2324 Adopted Budget w/<br>Amount |
|-----------------------------------|--------------------------------------|-----------------------------------|--------------------------------------|
|-----------------------------------|--------------------------------------|-----------------------------------|--------------------------------------|

| 1005.41.4153.55800  | Planning & Zoning-Transportation                    | 0.00 | \$0.00      |
|---------------------|---|------|-------------|
| 1005.41.4153.56900  | Planning & Zoning-Other Supplies                    | 0.00 | \$0.00      |
| 1005.41.4153.56950  | Planning & Zoning-State Marshal<br>Surveyor/Support | 0.00 | \$0.00      |
| 2810.41.4153.51610  | Wages   | 0.00 | \$0.00      |
| 2810.41.4153.53400  | Data Collection                                     | 0.00 | \$0.00      |
| 2810.41.4153.54010  | Facility Fee  | 0.00 | \$0.00      |
| 2810.41.4153.55500  | Printing & Publications                             | 0.00 | \$0.00      |
| 2810.41.4153.56900  | Other Planning Costs                                | 0.00 | \$0.00      |
| 2810.41.4153.58000  | Other Administrative Costs                          | 0.00 | \$0.00      |
| <b>Grand Total:</b> |   | 0.00 | \$10,410.00 |

End of Report



# Town of Brooklyn

## Revenue Report

Fiscal Year: 2023-2024

Print accounts with zero balance  Exclude inactive accounts with zero balance

From Date: 7/1/2023

To Date: 8/31/2023

Account Number

Description

| 7 FY2324 Adopted Revenue w/ |        | 7 FY2324 Adopted Revenue w/ |        | 7 FY2324 Adopted Revenue w/ |        |
|-----------------------------|--------|-----------------------------|--------|-----------------------------|--------|
| FTE                         | Amount | FTE                         | Amount | FTE                         | Amount |

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|                     |      |        |      |        |      |        |
|---------------------|------|--------|------|--------|------|--------|
| <b>Grand Total:</b> | 0.00 | \$0.00 | 0.00 | \$0.00 | 0.00 | \$0.00 |
|---------------------|------|--------|------|--------|------|--------|

**No records met your selection criteria. Please try again.**

End of Report



8 Woodward Rd  
Brooklyn, CT 06234  
September 5, 2023

Brooklyn Planning and Zoning Commission  
Ms. Michelle Sigfridson – Chair  
4 Wolf Den Rd  
Brooklyn, CT 06234

Dear Ms. Sigfridson and Committee Members,

I would like to applaud you for revising your meeting minutes to a new informative format. Though the notes may be lengthy, in my opinion, their organization and clarity will benefit everyone from a current reading through a future topic search. In the past, I, as well as others, have publicly criticized P & Z's minutes for their brevity and lack of substance. Obviously, you have listened and responded with great improvements. Thank you. Your consideration in making these changes is greatly appreciated.

Sincerely,  
Jacqueline D. Iglizzi