

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION
Regular Meeting Agenda
Tuesday, August 18, 2020
6:30 p.m.**

To join this meeting via the web or phone, follow the below instructions:	
Web Go to www.webex.com On the top right, click Join Enter meeting information: 129 553 8506 Enter meeting password: fwKv2Y3kWW6 Click join meeting	Phone Dial 1-408-418-9388 Enter meeting number: 129 553 8506 You can bypass attendee number by pressing #

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Special Meeting July 8, 2020
- V. Public Commentary**
- VI. Unfinished Business:**
 - a. Reading of Legal Notice: None.**
 - b. New Public Hearings: None.**
 - c. Continued Public Hearings: None.**
 - d. Other Unfinished Business:**
 - 1. **SPG 20-001** – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148) in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres.
(Applicant requested that public hearing be opened on Sept. 2, 2020.)
- VII. New Business:**
 - a. Applications:**
 - 1. **SD 20-002** – 3-lot Subdivision, Applicant: David and Nancy Bell, 25.65 acres on the east side of Church St. (Map 35, Lot 4) in the RA Zone; Proposed creation of 3 residential buildings lots on a common driveway.
 - 2. **SD 20-003** – 3-lot Subdivision, Applicant: David and Nancy Bell, 6 acres on the east side of Prince Hill Road (131 Prince Hill Road, Map 34, Lot 52) in the RA Zone; Proposed creation of 3 residential buildings lots, two sharing a common driveway.
 - 3. **ZC 20-002** – Zone Boundary Change from R-30 to RA, Applicant: Keith Crossman, 340 Christian Hill Road, proposed adjustment to 6.75 acres on east side of Christian Hill Road.
 - 4. **SP 20-002** – Special Permit for additional vehicle storage, Applicant: Vachon Brooklyn, LLC, 512 Providence Road, Proposed construction of two 16’ wide access drives to proposed new vehicle storage lots.
 - b. Other New Business:**

VIII. Reports of Officers and Committees:

- a. Staff Reports
- b. Budget Update
- c. Correspondence.
- d. Chairman's Report.

IX. Public Commentary

X. Adjourn

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION
Special Meeting
Wednesday, July 8, 2020
Clifford B. Green Meeting Center
69 South Main Street
6:30 p.m.**

To join this meeting via the web or phone, follow the below instructions:	
Web Go to www.webex.com On the top right, click Join Enter meeting information: 129 532 5897 Enter meeting password: MARw5729TY87 Click join meeting	Phone Dial 1-408-418-9388 Enter meeting number: 129 532 5897 You can bypass attendee number by pressing #

MINUTES

- I. Call to Order** – Michelle Sigfridson, Chair, called the meeting to order at 6:38 p.m.
- II. Roll Call** – Michelle Sigfridson, Carlene Kelleher, Earl Starks, Alan Fitzgerald, Austin Tanner, Charles Sczuroski was absent with notice.

Staff Present: Jana Roberson, Director of Community Development; Richard Ives, First Selectman and ex officio Member of the PZC (left at 8:45 p.m.).

Also Present: Paul Archer, Archer Surveying; David Held, Provost & Rovero; David Wilterdink; Jeff Weaver.

- III. Seating of Alternates** – None.
- IV. Adoption of Minutes:** Regular Meeting June 3, 2020

Motion was made by A. Tanner to approve the Minutes of the Regular Meeting of June 3, 2020. Second by E. Starks. No discussion.

Roll Call Vote: C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

- V. Public Commentary** – None.
- VI. Unfinished Business:**
- a. Reading of Legal Notice:** Jana Roberson read aloud the Legal Notice for ZC 20-001 and ZRC 20-001 rev. It had been published in the *Villager* Newspaper and it was posted on the website.
- b. New Public Hearings:** None.
1. **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.

Paul Archer, Archer Surveying, represented the Applicant (also present) and gave an overview. Mr. Archer explained that they would like to revise some of the zone boundaries to include all of the lots. He explained that one of the lots in the subdivision (on the east side) is split in half by the RA/R-30 Zone. The southerly line is approximately 25 feet short of the R-30/RA Zone. They would like to modify the R-30 Zone so that it would encompass all of the lots that are in the R-30 Zone. This would entail moving the R-30 line 50 feet to the east and roughly 20 feet to the south.

Plans were displayed as discussed.

COMMENTS FROM STAFF:

Jana Roberson explained that the boundary change would be approximately one acre and that the zone boundary pre-existed the laying out of lot lines, so there was really no lot line to follow at the time that the zones were laid out. This is a very minor adjustment to the existing zoning.

COMMENTS FROM COMMISSION MEMBERS:

A.Tanner asked about the proposed access on the east side. He asked if part of it is outside of the lot.

Mr. Archer stated that the front half access strip is in the RA Zone and that the back half is in the R-30 Zone. He said that the intent is for proposed Lot 2 to be totally in the R-30 Zone.

Mr. Tanner asked if part is being changed that is not proposed lots.

Ms. Roberson displayed and explained a map depicting the area of the zone boundary change. She explained that the way that proposed Lot 2 is laid out, the zone boundary went right through it and it did not meet the lot size requirements for the RA Zone, so the zone boundary would have to shift. This would be required in order to move forward with the subdivision with Lot 2 in this current configuration.

Mr. Tanner asked if making the line straight to the west has anything to do with the lots (above the remaining land).

Mr. Archer explained that the intent is to make the zone line straight.

Motion was made by A. Tanner to close the public hearing for **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision. Second by C. Kelleher. No discussion.

Roll Call Vote: A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

2. **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.

Jana Roberson gave an overview:

- Some are technical corrections.
- Currently, accessory buildings are not allowed to be located in a front yard in multiple zones. She explained that there is a proposal to allow accessory buildings in the front yard by special permit.
- There is a change proposed to remove the requirement for a \$500 financial guarantee for donations bins put out by a tax-exempt organization. Currently, there is no such exemption.
- There is a proposed change to the standards for excavation operations in the gravel mining section of the Regulations (6.O.4.1). She read aloud the following proposed language which, she said, is returning old language to the Regulations. “The minimum elevation of the excavation shall be no less than five feet above seasonal high groundwater and no less than six feet above ledge. Approval of the creation of a pond or water body requires a separate vote of the Commission.”
- There is a proposed change regarding an oversight in Section 6.P.3.3 - Earth Materials Processing, as follows: “All processed materials must be clean as defined by CT DEEP and free from any solid waste.”

There was discussion regarding accessory buildings.

Ms. Roberson explained that she had researched other towns to see how they handle it and, of the responses she received: one-third allow accessory buildings in the front yard; one-third allow only by special permit; and one-third allow it, but under specific criteria unique to that town depending on the circumstances (and she gave some examples). She explained that the front yard is the space between the primary structure and the road.

M. Sigfridson stated that this topic had been discussed at a previous meeting and that her recollection was that there was a desire among most of the Commission Members to be a little less strict than not allowing any accessory buildings/structures in the front yard, but there was some trepidation as to what it would look like and how to go about it and, therefore, came up with the idea to allow it by special permit. There were no comments from the Commission Members. Ms. Sigfridson explained that she likes the idea of special permit, except for the cost.

Rick Ives stated that he is in favor, but would prefer that it be done by setbacks rather than by special permit. He feels this would be less complicated.

Paul Archer stated agreement with Mr. Ives. Mr. Archer feels that there hasn't been a problem with accessory buildings over the last 20 years and he suggested going back to the old language which, she said, allows accessory buildings outside the setbacks. He said to allow the setbacks do what they are intended to do.

Mr. Ives stated agreement with Mr. Archer.

David Wilterdink stated that he would like to put an accessory building on his corner lot which has a large front yard and no back yard.

Mr. Archer explained that there is an existing accessory building (garage) in the front yard, which was allowed back then. He said that that Mr. Wilterdink had been given guidance that he would need to get a variance, which Mr. Archer feels is correct due to the current Regulations. Mr. Wilterdink explained that, as part of the variance procedure, he had Mr. Archer do a survey of his property.

C. Kelleher asked if someone were to want to put an accessory structure anywhere, would they have to speak with the ZEO?

Mr. Archer stated that they would need a zoning permit to put the building in.

Ms. Kelleher stated that, rather than special permit, she would be comfortable as long as they go to the ZEO to be sure that they are within the required setbacks and the ZEO could alert the PZC if there was something that could not be allowed.

Ms. Sigfridson stated that she agrees that this hasn't been a problem in Town. She feels that the issue is with aesthetic concerns (e.g. pools, chicken coops, shipping containers). She suggested the possibility of not allowing shipping containers. Discussion ensued regarding shipping containers and whether the definitions for accessory buildings and accessory structures include shipping containers. Ms. Roberson read aloud the definitions from the Zoning Regulations. Mr. Fitzgerald stated that the definition for accessory building takes care of his concerns. Discussion continued and site plan approval was considered. Mr. Archer suggested that the issue is not with accessory buildings, but rather with shipping containers. Ms. Roberson's opinion is that a shipping container is a structure. Ms. Sigfridson's opinion is that a shipping container is a building and she stated agreement with Mr. Archer that the main concern seems to be with shipping containers in the front yard. Mr. Ives stated that if the concern is with shipping containers, then just don't allow shipping containers anywhere (or perhaps just in the back yard). Ms. Sigfridson suggested that shipping containers, specifically, could not be considered a building for PZC purposes. She feels that it doesn't make sense to disallow them everywhere. Mr. Fitzgerald stated that he has no problem with a garage in the front yard, but he doesn't want to see shipping containers. Discussion continued. Ms. Roberson noted that there is a definition of container (which doesn't reference structure or building) in the Zoning Regulations and they are currently, specifically, only permitted as an accessory in one zone (Restricted Business). They are not allowed in the residential zones because it is not a listed permitted use. Ms. Sigfridson noted that "portable" is the key word and she suggested deleting the prohibition on accessory buildings in the front yard, without deciding whether a container is a building or not, and to say, specifically, that under those circumstances would a container be permitted in the front yard. A. Tanner suggested a time limit such as 30 days.

Ms. Sigfridson reviewed current language. Mr. Archer suggested that the Commission look at Section 17.2 of the old regulations (Accessory Buildings). Ms. Sigfridson suggested,

from the current Regulations, the table of setback standards for the front yard on page 39 of R-10 (make it match the setbacks for the principle building).

There was discussion regarding whether to prohibit containers in the front yard. Ms. Roberson feels that it is already covered. Mr. Ives suggested that the change regarding accessory buildings be done tonight and to form a strong opinion regarding the containers to be further discussed at the next meeting. There was agreement expressed by M. Sigfridson and A. Fitzgerald.

Ms. Sigfridson asked if there were any other items, other than technical corrections, that require discussion. Mr. Ives stated he hopes that everyone supports the change regarding Donation Bins. Ms. Kelleher stated that the Commission had been in agreement at a prior meeting. There were no further comments.

Motion was made by A. Fitzgerald to close the public hearing for **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4. Second by C. Kelleher. No discussion.

Roll Call Vote: E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; A. Tanner – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

c. Continued Public Hearings: None.

d. Other Unfinished Business:

1. **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.

Motion was made by C. Kelleher to approve **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision, with the finding that it is suitable for the location, will aid in the protection of public health, safety, welfare and property values and is consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations. The zone boundary change shall become effective 15 days from the date of publication on the website. Second by E. Starks. No discussion.

Roll Call Vote: A. Fitzgerald – yes; C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

2. **SD 20-001** – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots.

Plans/photos/documents were displayed as discussed.

Paul Archer, Archer Surveying, represented the Applicant (also present) and gave an overview:

- Mr. Archer noted that they have been before the PZC with preliminary discussion and, therefore, the Commission has an idea of what the Applicant is doing. They are proposing a six-lot subdivision to the west side of the ten-lot subdivision that they did at the beginning of the year.
- Now that the zone boundary has been approved, they are proposing four lots in the R-30 Zone and two lots in the RA Zone.
- Two of the lots will involve a 50-foot access strip which will give access to two rear lots (one in the R-30 Zone and one in the RA Zone).
- IWWC approval has been obtained.
- NDDH approval has been obtained.
- They are proposing a fee-in-lieu of open space. Platt Associates did the appraisal of roughly nine acres of land being subdivided (\$60,000). They are proposing a fee-in-lieu of \$6,000 to be divided among the six lots.
- Mr. Archer stated that some of Syl Pauley's comments (dated April 23, 2020), from his review, had been addressed and some have not been addressed:

SHEET 3 OF 6 – SITE DEVELOPMENT PLAN

1. Wells for Lots 2 thru 4 are very close to Day Street...
Mr. Archer stated that the Health Department should determine the well locations.
2. The vast majority of Lot 1 is in the regulated wetland upland review area...
Mr. Archer stated that the IWWC didn't have a problem with it and they approved it.

SHEET 4 OF 6 – DETAIL SHEET NO. 1

1. Proposed grading along the east side of the proposed driveway...
Mr. Archer stated that David Held of Provost and Rovero designed it and he felt that the grading on the side of the driveway was adequate enough to do it.
2. Development of the site will be the responsibility of the lot owner...
Mr. Archer explained that if Mr. Weaver decides to sell the lots prior to developing them, then the lot owner that has it is required to do it.

SHEET 5 OF 6 – DETAIL SHEET NO. 2

1. A utility trench detail should be included for any underground utility installation. A water service trench detail should also be included. Both details should include detectable warning tape.
2. A typical detail of the foundation underdrain size, material, pipe class strength, rodent protected outlet and riprap splash pad should be included on this sheet.
Mr. Archer stated that if the Commission feels that these details need to be added, they would have no problem adding them.

Mr. Archer stated that he had received comments from Ms. Roberson on July 7, 2020:

- Neighboring land owners had not been notified of this proposal as per Section 2.1 of the Subdivision Regulations.
Mr. Archer explained that the neighbors were to notified 10-15 days prior to the application being submitted. He said that sometimes this is followed and sometimes it is not. He said that they had not notified the neighbors 10-15 days prior to the application being submitted.
- Proper road width has not been dedicated to the Town.
Mr. Archer explained that the road width, if you're coming off the centerline of the road, the Town owns to the face of the wall. Most of the time it was changing by an average of one-to-two feet. He did not see the need to deed over to the Town one-to-two feet of land which is basically going to take the property line from the front of the stone wall to the back of the stone wall. It wasn't the whole length, it was just in spots. Mr. Weaver has no problem dedicating it to the Town if the PZC requires it.
- No Site Analysis Plan has been submitted.
Mr. Archer stated that it is good soil and he explained that when they did the 20-acre subdivision next door, the Conservation Commission did not want open space at that time. He said that the Conservation Commission did not understand that Mr. Weaver was possibly going to subdivide the 60+ acres that he has now or they may have had a different opinion. Mr. Archer stated that they are proposing fee-in-lieu of open space.
- Archeological sensitivity is unknown.
Mr. Archer explained that for the 20-acres, Mr. Weaver had archeological study done and it showed that in the lower regions, where they dug 60-64 holes, they found nothing and that all of the surrounding areas would be either not affected or a lower advantage because findings would be in the lower flats or in the side of the hills.
- Property boundaries do not follow existing stone walls.
Mr. Archer explained that this was Mr. Weaver's choice.
- Storm water runoff exceeds the capacity of the wetlands creating an increased risk of flooding on Day Street.

Mr. Archer stated that he does not see that and he explained that the way the subdivision is designed is that all of the water from all of the houses and driveways is staying 100 percent on his property and he is not pushing water onto Day Street.

Mr. Archer stated that it is a fairly simple 6-lot subdivision with four lots on the road and two rear lots.

QUESTIONS/COMMENTS FROM COMMISSION MEMBERS/STAFF:

M. Sigfridson asked about the proposed access easement in favor of Lot 5 which appears to cross over the corner of Lot 5.

Mr. Archer explained that that is the RA/R-30 Zone line which has been changed.

Ms. Sigfridson asked about the southerly line between Lots 5 and 6.

Mr. Archer explained that it is going to be just before the stone wall and he explained that Mr. Weaver is giving Lot 6 his son who will have full control over the stone wall. The access easement will be owned by Lot 6.

Ms. Roberson explained that both Lots 5 and 6 will be served by the accessway, but Lot 6 (the rearmost lot) owns the accessway. Mr. Archer agreed.

There was discussion regarding the property boundaries not following the stone wall. Ms. Roberson explained that none of the property boundaries are coincident with stone walls with the exception of the stone walls along Day Street. If the proper width (25 feet off the centerline of Day Street) is granted to the Town, that stone wall would be Town property. An aerial photo showing stone walls was displayed and Ms. Roberson explained and orientated the property. Since the stone walls are not protected by property boundaries, she explained that a restrictive covenant could be applied.

Ms. Roberson asked if utilities were proposed to be underground.

Mr. Weaver explained that the four lots in the R-30 Zone are going to be close enough to the road where they could utilize the powerlines going by instead of adding another telephone pole as numerous poles always get hit on Day Street. Lots 5 and 6 would have underground utilities going back to them. So they would only be adding one more pole to the mix. He feels this would be safer. Ms. Roberson stated that it is a preference based on the Subdivision Regulations.

Regarding storm water runoff, Ms. Roberson displayed the Development Plan and explained that, currently, the area is completely treed and she spoke of her concern regarding what the treeline would become and of its absorbant value. She feels that storm water runoff will shed off the property at a much faster rate and she suggested that the Commission could ask the Applicant to have the engineer prepare drainage calculations. If the engineer found that corrective measures were needed, they would design them. She said that sometimes raising the water level of the wetland has an impact on it. Ms. Roberson feels that there is potential for an issue and that it could be further reviewed by Mr. Pauley. Mr. Archer stated that if Syl Pauley, Town Engineer, felt that it was a concern, it would have been on his Engineer's review list.

Richard Ives, asked if the IWWC would have asked those questions.

Ms. Roberson explained that they look at impacts to wetlands, but they don't look at flooding on a road which is more of a PZC concern.

David Held, Provost & Rovero, stated that he understands Ms. Roberson's concern with the change in cover types, however, he explained that given the vast size of the wetland (which extends a good distance to the south beyond this proposal, and it is essentially flat) he feels that any increase in water level there from this development would be miniscule at best. He explained that given the overall size of the watershed in that large wetland area, which essentially functions as a detention basin, there would not be any means for impact there with water level. He commented that if there is an existing problem with flooding on Day Street, it would be beyond the scope of this six-lot subdivision. The solution would be more of a Town responsibility. Ms. Roberson stated that she appreciates Mr. Held's comments and she explained that the flow always goes to the south, it goes around the big field and connects with the Longbrook watershed, which eventually reaches the Quinebaug River.

Mr. Archer commented that Mr. Weaver (with the last subdivision that he did) had dedicated an easement to the Town in order to put the water from the road back into that wetland. Ms. Roberson stated agreement.

Ms. Roberson displayed, and paraphrased from, the letter from the Conservation Commission (dated July 7, 2020) in which they recommend open space dedication of some sort in an undeveloped portion of the property. Ms. Roberson explained the options for the PZC to consider. There was discussion regarding the amount of land to be considered if open space were chosen (15 percent of 7.52 acres or of 60.70 acres). Ms. Roberson offered to consult with Land Use Attorney, Peter Alter.

Mr. Ives stated that he had attended the Conservation Commission meeting and that it is their understanding that it is the subdivided portion.

Ms. Roberson clarified that that was the area that was appraised (7.5 acres). She explained that the remaining land would be unbuildable until the time when the remaining land is to be developed, then there would be an open space dedication.

Ms. Sigfridson asked that this be noted on the plans so that it will be clear in the future when someone comes before the Commission to subdivide the remaining 52 acres. Ms. Roberson commented that it could be written into a motion that it be added to the final subdivision plans that further development will require subdivision open space dedication.

Mr. Archer stated that Mr. Weaver is fully aware that if he ever goes to develop the remaining land, it would have to come before the PZC for a subdivision.

Ms. Sigfridson stated agreement.

Mr. Ives left the meeting at 8:45 p.m.

A. Fitzgerald stated that he would prefer open space to fee-in-lieu. There was discussion about this option.

C. Kelleher commented that it does not appear to be contiguous with anything that is already open space and she is not sure that this would be the best way to preserve land in that area. She prefers fee-in-lieu considering the size of land that would be involved in open space on this particular part of the property.

M. Sigfridson commented that she doesn't have a strong opinion either way.

E. Starks prefers fee-in-lieu.

A. Tanner prefers fee-in-lieu in this case.

Mr. Archer commented that Mr. Weaver had given almost \$10,000 fee-in-lieu for the 10-lot subdivision next door and adding \$6,000 for this subdivision, and he suggested that the Town could buy a piece of land for open space with the \$16,000.

Ms. Roberson drafted language for the open space dedication as follows: "At such point in the future the remaining land (53.4 acres) is proposed for development, it shall be required to be subdivided and it shall be subject to open space dedication."

Mr. Archer confirmed that the remaining land would be 53.4 acres.

There was discussion regarding the neighboring land owners not being notified. J. Roberson explained Section 4.2.10 of the Subdivision Regulations (page 13). The Executive Order from the Governor may cover both the Statutes and Regulations regarding noticing and publishing. It has been posted on the website. Ms. Sigfridson noted that the Applicant does not seem concerned about going forward with the Application regarding the possibility of an abutting land owner challenging the decision, if approved.

There was discussion regarding width dedication of the road.

Mr. Archer stated that he had spoken with Mr. Ives about it earlier in the day and that Mr. Ives had expressed that if it was only 1-2 feet, he doesn't want it. However, if the PZC feels it is necessary, Mr. Archer stated that Mr. Weaver has no problem dedicating that land to the Town (25 feet off the center line) and they would revise the plans.

Ms. Sigfridson asked if the PZC has a choice in this matter.

Ms. Roberson explained that it is standard. She thinks it is more like five feet in some areas.

Mr. Archer suggested that instead of deeding over the land, they could grant an easement to the Town, so for Highway purposes, they would have the right to do what they need to do on the land. He said he has done this in other towns.

Due to development being on a Town road, Ms. Roberson read aloud from Section 1.4 of the Public Improvement Specifications (last updated 2007) which are referenced by the Subdivision Regulations: roadway improvements; street curbs; sidewalks; storm drainage; sediment basins. She will distribute copies of this Ordinance to Commission Members. There was discussion regarding existing vs. proposed roads. Ms. Roberson stated that, typically, the Town just gets the land dedication (Section 6.1 of the Subdivision Regulations).

There was discussion regarding the requirement for a Site Analysis Plan. Mr. Archer explained that it was an oversight on his part and he asked that a waiver be granted. He also offered that, if the Commissioner wants a Site Analysis Plan, it could be a condition of approval that one be submitted.

Mr. Tanner stated that he would prefer that one be submitted and agreed that it could be a condition of approval. Ms. Sigfridson stated agreement.

There was more discussion about the road dedication. Mr. Tanner noted that it is unclear because it is two feet in some places and five feet in other places. Mr. Archer explained that if the land is dedicated to the Town, then the Town would own all of the stone walls along with the concern of rebuilding them. Mr. Tanner noted that if the Town owns them, then nobody would be selling them. Mr. Archer questioned whether the Applicant has the right to rebuild the stone wall once it is broken through, if it has been deeded to the Town. Mr. Tanner stated agreement with Mr. Archer's comment that he would offset the centerline of the road whether it is a foot, five feet or six inches and deed that land over to the Town.

Ms. Roberson commented that anything in Section 5 Section – Section 12.6 of the Subdivision Regulations (where the Site Analysis Plan is listed) may be waived by the Commission with a written note from the Applicant and a ¾ vote of the Commission. Mr. Tanner stated that he doesn't care one way or the other. Ms. Kelleher and Ms. Sigfridson both stated agreement.

Motion was made by C. Kelleher to waive the requirement for a Site Analysis Plan for **SD 20-001** – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots. Second by E. Starks. No discussion.

Roll Call Vote: C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

Motion was made by E. Starks to approve the application SD 20-001 – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots and remaining land in the R-30 and RA Zones in accordance with all final plans, documents and testimony submitted with the application and including the following conditions:

At such point in the future that the remaining land (50+/- as it may change a little due to the dedication of the road) is proposed for development, it shall be required to be subdivided and it shall be subject to open space dedication.

The following items shall be corrected on the Final Subdivision Plans which will be submitted in paper for checking to the Land Use Office prior to being printed on archival material (mylar):

- A land dedication to the Town of Brooklyn shall be added along Day Street for the purposes of meeting the Public Improvement Specifications.

Prior to endorsement by the Commission of the Final Subdivision Plan(s) for filing in the office of the Town Clerk:

- The approval and/or review letters from the Inland Wetlands and Watercourses Commission, the Northeast District Department of Health, and the Planning and Zoning Commission shall be added to the Final Subdivision Plan(s).
- A Shared Driveway and Maintenance Agreement for the shared driveway in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
- All boundary pins and monuments shall be set and field verified by the surveyor.

At the time of sale of any building lot:

- At the time of sale of any of the six new building lots, a payment in lieu of open space dedication shall be paid by the applicant to the Town in the amount of \$1,000 per lot in accordance with the requirements of CT General Statutes 8-25 and Brooklyn Subdivision Regulation Sec. 8. An open space lien may be placed on the building lots to ensure that the fee-in-lieu of open space is paid at the time of sale.

Prior to the issuance of a Zoning Permit on any lot:

- The developer shall notify the Zoning Enforcement Office and Town Planner at least seven days in advance of any site work to schedule a pre-construction meeting.
- Prior to any lots being developed, driveway permits must be obtained from the Road Foreman in accordance with the adopted policy concerning driveways. No stonewalls, mature trees, or ledge within the r.o.w. shall be removed or modified unless necessary for safety. The responsibility of clearing, grubbing, blasting, and earthmoving within the Town of Brooklyn r.o.w. shall be the responsibility of the individual lot developer. Any cutting of trees greater than 30” d.b.h. for sightlines shall require prior approval by the Town of Brooklyn Tree Warden upon finding that the removal of trees is unavoidable to guarantee adequate driveway sightlines.
- The applicant and/or individual lot developers shall minimize impacts to natural features both on private lots and in the Town of Brooklyn r.o.w. to the greatest extent possible. This shall include but is not limited to the preservation of stonewalls, the protection of mature trees lining any public road, and the minimization of clearing and grading.
- Stonewalls must be finished on the edges prior to the issuance of a Certificate of Zoning Compliance on any lot containing a stone wall.

Second by C. Kelleher. No discussion.

Roll Call Vote: A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; M. Sigfridson – yes.

Motion carried unanimously (5-0-0).

3. **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.

Motion was made by E. Starks to approve the proposal to make the following amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4 with the finding that they will aid in the protection of public health, safety, welfare and property values and are consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations. The regulations shall become effective 15 days from the date of publication on the website.

Second by A. Tanner.

There was discussion regarding containers:

- M. Sigfridson noted that her understanding from the earlier discussion is that the Commission will look further into the issue of containers at the next meeting of the PZC. Ms. Roberson noted that the other issue is the special permit. Ms. Kelleher stated it was her understanding that they did not want to make the change that would require a special permit. Ms. Sigfridson agreed that that was also her understanding and she stated that they just wanted to change the setbacks to match the setbacks in the zone for the primary structure. Discussion continued about how to do it: whether to amend the motion or to change the Zone Change Application. Ms. Roberson suggested changing the Zone Change Application to read as follows: “For all of the listed sections (that end with 2.1), the minimum front yard setback for accessory buildings shall be the same as for principle buildings in the zone.” Mr. Tanner would like it to be stated that it would not require a public hearing.

Ms. Roberson explained that you can change the content of the proposal as long as the change was discussed when the public hearing was open. Ms. Sigfridson agreed. Discussion continued.

E. Starks amended his motion to approve the proposal pursuant to discussion of the Commission such that any reference to accessory buildings requiring a special permit would be replaced with accessory buildings requiring a setback equal to that of the principle structure. Second by A. Tanner.

Discussion:

Ms. Sigfridson explained the motion so that the Commission Members were clear on what they were voting on.

Mr. Tanner feels that this is not parliamentary correct and suggested that the motion be withdrawn and restated.

Mr. Starks rescinded his motion. Mr. Tanner rescinded his second.

Motion was made by E. Starks to approve the proposal to make amendments to the Zoning Regulations as they appear in the Application of those amendments regarding Sections 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1 in as much as those amendments would be to allow accessory buildings in the front yard pursuant to the setbacks in that zone rather than by special permit. Second by A. Tanner.

Discussion:

- Ms. Sigfridson explained that her understanding of the effect would be, as discussed, regarding the front yard accessory building issue, and for that, rather than allowing by special permit, they would just be allowed if they are within the setback provided for primary buildings. No opposition stated.
- There was discussion regarding whether this is a restated motion or a new motion. It was decided that it is a new motion.

Roll Call Vote: A. Fitzgerald – yes; C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

VII. New Business:

a. Applications:

1. **SPG 20-001** – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148), in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres.

David Held, Provost & Rovero represented the Applicant. Mr. Held stated that he would give the presentation at the public hearing. He commented that if the public hearing were held on July 21st, it would not allow for the proper noticing period.

There was discussion regarding the Governor's Executive Order 7-I which allows for posting a sign on the property rather than sending certified letters to abutters.

Motion was made by A. Tanner to schedule a public hearing for **SPG 20-001** – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148), in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres, to be held at a regular meeting of the Planning and Zoning Commission to be held on August 5, 2020 at 6:30 p.m., access via web and phone to be provided on the meeting agenda to be posted on the Town of Brooklyn, CT website. Second by C. Kelleher. No discussion.

Roll Call Vote: C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-0).

b. Other New Business: None.

1. **SPG 19-003 - *scrivener's correction*** Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 30 acres on south side of Maynard Road (Map 29, Lot 5) in the RA Zone; Excavation of approximately 1.05 million cubic yards of sand and gravel.

Ms. Roberson explained that there was an error in the original motion regarding the renewal date. The special permit has not been recorded yet.

Motion was made by C. Kelleher to correct item #10 from the approval of SPG 19-003 granted at the June 3, 2020 meeting of the Planning and Zoning Commission to specify that the permit renewal date is June 3, 2021. Second by A. Tanner. No discussion.
Roll Call Vote: A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; M. Sigfridson – yes.
Motion carried unanimously (5-0-0).

2. **SPG 19-004 – *scrivener’s correction*** Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 200 acres+ on the south side of Rukstela Road (Map 21, Lot 7; Map 30, Lot 16) in the RA Zone; Excavation of approximately 1.55 million cubic yards of sand and gravel.

Ms. Roberson explained that there was an error in the original motion regarding the renewal date. The special permit has not been recorded yet.

Motion was made by C. Kelleher to correct item #9 from the approval of SPG 19-004 granted at the June 3, 2020 meeting of the Planning and Zoning Commission to specify that the permit renewal date is June 3, 2021. Second by A. Tanner. No discussion.
Roll Call Vote: E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; A. Tanner – yes; M. Sigfridson – yes.
Motion carried unanimously (5-0-0).

3. **SP 08-005 – Modification #2 - *scrivener’s correction*** Walmart, 450 Providence Road (Map 41, Lot 10) Re-stripping of ten (10) wider pick-up stalls, new parking lot directional signs and pavement markings, new exterior wall sign.

Ms. Roberson explained that the grey coloring on the plan made it difficult to read and she was told the day after the public hearing that it was actually ten spaces and not nine as thought at the public hearing. She said that there are two rows of nine spaces.

Motion was made by C. Kelleher to correct the number of parking spaces from the approval of SP 08-005 mod 2 to specify that the number of new designated spaces to be added is ten (10). Second by E. Starks. No discussion.
Roll Call Vote: A. Fitzgerald – yes; C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; M. Sigfridson – yes.
Motion carried unanimously (5-0-0).

VIII. Reports of Officers and Committees:

- a. Staff Reports
Margaret Washburn’s Report (dated June 30, 2020) was included in packets to Commission Members. No discussion.
Ms. Roberson will ask Ms. Washburn when she would be available to attend a meeting.
- b. Budget Update (Included in packets to Commission Members)
Ms. Roberson explained that the \$7,715 shown in Revenues is incorrect. She feels that it should be more like \$18,000. There was discussion regarding the discrepancy.
- c. Correspondence – None.
- d. Chairman’s Report
Ms. Sigfridson asked Ms. Roberson if Mr. Ives will be available to meet to discuss the POCD.
Ms. Kelleher suggested a review of the Subdivision Regulations be done soon as they need to be revised.

IX. Public Commentary – None.

X. Adjourn

M. Sigfridson adjourned the meeting at 10:26 p.m.

Respectfully submitted,
J.S. Perreault
Recording Secretary

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191
57 East Main Street
Plainfield, CT 06374

Telephone (860) 230-0856
Fax (860) 230-0860
www.prorovinc.com

August 10, 2020

Brooklyn Planning & Zoning Commission
Attention: Jana Roberson, AICP, Director of Community Development
69 South Main Street
Brooklyn, CT 06234

**RE: Paul R. Lehto – Proposed Gravel Excavation – Easterly of Allen Hill Road – Brooklyn, CT
P&R Job No. 173055**

Dear Ms. Roberson:

On behalf of the applicant for the above referenced project, we kindly request that the public hearing for this special permit not be opened until the September 2, 2020 meeting of the Planning & Zoning Commission. Unfortunately, a schedule conflict on Wednesday, August 18th will prevent me from attending that meeting when the public hearing is currently scheduled to open.

Based on my review of this application, the date of receipt was June 16th, 2020 which would require the opening of the public hearing by August 20th, 2020, exclusive of any time extensions due to executive orders. This letter shall also serve to grant the Commission a 65 day time extension for the completion of the public hearing and decision process.

Thank you for your consideration of the above request. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,



David J. Held, P.E., L.S.
Provost & Rovero, Inc.



TOWN OF BROOKLYN

P.O. Box 356 - Route 6 and 169
BROOKLYN, CONNECTICUT 06234

OFFICE OF SELECTMEN
TELEPHONE: 779-3411
TOWN CLERK
TELEPHONE: 774-9543
ASSESSOR
TELEPHONE: 774-5611
TAX COLLECTOR
TELEPHONE: 774-4072
JUDGE OF PROBATE
TELEPHONE: 774-5973

Received Date 6/3/20
Fee \$ 250 State Fee (~~\$80.00~~)

Application # SPG 20-001
Check # 6129

APPLICATION FOR GRAVEL BANK SPECIAL PERMIT

Name of Applicant Paul R. Lehto Phone 860-208-9789
Mailing Address 40 Almada Drive, Brooklyn, CT 06234
Relation owner

Property Owner Paul R. Lehto Phone 860-208-9789
Mailing Address 40 Almada Drive, Brooklyn, CT 06234

Name of Engineer/Surveyor Provost & Rovero, Inc.
Address P.O. Box 191, Plainfield, CT 06374
Contact Person David J. Held, P.E., L.S. Phone 860-230-0856 Fax 860-230-0860

Name of Attorney N/A
Address _____
Phone _____ Fax _____

Property address Allen Hill Road (Riverwalk Drive)
Property Location east of Allen Hill Road
Map # 32 Lot # 148 Zone RA Total Acres 71.34

Maximum Area :
Acres of Gravel Removal 6.7 acres Cubic Yards of Gravel Removal 90,000 CY

Is Application for Renewal? Yes _____ No X
Original Date of Issuance of Permit _____ If Yes, Amount Removed Last Year _____
Issued To: _____

Compliance with Article 13, Gravel Banks
Compliance with Article 5, Special Permit Requirements

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Paul Lehto Date 5/20/2020
Owner: Paul Lehto Date 5/20/2020

*Note: All consulting fees shall be paid by the applicant

EARTH EXCAVATION AND REMOVAL CHECK LIST

The following items are required as a part of the excavation plan. Note these are minimum requirements. Other information may be required based on your application

 X Contours at 2' intervals

For renewals:

_____ Contours as of original permit approval

----- Contours as of date of survey(updated to present) stamped by a licensed land surveyor

 X Amount of material to be removed

For Renewals:

_____ Amount of material originally approved to be removed

----- Amount of material removed to date, by an annual accounting for each 12 month period of the permit

_____ Amount of material to be removed during the next year

_____ Date the permit will next expire if not renewed.

 X Maximum depth of excavation

 X Depths to water table

 X Note measures to be used to protect the water table

 X Location of any stock piles

 X Areas to be restored

 X Restoration Plan

 X Erosion and Sediment Control Plan

 X Erosion and Sediment Control Narrative

 X Erosion and Sediment Control Bond

For renewals:

_____ Amount of bond that has been filed

_____ Verification of Erosion and Sedimentation control measures

 X Traffic pattern within the site

_____ Will any trucks be repaired on site if so, where

 X Location of fueling pad

_____ Will any equipment or trucks be stored on site

_____ If so, locate on site

 X Average number of trips per day

 X Maximum number of trips per day

 X Note trucks will be covered when leaving the site

Processing equipment if any and usage
 Amount of processing to be done
 Per year
 Per month

How will noise issues be addressed
 How will dust issues be address
 Calcium chloride water at what frequency
 Description of the project, trucks/day, days and hours of operation, completion date etc
 Phasing plan
 Time frame for project

Site inspection by staff
 Compliance with Article 5 Special Permit
 Compliance with Article 13 Gravel Banks
 For Renewals:
 Inland Wetlands Permit if required
 Archeological review
 DEP Permit if required

Other items to review

Bond amount may need to be updated regarding the following:

Erosion and Sediment Control
 Restoration Plan

Inspections will be done through out the year on a Quarterly basis to insure compliance with the original plan and any conditions of renewal

Provost & Rovero, Inc.

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57 East Main Street
Plainfield, CT 06374

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June 2, 2020

Brooklyn Planning & Zoning Commission
69 South Main Street
Brooklyn, CT 06234

**RE: Paul R. Lehto – Proposed Gravel Excavation – Easterly of Allen Hill Road – Brooklyn, CT
P&R Job No. 173055**

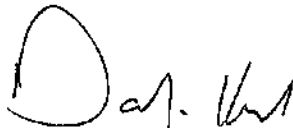
Dear Commissioners:

This narrative is intended to accompany the special permit application for the proposed gravel excavation by Paul R. Lehto. The proposed excavation site is an extension of a previously permitted excavation and will include 6.7 acres and result in the removal of approximately 90,000 cubic yards of material. An application for this project has also been submitted to the Brooklyn Inland Wetlands & Watercourses Commission.

The zoning regulations require an excavation permittee to provide a bond for restoration of the site following excavation activities. As noted above, the subject property was previously permitted for excavation in an area immediately adjacent to the currently proposed excavation site. The Town is currently in possession of the cash bond which was required as part of that previously approved excavation. The current excavation site encompasses 6.7 acres of new site disturbance. We would propose a restoration bond amount of \$10,000.00 per acre or \$67,000.00 for the current proposal. If the applicant wishes to bond by phase, the first excavation phase includes 4.1 acres of disturbance with a resulting bond amount of \$41,000.00. This amount would cover grading the excavation area in accordance with the zoning regulations (2H:1V maximum slopes), spreading on-site stockpiled topsoil and seeding with an appropriate seed mix. For informational purposes, we have included a conceptual subdivision plan as part of this application to demonstrate the feasible reuse of the property following excavation and restoration.

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,



David J. Held, P.E., L.S.
Provost & Rovero, Inc.

Provost & Rovero, Inc.

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June 2, 2020

Paul R. Lehto

P & R Job #173055

APPLICATION PACKAGE CONTENTS – Excavation Special Permit Application

1. Application fee \$3,110.00
2. Special permit application form
3. Application narrative dated 6/2/2020
4. 5 copies of excavation plans dated 6/2/2020

Application Fee Calculation:

Base Fee:	\$ 250.00
State Fee:	\$ 60.00
Public Hearing Fee:	\$ 300.00
50,000 CY-100,000 CY Fee:	<u>\$2,500.00</u>
TOTAL FEE:	\$3,110.00

PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

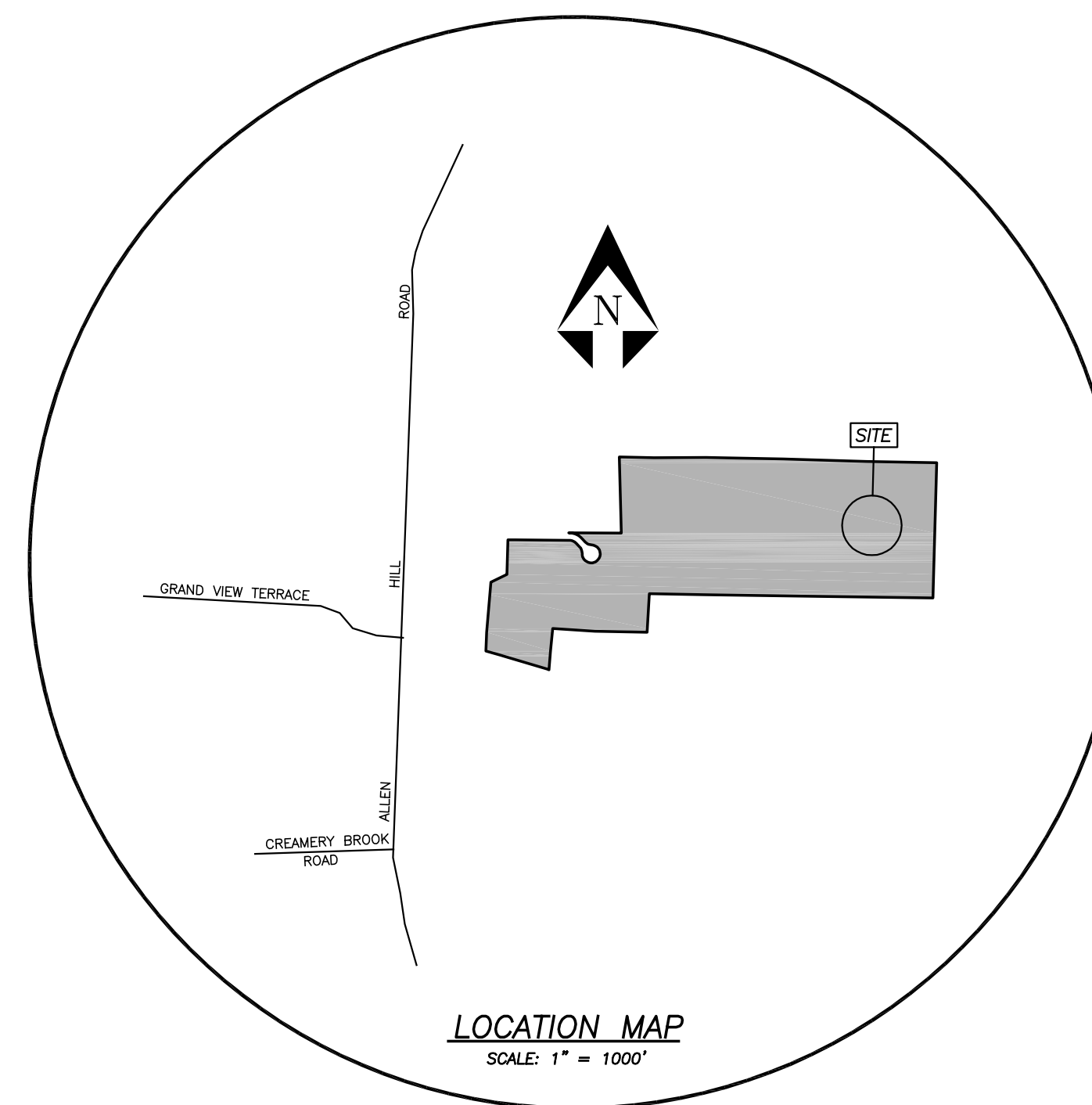
OWNER/APPLICANT:
PAUL R. LEHTO

INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
EXISTING CONDITIONS PLAN	2 OF 7
OVERALL SITE PLAN	3 OF 7
PROPOSED EXCAVATION PLAN	4 OF 7
DETAIL SHEET	5 OF 7
SITE REUSE PLAN	6 OF 7
SITE RADIUS PLAN	7 OF 7

LEGEND

	TEST PIT
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED CLEARING LIMITS
	PROPOSED SILT FENCE
	LIMIT OF WETLANDS



PREPARED BY:

Provost & Rovero, Inc.

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Structural • Mechanical • Architectural Engineering

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Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION

JUNE 2, 2020

APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

CHAIRMAN _____ DATE _____

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR
TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist _____ Date _____

ENGINEER _____ DATE _____



LEGEND

	PROPERTY LINE
	REFERENCE LINE
	EASEMENT
	BOUNDARY STONEWALL
	EXISTING TREELINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED CONTOUR
	WETLAND LIMITS
	IRON PIN FOUND
	DRILL HOLE FOUND
	UTILITY POLE
	FENCE POST

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1946.
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - This Survey conforms to a Class "T-3" Vertical Accuracy
 - Survey Type: Perimeter Survey
 - Boundary Determination: Resurvey
 - Intent: Depict Existing Conditions with Respect to Property Lines
- Parcels shown as 148 on Assessors Tax Map 32 of the Brooklyn Assessors Office
- Property is owned by: Paul Lehto
- Wetlands were delineated in the field by Joseph Theroux, Sept. 2016 and field located by Archer Surveying LLC
- Riverwalk Drive is not a Town Road
- Topographical Information obtained through aerial photography by WSP Group

To My Knowledge and Belief this Map is Substantially Correct as noted herein.

Paul M. Archer LL5 #10013 _____ Date _____

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears herein.

Existing Condition Plan

Prepared For:
Paul Lehto
 Allen Hill Road
 Brooklyn, Connecticut

DRAWING SCALE: 1"=125'

ARCHER Surveying LLC
 18 Providence Road, Brooklyn, CT
 (860) 779-2240

Sheet No.	2 of 7	Project No.	1366	Date:	Revised: January 2017 May 3, 2018
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LEGEND

- TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- LIMIT OF WETLANDS

- NOTES:**
- The total proposed area of excavation is 6.7 acres.
 - The estimated quantity of material to be exported from the site is 90,000 CY. The grading shown hereon is intended to show the material to be removed from the site. Final grades may vary from those shown hereon based on the material encountered and the use of any imported soil which may be used to create final grades.
 - The contractor/owner shall monitor excavation progress to ensure the suitability of the remaining material for final reuse/development of the site. Additional test pits may be required during excavation progress to ensure that suitable natural material is left in place to provide separation to groundwater and/or ledge.
 - Excavation shall be completed in accordance with all applicable MSHA rules, regulations and requirements.
 - Excavation shall begin at the northerly end of phase 1 utilizing a down cutting technique to ensure that the disturbed site area retains all runoff from the disturbed area (bowl effect). Perimeter silt fence and/or staked hay bales shall be installed as shown prior to grubbing and stripping topsoil.
 - Stumps shall not be buried. They shall be either chipped or removed from the site.
 - All topsoil and subsoil stripped from the excavation area shall be retained on site in the designated stockpile area for use in final site restoration. Topsoil and subsoil shall be stripped and stockpiled separately.

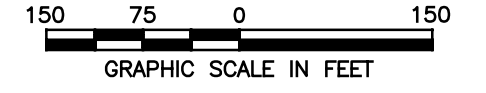
APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

ENGINEER _____ DATE _____



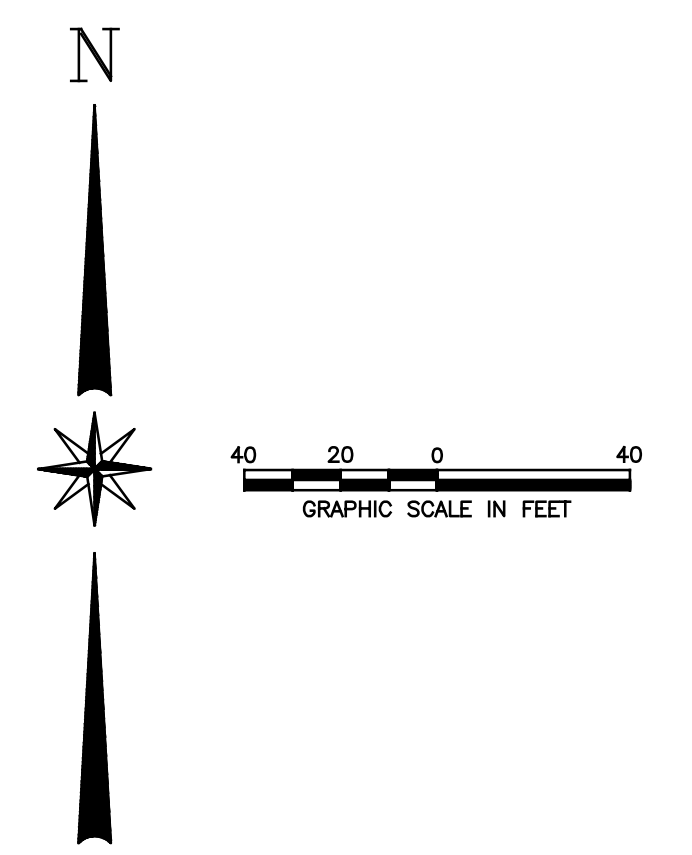
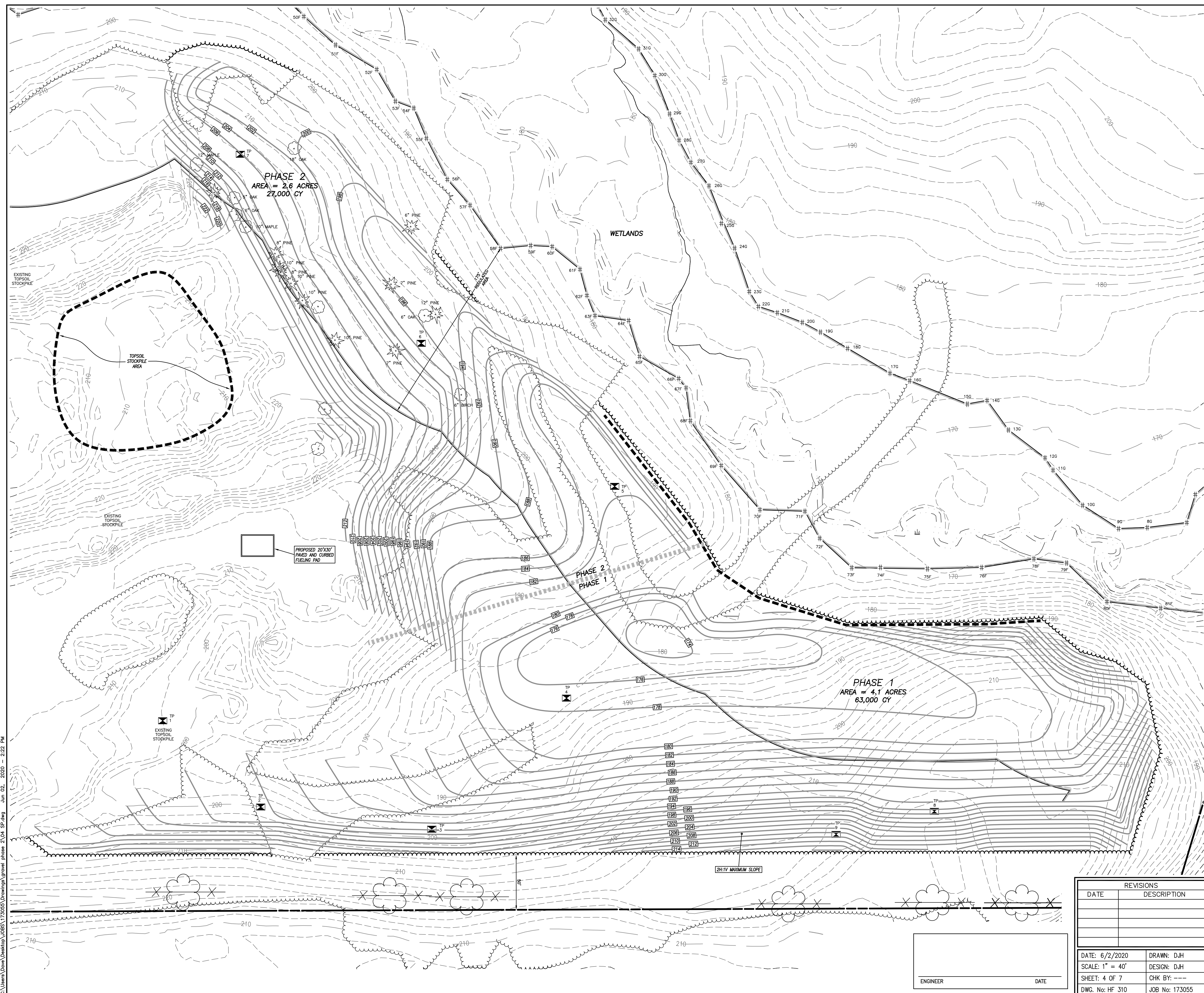
REVISIONS	
DATE	DESCRIPTION

DATE: 6/2/2020 DRAWN: DJH
SCALE: 1" = 150' DESIGN: DJH
SHEET: 3 OF 7 CHK BY: ---
DWG. No: HF 310 JOB No: 173055

OVERALL SITE PLAN
PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

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APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

LEGEND

- TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- LIMIT OF WETLANDS

NOTES:

1. The total proposed area of excavation is 6.7 acres.
2. The estimated quantity of material to be exported from the site is 90,000 CY. The grading shown hereon is intended to show the material to be removed from the site. Final grades may vary from those shown hereon based on the material encountered and the use of any imported soil which may be used to create final grades.
3. The contractor/owner shall monitor excavation progress to ensure the suitability of the remaining material for final reuse/development of the site. Additional test pits may be required during excavation progress to ensure that suitable natural material is left in place to provide separation to groundwater and/or ledge.
4. Excavation shall be completed in accordance with all applicable MSHA rules, regulations and requirements.
5. Excavation shall begin at the northerly end of phase 1 utilizing a down cutting technique to ensure that the disturbed site area retains all runoff from the disturbed area (bowl effect). Perimeter silt fence and/or staked hay bales shall be installed as shown prior to grubbing and stripping topsoil.
6. Stumps shall not be buried. They shall be either chipped or removed from the site.
7. All topsoil and subsoil stripped from the excavation area shall be retained on site in the designated stockpile area for use in final site restoration. Topsoil and subsoil shall be stripped and stockpiled separately.

PROPOSED EXCAVATION PLAN

PREPARED FOR

PAUL R. LEHTO

PROPOSED GRAVEL EXCAVATION

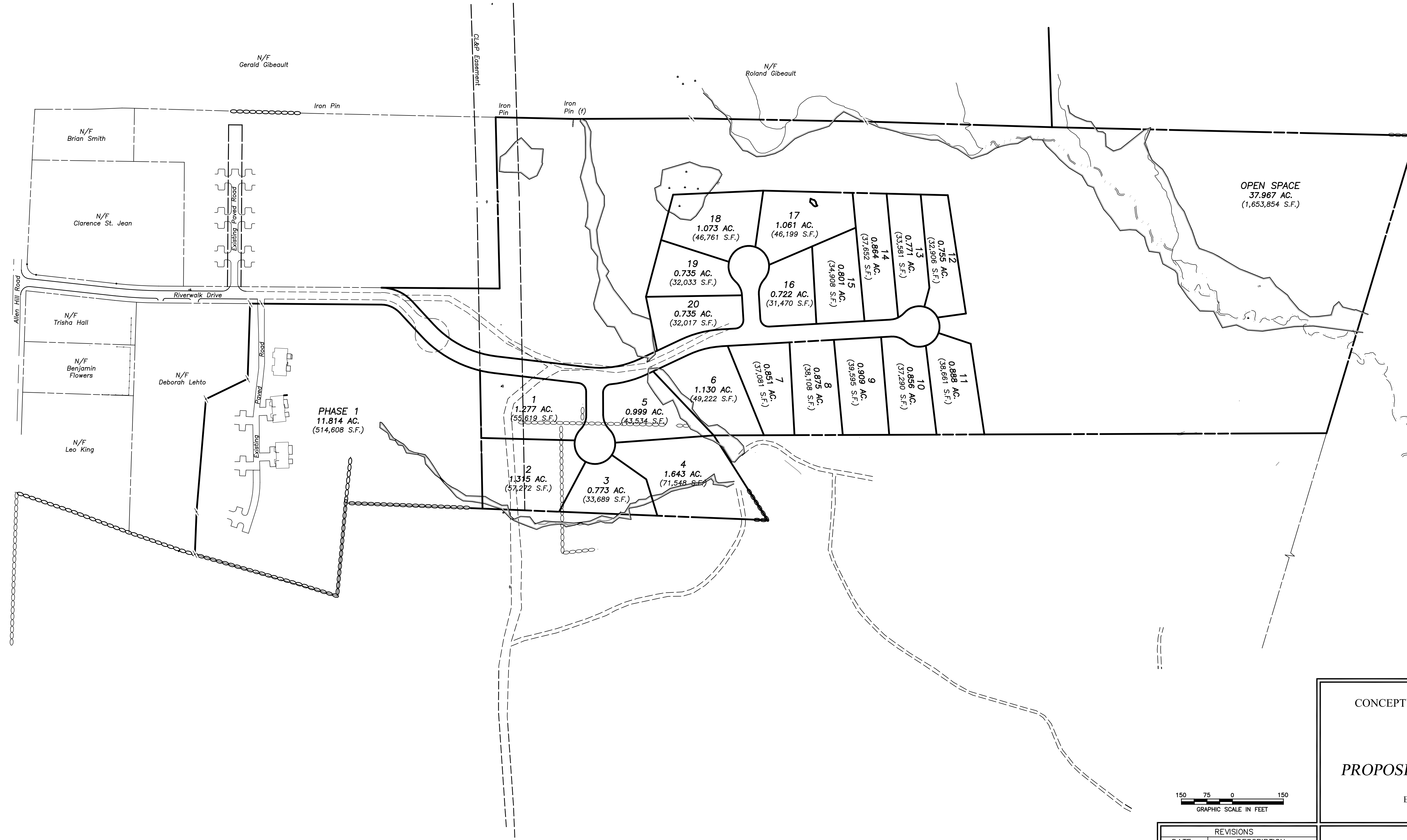
EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

REVISIONS	
DATE	DESCRIPTION

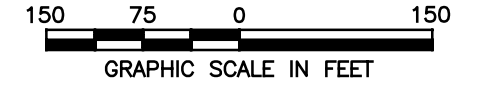
DATE: 6/2/2020 DRAWN: DJH
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 SHEET: 4 OF 7 CHK BY: ---
 DWG. No: HF 310 JOB No: 173055

ENGINEER _____ DATE _____

C:\Users\Draw\Desktop\0658\173055\Drawings\gravel phase 2\04 SP.dwg Jun 02, 2020 - 2:22 PM



SITE REUSE PLAN
 CONCEPTUAL CONSERVATION SUBDIVISION
 PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
 EASTERLY OF ALLEN HILL ROAD
 BROOKLYN, CONNECTICUT



REVISIONS	
DATE	DESCRIPTION

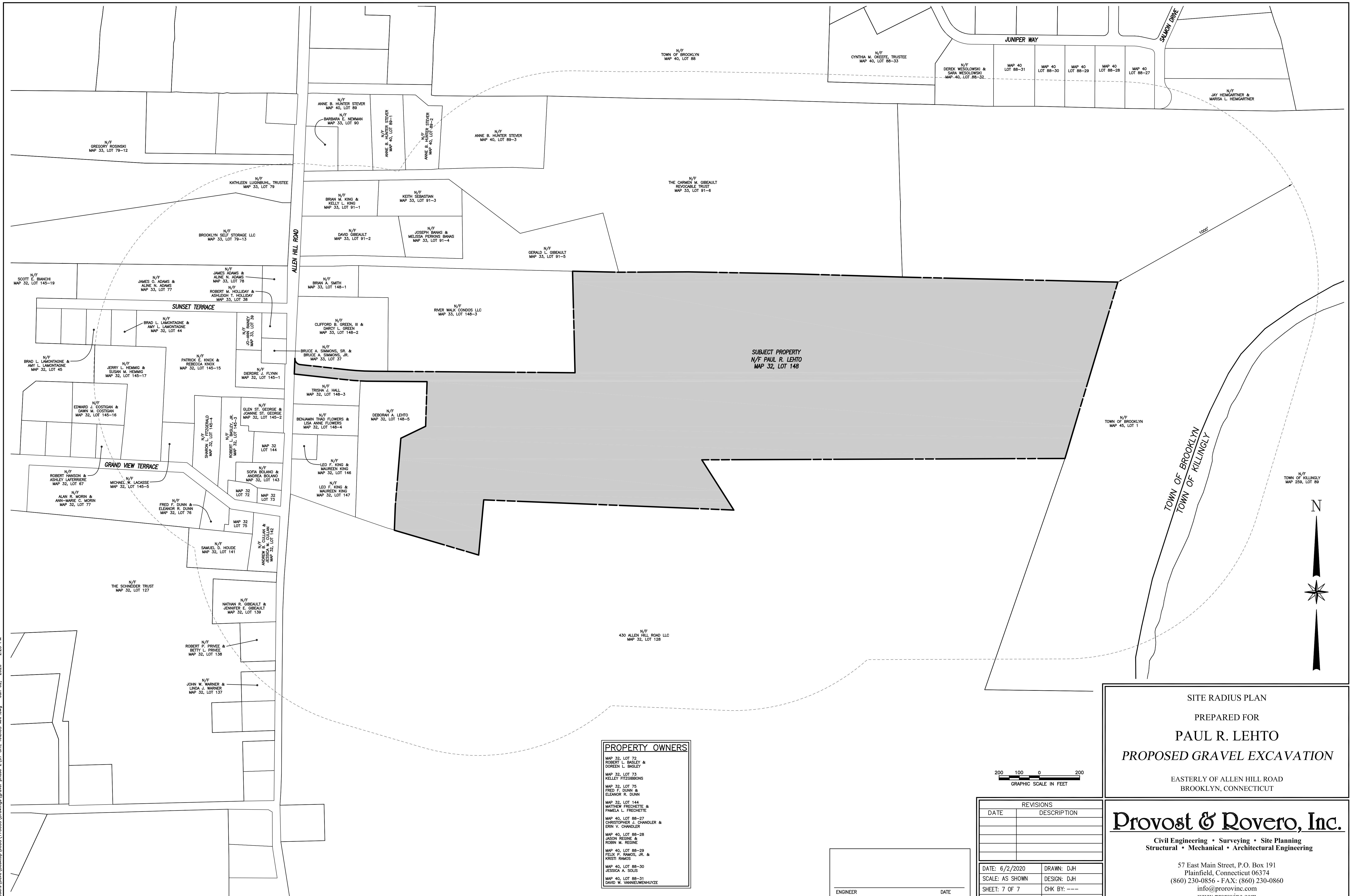
DATE: 6/2/2020 DRAWN: DJH
 SCALE: 1" = 150' DESIGN: DJH
 SHEET: 6 OF 7 CHK BY: ---
 DWG. No: HF 310 JOB No: 173055

ENGINEER _____ DATE _____

Provost & Rovero, Inc.
 Civil Engineering • Surveying • Site Planning
 Structural • Mechanical • Architectural Engineering

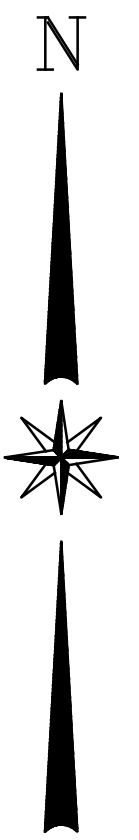
57 East Main Street, P.O. Box 191
 Plainfield, Connecticut 06374
 (860) 230-0856 - FAX: (860) 230-0860
 info@prorovinc.com
 www.prorovinc.com

C:\Users\Draw\Desktop\062617\2020\Drawings\gravels\phase 2\LOT SITE RADIUS MAP.dwg Jun 02, 2020 - 2:23 PM



SUBJECT PROPERTY
N/F PAUL R. LEHTO
MAP 32, LOT 148

PROPERTY OWNERS	
MAP 32, LOT 72	ROBERT L. BASLEY & DOREEN L. BASLEY
MAP 32, LOT 73	KELLEY FITZGIBBONS
MAP 32, LOT 75	FRED F. DUNN & ELEANOR R. DUNN
MAP 32, LOT 144	MATHEW FRECHETTE & PAMELA L. FRECHETTE
MAP 40, LOT 88-27	CHRISTOPHER J. CHANDLER & ERIN V. CHANDLER
MAP 40, LOT 88-28	JASON REGINE & ROBIN M. REGINE
MAP 40, LOT 88-29	FELIX F. RAMOS, JR. & KRISTI RAMOS
MAP 40, LOT 88-30	JESSICA A. SOULS
MAP 40, LOT 88-31	DAVID W. VANNEUWENHUYZE



SITE RADIUS PLAN
 PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
 EASTERLY OF ALLEN HILL ROAD
 BROOKLYN, CONNECTICUT

REVISIONS	
DATE	DESCRIPTION

ENGINEER _____ DATE _____

Provost & Rovero, Inc.
 Civil Engineering • Surveying • Site Planning
 Structural • Mechanical • Architectural Engineering
 57 East Main Street, P.O. Box 191
 Plainfield, Connecticut 06374
 (860) 230-0856 - FAX: (860) 230-0860
 info@provostinc.com
 www.provostinc.com

DATE: 6/2/2020 DRAWN: DJH
 SCALE: AS SHOWN DESIGN: DJH
 SHEET: 7 OF 7 CHK BY: ---
 DWG. No: HF 310 JOB No: 173055

NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

Engineering Plan Review Pertaining to Proposed Gravel Excavation

PAUL R. LEHTO
(RIVER WALK DRIVE)
BROOKLYN, CT
(July 14, 2020)

The comments contained herein pertain to my review of plans for a gravel removal operation. The plans under review (7 sheets) are entitled "Proposed Gravel Excavation, Easterly of Allen Hill Road, Brooklyn, Connecticut, Owner/Applicant: Paul R. Lehto," prepared by Provost & Rovero, Inc. and Archer Surveying, LLC, dated June 2, 2020. This review was made in accordance with most recent Town of Brooklyn Zoning and Wetlands Regulations and Public Improvement Specifications.

1. On Sheet 2 of 7, "Existing Conditions," Note 6 states that the existing topographical information was created using aerial photography (and photogrammetric mapping?) from WSP Group. The dates for the photography and mapping should be included in the note.
2. If not already done, the CT State Historic Preservation Office should be contacted regarding any possible archaeological/historical significance to this portion of the site, since it sits high above and only about a quarter mile from the Quinebaug River. The CT Department of Energy and Environmental Protection (DEEP) "Natural Diversity Database" should also be consulted.
3. The haul road running through the previously excavated area to River Walk Drive (see Sheet 2 of 7) crosses a wetland. It is recommended that the Applicant's engineer evaluate and describe the crossing, which has been in place for many years, to determine if it is in good condition for future heavy loads and if any erosion has occurred around it that would require some reconstruction. Additionally, it is important to establish erosion and sediment control systems on both sides of the crossing and other methods to help protect the wetlands from the heavy truck traffic, dust, and material that may fly off haul trucks. Erosion and sediment control system(s), if required, should be shown for the affected area on a plan at a scale of no less than 1" = 40'.
4. There is no estimated time of completion of the proposed gravel removal operation in the "Excavation Notes" on Sheet 5 of 7.
5. Noise and dust from heavy truck traffic may cause an issue with residents living along River Walk Drive and its connected side roads.

By:  POS 7/14/2020
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

Jana Roberson

From: Syl Pauley <Syl.pauley@necog.org>
Sent: Tuesday, August 04, 2020 2:20 PM
To: Jana Roberson
Cc: Margaret Washburn; 'David Held'
Subject: Re: Lehto Gravel Bond

Hi Jana,

I have reviewed the revised bonding figures handwritten on David Held's letter of August 29, 2018, which you emailed to me. The major items to be considered for bonding should remain the same as back then with the estimated cost to do the work as follows:

- Restoration of excavation area: 6.7 acres @ \$10,000/acre = \$67,000
- Repair of erosion on gravel access road: = \$10,000
- Repave Riverwalk Drive with 2" overlay: = \$38,000

TOTAL = \$115,000

Syl

Syl Pauley, Jr., P.E.
Regional Engineer
Northeastern Connecticut Council of Governments
125 Putnam Pike
P.O. Box 759
Dayville, CT 06241
Phone: (860) 774-1253 x13
FAX: (860) 779-2056
Email: syl.pauley@necog.com

Please note: "The information contained in this e-mail and any attachments hereto are intended only for the personal and confidential use of the designated recipients. If the reader/recipient of this message is not the intended recipient, you are hereby notified that you have received this e-mail and all attachments hereto in error and that any review, dissemination, distribution or copying of this e-mail or any of its attachments is strictly prohibited. If you have received this communication in error, please notify the sender immediately by e-mail and destroy the original message received. Thank you."

From: Jana Roberson <J.Roberson@Brooklynct.org>
Sent: Tuesday, August 4, 2020 11:55 AM
To: Syl Pauley <Syl.pauley@necog.org>; Syl Pauley <Syl.pauley@necog.org>
Cc: Margaret Washburn <M.Washburn@Brooklynct.org>; 'David Held' <dheld@prorovinc.com>
Subject: Lehto Gravel Bond

Syl,

Paul Lehto is proposing a \$67,000 performance bond for his latest gravel excavation proposal on Allen Hill Road. That is based on \$10,000/acre with a 6.7 acres site disturbance.

Back in 2018, we required a \$73,000 bond for 2.7 acres of disturbance, repair of gravel access road, and a 2" overlay on Riverwalk Drive.

Please see the attachment.

There is a public hearing on the proposal tomorrow night.

Would you be inclined to recommend these additional bonding items again?

If so, do we need updated figures or are the 2018 ones ok to use?

Please let me know and thank you.

Jana Butts Roberson, AICP
Director of Community Development/Town Planner
Town of Brooklyn, CT

j.roberson@brooklynct.org
(860)779-3411 x.14
PO Box 356
Clifford B. Green Memorial Building, Suite 22
69 South Main Street
Brooklyn, CT 06234

-----Original Message-----

From: Scan <Administrator@Brooklynct.org>
Sent: Tuesday, August 04, 2020 11:43 AM
To: Jana Roberson <J.Roberson@Brooklynct.org>
Subject: Xerox Scan

Please open the scanned attachment

Number of Images: 1
Attachment File Type: PDF

Device Name: VersaLink B7030
Device Location:

PLANNING AND ZONING COMMISSION
TOWN OF BROOKLYN
CONNECTICUT

Received Date _____

Application # SD _____

Check # _____

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant David & Nancy Bell Phone 860 774 3838

Mailing Address PO Box 358, Brooklyn, CT 06234

Applicants Interest in the Property owner

Property Owner SAME Phone _____

Mailing Address _____

Name of Engineer/Surveyor pc survey associates, llc / Killingly Engineering Associates

Address 63 Snake Meadow Road, Killingly, CT 06239

Contact Person Paul A. Terwilliger, LS Phone 860 774 6230 Fax _____

Name of Attorney _____

Address _____

Phone _____ Fax _____

Subdivision _____ Re subdivision _____

Property location Church Street

Map # 35 Lot # 4 Zone RA Total Acres 25.56 Acres to be Divided 25.56

Number of Proposed Lots 3 Length of New Road Proposed n/a

Sewage Disposal: Private Public _____

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary n/a Storm n/a

Water: Private Public _____

Is parcel located within 500 feet of an adjoining Town? no

The following shall accompany the application when required:

4.2.2 Fee \$ _____ State (\$60.00) _____ 4.2.3 Sanitary Report _____ 4.2.5, 3 copies of plans _____

4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.

4.2.6 Erosion & Sediment Control Plans

4.2.7 Certificate of Public Convenience and Necessity

4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: X David & Nancy Bell Date 7-6-20

Owner: X David & Nancy Bell Date 7-6-20

*Note: All consulting fees shall be paid by the applicant









































Soil Map—State of Connecticut
(BELL - CHURCH STREET SUBDIVISION)



Map Scale: 1:6,000 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Soil Map Unit Polygons	 Very Stony Spot
 Soil Map Unit Lines	 Wet Spot
 Soil Map Unit Points	 Other
 Special Point Features	 Special Line Features
 Blowout	 Streams and Canals
 Borrow Pit	 Transportation
 Clay Spot	 RAILS
 Closed Depression	 Interstate Highways
 Gravel Pit	 US Routes
 Gravelly Spot	 Major Roads
 Landfill	 Local Roads
 Lava Flow	 Background
 Marsh or swamp	 Aerial Photography
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
Survey Area Data: Version 19, Sep 13, 2019

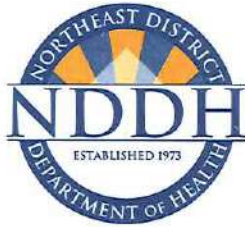
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 14, 2011—Aug 27, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
13	Walpole sandy loam, 0 to 3 percent slopes	1.2	4.8%
38C	Hinckley loamy sand, 3 to 15 percent slopes	4.3	17.3%
38E	Hinckley loamy sand, 15 to 45 percent slopes	1.0	3.9%
51B	Sutton fine sandy loam, 0 to 8 percent slopes, very stony	1.8	7.3%
60B	Canton and Charlton fine sandy loams, 3 to 8 percent slopes	0.5	1.8%
73C	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	6.4	25.6%
73E	Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky	8.5	33.9%
701A	Ninigret fine sandy loam, 0 to 3 percent slopes	1.4	5.4%
Totals for Area of Interest		25.1	100.0%



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

July 24, 2020

David & Nancy Bell
PO Box 358
Brooklyn, CT 06234

SUBJECT: FILE #20000155 – CHURCH STREET #, MAP #35, LOT #4, BROOKLYN, CT

Dear David & Nancy Bell:

Upon review of the subdivision plan (PC SURVEY ASSOCIATES, LLC, BELL, JOB#18016, DRAWN APRIL 2020) submitted to this office on 06/30/2020 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lot 17 requires that a Professional Engineer design and submit an individual plot plan for review and approval prior to construction.
2. Lots 18, 19 require surveyor's plot plans to be submitted for review and approval prior to construction.
3. Proposed lots are based on 4 bedroom homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
4. If the proposed septic area is moved, additional testing may be required.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Sherry McGann, RS
Registered Sanitarian-NDDH

cc: Town of Brooklyn; PC Survey Associates, LLC.

COMMON DRIVEWAY AND MAINTENANCE AGREEMENT

WHEREAS, David P. Bell and Nancy M. Bell are the owners of three parcels or lots of land (the "Lots") situated in the Town of Brooklyn, County of Windham and State of Connecticut, shown and designated as Lots 17, 18 and 19 on a map entitled, "KINGSWOOD ESTATES - SUBDIVISION MAP PREPARED FOR DAVID P. BELL & NANCY M. BELL - CHURCH STREET - BROOKLYN, CONNECTICUT - SCALE: 1"=60' - DATE: APRIL 2020 - SHEET 2 OF 5 - PC SURVEY ASSOCIATES, LLC - 63 SNAKE MEADOW RD, KILLINGLY, CT 06239", filed in the office of the Brooklyn Town Clerk, to which map reference is hereby made for a more particular description and location of said premises; and

WHEREAS, the above Lots are to be served by a single common driveway to be located within a Right-of-Way located on Lot 19 as depicted on the above referenced map, and more particularly bounded and described as follows:

Commencing at a point in the easterly line of Church Street at the southwesterly corner of the herein described Right-of-Way and the northwesterly corner of other land now or formerly of David P. & Nancy M. Bell, said point being located 509 feet, more or less, southerly of an iron pin at the westerly end of a stone wall in the easterly line of Church Street at the northwesterly corner of Lot 5 and the southwesterly corner of land now or formerly of Kyle M. Timoteo;

Thence Northeasterly, 33.23 feet along a curve to the right having a radius of 25.00 feet to a point, bounded southeasterly by other land now or formerly of David P. & Nancy M. Bell;

Thence S 87° 35' 50" E, 363.36 feet to a point, bounded southerly by other land now or formerly of David P. & Nancy M. Bell, Parcel "A" and Lot 17;

Thence N 70° 51' 39" E, 197.61 feet to a point;

Thence S 75° 14' 47" E, 129.87 feet to a point at the southeasterly corner of the herein described Right-of-Way, the last two courses bounded southerly by Lot 17;

Thence N 29° 49' 50" E, 51.78 feet across the access strip of Lot 19 to a point at an angle in the southerly line of Lot 18;

Thence N 75° 14' 47" W, 158.57 feet to a point;

Thence S 70° 51' 39" W, 203.34 feet to a point at the southeasterly corner of land now or formerly of Thomas & Susan Burkart, the last two courses bounded northerly by Lot 18

Thence N 87° 35' 50" W, 330.31 feet to a point;

Thence Northwesterly, 44.84 feet along a curve to the right having a radius of 25.00 feet to a point in the easterly line of Church Street, the last two courses bounded northerly and northeasterly by land now or formerly of said Burkart;

Thence S 15° 09' 29" W, 55.96 feet along the easterly line of Church Street to a point;

Thence S 16° 14' 16" W, 46.31 feet along the easterly line of Church Street to the point of beginning; and

WHEREAS, said David P. Bell & Nancy M. Bell wish to set forth the respective rights and obligations of all current and future owners of said Lots;

NOW THEREFORE, it is hereby resolved that:

- (1) The owners of the Lots shall share in the costs of constructing, repairing and maintaining the driveway in good condition and repair in the following percentages: **Lot 17: 33-1/3%, Lot 18: 33-1/3% and Lot 19: 33-1/3%**. Maintenance and repair shall

include but not be limited to, replacement, restoration and repair of the driveway surface including but not limited to bituminous concrete, concrete, tar, asphalt, stone and gravel, snow and ice removal, removal of fallen trees and other obstructions, etc. Each Lot owner agrees to provide the owners of the other Lot with copies of bills, invoices or statements relating to the costs of repairing and maintaining the driveway.

(2) Items of repair and/or maintenance to be performed shall be determined as agreed upon by the owners of the Lots, provided however, that neither Lot owner may unreasonably withhold his or her consent of agreement to items of repair or maintenance reasonably necessary to keep the driveway in good and passable condition and repair and repair of public utilities if required.

(3) Each Lot owner shall be liable to contribute to the cost in the percentages set forth in paragraph number one (1) above, such amounts to be paid promptly upon completion of such repair or maintenance item, and after presentment of a copy of the invoice from the contractor performing the work.

(4) Notwithstanding the foregoing obligation to share equally in maintenance and repair expenses, in the event that the owner of either Lot, or such owner's agents, contractors, employees or guests shall damage the driveway by construction activities related to such owner's Lot or by negligence, reckless or intentional act, then such owner shall promptly repair such damage and restore the driveway to its prior condition, at his/her sole expense.

(5) It is mutually agreed that the owners of Lots 17, 18 and 19 shall have the right to install underground public utilities along said driveway at their sole expense, and the owners of Lots 17, 18 and 19 are hereby granted ingress and egress over said driveway and access is hereby granted over said driveway to any utility company (including, but not limited to electric, telephone, gas, water, sewer, cable TV) for installation / maintenance / repair of such services to any Lot. Any land disturbed by the exercise of these rights shall be restored, by the party exercising the right, to the condition it was prior to such entry.

(6) No owners of the Lots, or an owner's agent(s) or guest(s) shall in any way at any time obstruct the driveway, park vehicles or allow any to be parked on the driveway or in any other way prevent or hinder free passage by an owner, or an owner's agent(s) or guest(s) over such portion of the driveway Right-of-Way which serves each owners' property.

(7) The owners of Lots 17, 18 and 19 and such future owners of Lots 17, 18 and 19, covenant and agree to indemnify, defend and hold each other harmless against all claims, demands, loss, damage, liabilities and expenses and all suits, actions and judgments (including, but not limited to costs and reasonable attorneys' fees) arising out of or in any way related to their failure to maintain in a safe condition the easements granted and created hereunder. The owners of Lots 17, 18 and 19 shall give prompt and timely notice of any claim or suit or action commenced against the other party which in any way would result in indemnification hereunder.

(8) In the event of failure by any owner of Lots 17, 18 and 19 to perform, fulfill or observe any agreement herein performed, fulfilled or observed by it, which failure shall continue for thirty (30) days, or in situations involving potential danger to the health and safety of persons in, on or about Lots 17, 18 and 19 or any portion or part thereof, in each case after written notice specifying such, the other party may, at its election, cure such failure or breach for and on behalf of the defaulting party, and any amount which the party so electing shall expend for such purpose, or which shall otherwise be due by either party to the other hereunder, shall be paid to the party to whom due upon demand, without contest upon delivery of its invoice, together with interest thereon at the lower of (i) the rate of 10% per annum, or (ii) the maximum rate permissible from time to time

under applicable law, from the date of expenditure or the date when same shall have become due to the date of payment thereof in full.

(9) This agreement shall be binding on the owners of the Lots, their heirs, successors and assigns and inure to their respective benefit, shall be appurtenant to, run with, and benefit Lots 17, 18 and 19 as shown on the aforementioned map.

(10) Any disagreement between any owner of Lot 17, Lot 18 and/or Lot 19 delineated on the subdivision map referred to in the first recital paragraph of this Declaration with respect to the interpretation or application of these covenants and their obligations hereunder shall be determined by arbitration. Such arbitration shall be conducted upon the request of any land owner of Lot 17, Lot 18 and/or Lot 19 delineated on the subdivision map referred to in the first recital paragraph of this Declaration. Any such arbitration proceeding shall be conducted in accordance with the rules of the American Arbitration Association or as may be mutually agreed. The decision of the arbitrator in any such proceeding shall be final, and judgment upon the arbitration award may be entered in any court of competent jurisdiction. The expense of arbitration proceedings conducted hereunder shall be borne equally by the parties. Notwithstanding the foregoing, the parties agree that any and all disputes less than \$5,000.00 (or the then monetary limit of Small Claims Court) shall be heard in Small Claims Court. In any event, the successful party shall be entitled to recover all costs and expenses incurred including reasonable attorneys' fees to be fixed as a result of Arbitration or by Small Claims Court.

IN WITNESS WHEREOF, David Bell and Nancy M. Bell have hereunto set their hands and seals
this day of

PERMANENT CONSERVATION EASEMENT COVENANT

WHEREAS, David P. Bell and Nancy M. Bell are the owners of three parcels or lots of land (the “Lots”) situated in the Town of Brooklyn, County of Windham and State of Connecticut, shown and designated as Lots 17, 18 and 19 on a map entitled, “SUBDIVISION MAP PREPARED FOR DAVID P. BELL & NANCY M. BELL – CHURCH STREET, BROOKLYN, CONNECTICUT – SCALE: 1”=60’ – DATE: APRIL 2020 – REVISED 7/6/2020 – SHEET 2 OF 5 - PC SURVEY ASSOCIATES, LLC – 63 SNAKE MEADOW RD, KILLINGLY, CT 06239”, as filed in the office of the Brooklyn Town Clerk, to which map reference is hereby made for a more particular description and location of said premises; and

WHEREAS, the above Lots are to be SUBJECT TO Conservation Easements as depicted on the above referenced map, and more particularly bounded and described as follows:

CONSERVATION EASEMENT “A”

A certain Conservation Easement over Lot 17 bounded and described as follows:

Beginning at a point in the southerly line of the access strip of Lot 19 at the northwesterly corner of the herein described Conservation Easement, said point being located easterly, 639 feet, more or less, from the easterly line of Church Street as measured along the southerly line of the access strip of Lot 19;

Thence S 75° 14’ 47” E, 85.04 feet along the southerly line of the access strip of Lot 19 to a point;

Thence S 45° 05’ 33” E, 256.32 feet along the southwesterly line of the access strip of Lot 19 to an iron rod in a stone wall corner;

Thence N 72° 04’ 59” W, 270.00 feet to a point;

Thence N 54° 45’ 18” W, 58.19 feet to a point;

Thence N 19° 08’ 21” E, 67.89 feet to a point;

Thence N 70° 51’ 39” E, 66.60 feet to the point of beginning.

CONSERVATION EASEMENT “B”

A certain Conservation Easement over Lot 18, Lot 19, and Parcel “B”, bounded and described as follows:

Beginning at a point in the northerly line of the access strip of Lot 19 at the southwesterly corner of the herein described Conservation Easement and the southeasterly corner of land now or formerly of Thomas & Susan Burkart, said point being located easterly, 375 feet, more or less, from the easterly line of Church Street as measured along the northerly line of the access strip of Lot 19;

Thence N 02° 24’ 09” E, 170.85 feet to a point in a stone wall, bounded westerly by land now or formerly of Thomas & Susan Burkart;

Thence N 89° 18’ 50” E, 85.79 feet along a stone wall to a point;

Thence S 85° 32’ 44” E, 35.19 feet along the stone wall to a point at a wall intersection;

Thence S 87° 31’ 50” E, 95.66 feet along the stone wall to a point;

Thence S 88° 33’ 29” E, 120.18 feet along the stone wall to a point;

Thence N 83° 54' 29" E, 54.30 feet along the stone wall to a point;
Thence N 72° 10' 21" E, 20.23 feet along the stone wall to a point;
Thence N 39° 51' 45" E, 18.49 feet along the stone wall to a point;
Thence N 28° 20' 45" E, 94.12 feet along the stone wall to an iron rod at a wall intersection, the last seven courses bounded northerly and westerly by land now or formerly of Daniel Murray and Jesse Rainville;
Thence S 72° 02' 58" E, 31.45 feet along a stone wall to a point;
Thence S 76° 53' 04" E, 198.36 feet along the stone wall to an iron rod in a wall intersection, the last two courses bounded northerly by land now or formerly of Pamela J. Goyette and Andrea E. Schober;
Thence S 83° 55' 56" E, 52.61 feet to a point;
Thence S 74° 44' 59" E, 121.05 feet to a T-Bar;
Thence S 81° 35' 04" E, 129.66 feet to a point;
Thence S 77° 45' 20" E, 104.23 feet to a point, the last four courses bounded northerly by land now or formerly of FCR Realty, LLC;
Thence S 13° 12' 58" E, 845.54 feet to a point in the southerly line of Lot 19;
Thence S 08° 46' 33" W, 81.51 feet to a point;
Thence N 81° 13' 27" W, 152.81 feet to a point;
Thence N 36° 44' 27" W, 148.13 feet to a point in the southerly line of Lot 19;
Thence N 13° 12' 58" W, 771.00 feet to a point;
Thence N 76° 53' 04" W, 305.25 feet to a point;
Thence S 67° 24' 45" W, 244.97 feet to a point;
Thence S 76° 04' 44" W, 150.00 feet to a point in the northerly line of the access strip of Lot 19;
Thence S 70° 51' 39" W, 203.34 feet along the northerly line of the access strip of Lot 19 to the point of beginning; and

WHEREAS, said David P. Bell and Nancy M. Bell wish to set forth the respective rights, restrictions and obligations of all current and future owners of said Lots;

NOW THEREFORE, it is hereby resolved that:

Lots 17, 18 and 19 shall be conveyed subject to said Conservation Easements and restrictions and covenants set forth in the various paragraphs of this document.

This Conservation Easement ("Easement") shall be deemed to be a covenant that runs with the land and shall be binding upon David P. & Nancy M. Bell, their successors and assigns and all persons claiming through the Grantor in perpetuity.

If the Grantor, its successors and assigns, or any person claiming under them shall violate or attempt to violate any of the covenants herein, it shall be lawful for the Town of Brooklyn, through its Planning and Zoning Commission, to take any and all steps necessary to enforce this Conservation Easement, to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenant and either to prevent him or them from so doing and to recover damages incurred, to recover all attorney's fees and costs or any other expenses incurred in enforcing this Conservation Easement or in correcting the results of any violation of said Easement.

The Grantor shall include in the conveyance of Lots 17, 18 & 19 the right to enforce this Open Space Easement against any party in violation of any provision of this Conservation Easement. Said conveyance shall contain the language:

“Said premises are conveyed together with the right to enforce the Conservation Easement for purposes of preserving and protecting Open Space that is conveyed as a part of said property, all as provided in said Conservation Easement as of record appears.”

To preserve and protect the Easement in perpetuity, the following restrictions on use and activities shall be enforced in perpetuity with respect to said Easement:

1. No structure of any kind may be built on said Easement.
2. No motorized vehicles shall enter upon or travel across the Easement.
3. No dumping shall occur on said Easement.
4. No fires shall occur on said Easement.
5. No mining or natural resource extraction shall occur on said Easement.
6. No harvesting of timber or firewood except as part of a long term management plan prepared by a professional forester and approved in advance by the Brooklyn Conservation Commission shall occur in the easement. No liquidation cuts or clear-cutting are allowed on said Easement.
7. Lot 19 shall have the right to cross the Easement in one suitable area to access land beyond the easement area.
8. The Lot owners shall have the right to use the easement areas located on their respective Lots for passive recreational activities.

Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

TO HAVE AND TO HOLD the above granted Open Space Easement unto the said Grantee, its successors and assigns forever, to it and its own proper use and behoof.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal on
this day of 20



pc survey associates, llc

63 Snake Meadow Road, Killingly, CT 06239

July 6, 2020

Dear Sir or Madame,

This notice is being sent as required by Section 4.2, subsection 2.10 of the Brooklyn subdivision regulations to inform you of an application for a subdivision within 200 feet of property you own in the town of Brooklyn.

David & Nancy Bell are proposing a **three lot subdivision** of a 25.56 acre tract of land located on the easterly side of Church Street. This property is shown as Map 35, Lot 4 of the Brooklyn assessor's records.

Inquiries may be directed to the Town of Brooklyn Planning office at 860 779 3411, ext. 14.

Thank You,



Paul A. Terwilliger, L.S. #70155



Certificate of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

DANIEL MURRAY & JESSIE RAINVILLE
124 CHURCH ST
BROOKLYN CT 06234

Postmark Here

PS Form 3817, April 2007 PSN 7530-02-000-9065



Certificate of Mailing

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

THOMAS & SUSAN BURKART
PO BOX 787
BROOKLYN CT 06234

Postmark Here

PS Form 3817, April 2007 PSN 7530-02-000-9065



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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

F C R REALTY LLC
110 DAY ST
BROOKLYN CT 06234

Postmark Here

PS Form 3817, April 2007 PSN 7530-02-000-9065



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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

JOHN F ENNIS & FREDERICK S EGGERS
289 PROVIDENCE RD
BROOKLYN CT 06234

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PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:
- DONALD E JR & LAURA L WILLIAMS
- 41 MALBONE LN
- BROOKLYN CT 06234

PS Form **3817**, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:
- KENNETH N GREENE
- 38 MALBONE LN
- BROOKLYN CT 06234

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:
- STEVEN W & ADRIENNE L BESSETTE
- 28 MALBONE LN
- BROOKLYN CT 06234

PS Form **3817**, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:
- MICHELLE L & BILLY JAY GALLAGHER
- 26 MALBONE LN
- BROOKLYN CT 06234

PS Form **3817**, April 2007 PSN 7530-02-000-9065

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This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:

PAMELA J GOYETTE & ANDREA E SCHOBER
136 CHURCH ST
BROOKLYN CT 06234

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:

ERIC V & SIMONNE D BRAIS
30 MALBONE LN
BROOKLYN CT 06234

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:

MICHELE BRENNAN
132 CHURCH ST
BROOKLYN CT 06234

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

Postmark Here

To:

JOHN F TURNER III & SARAH K SAVOLIS
92 CHURCH ST
BROOKLYN CT 06234

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
DANIELSON, CT
06239
JUL 07, 20
AMOUNT
\$1.50
R2305H130608-08



0000

U.S. POSTAGE PAID
DANIELSON, CT
06239
JUL 07, 20
AMOUNT
\$1.50
R2305H130608-08



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U.S. POSTAGE PAID
DANIELSON, CT
06239
JUL 07, 20
AMOUNT
\$1.50
R2305H130608-08

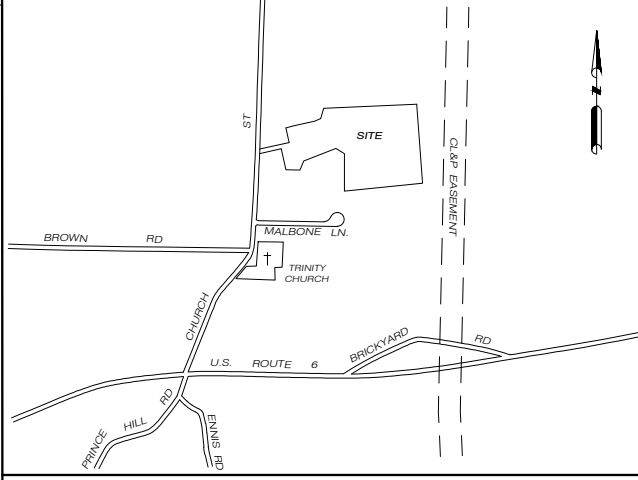
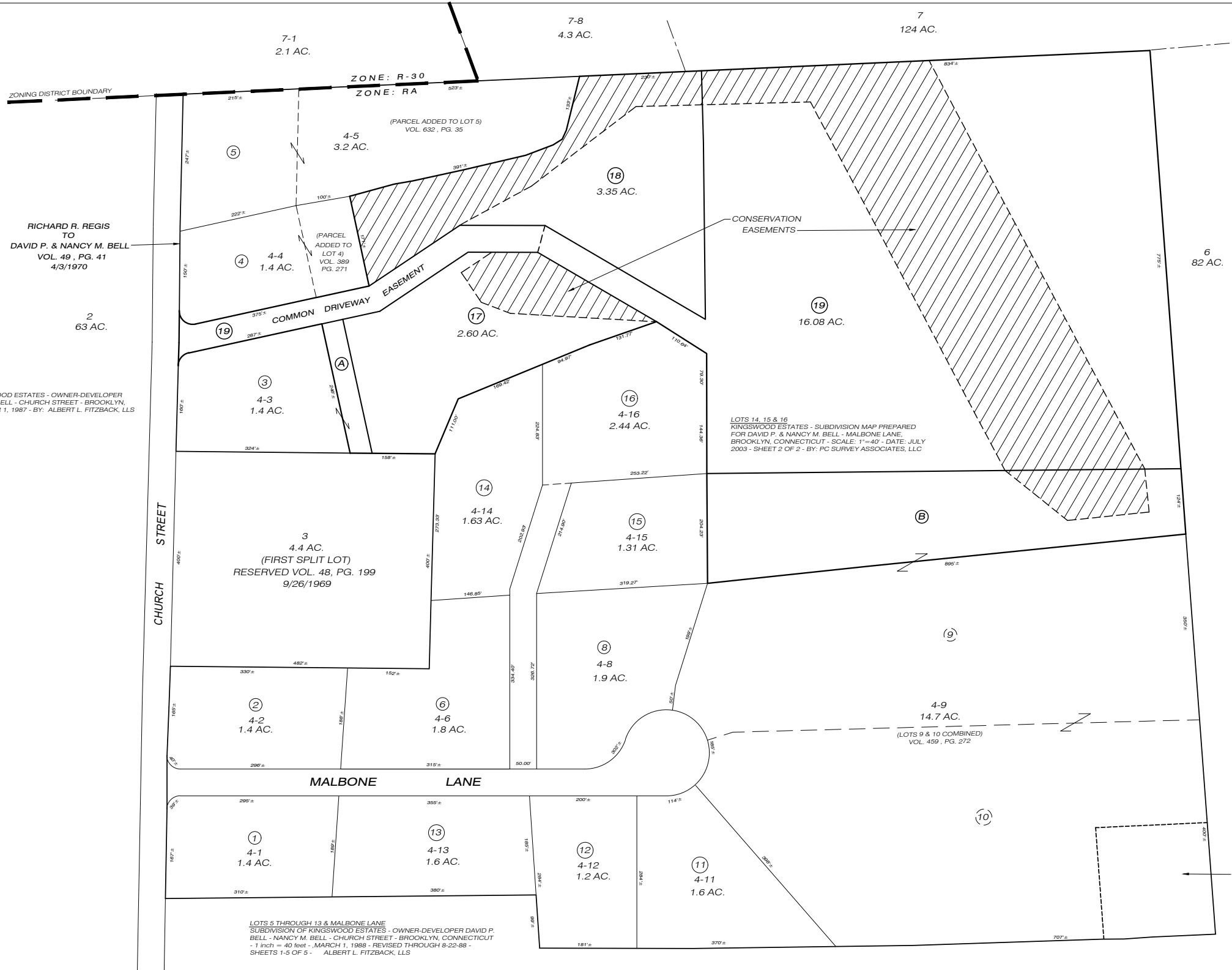


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U.S. POSTAGE PAID
DANIELSON, CT
06239
JUL 07, 20
AMOUNT
\$1.50
R2305H130608-08



0000



LOCATION MAP SCALE: 1" = 1000'

LOTS 1, 2, 3 & 4
SUBDIVISION OF KINGSWOOD ESTATES - OWNER-DEVELOPER DAVID P. BELL, NANCY M. BELL - CHURCH STREET - BROOKLYN, CONNECTICUT - OCTOBER 1, 1987 - BY: ALBERT L. FITZBACK, LLS

LOTS 14, 15 & 16
KINGSWOOD ESTATES - SUBDIVISION MAP PREPARED FOR DAVID P. & NANCY M. BELL - MALBONE LANE, BROOKLYN, CONNECTICUT - SCALE: 1"=40' - DATE: JULY 2003 - SHEET 2 OF 2 - BY: PC SURVEY ASSOCIATES, LLC

LOTS 5 THROUGH 13 & MALBONE LANE
SUBDIVISION OF KINGSWOOD ESTATES - OWNER-DEVELOPER DAVID P. BELL - NANCY M. BELL - CHURCH STREET - BROOKLYN, CONNECTICUT - 1 inch = 40 feet - MARCH 1, 1989 - REVISED THROUGH 9-22-88 - SHEETS 1-5 OF 5 - ALBERT L. FITZBACK, LLS

- NOTES:
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A COMPILATION PLAN CONFORMING TO HORIZONTAL ACCURACY CLASS 'D'. THIS MAP HAS BEEN COMPILED FROM OTHER MAPS, DEED DIMENSIONS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
 2. PROPERTY LINES SHOWN BASED ON BROOKLYN ASSESSOR'S MAPPING.
 3. ZONING DISTRICT: RA
 4. TOTAL SUBDIVIDED AREA = 25.56± ACRES.
 5. SUBDIVIDED PARCEL IS SHOWN AS MAP 35, LOT 4 OF THE TOWN OF BROOKLYN ASSESSOR'S MAPS.
 6. KINGSWOOD ESTATES LOTS 1, 2, 3 & 4 WERE APPROVED 1/7/1988.
 7. KINGSWOOD ESTATES LOTS 5,6,8,9,10,11,12 & 13 WERE APPROVED 10/20/1988.
 8. KINGSWOOD ESTATES LOTS 14,15 & 16 WERE APPROVED 8/3/2003.
 9. REFERENCE DEEDS: VOL. 49, PG. 41 AND VOL. 68, PG. 473 OF THE BROOKLYN LAND RECORDS.

RICHARD R. REGIS TO DAVID P. & NANCY M. BELL VOL. 68, PG. 473 4/3/1970

OWNER/APPLICANT: DAVID P. & NANCY M. BELL PO BOX 358 BROOKLYN, CT 06234

PARCEL HISTORY MAP

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION
CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES _____ IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

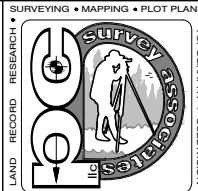
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.L.S. NO. 70155 7/6/2020 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

KINGSWOOD ESTATES

COMPILATION PLAN
SUBDIVISION OF LAND
PREPARED FOR
DAVID P. BELL & NANCY M. BELL



CHURCH STREET
BROOKLYN, CONNECTICUT

63 SNAKE MEADOW RD
KILLINGLY, CT 06239
860 774 6230

DATE: APRIL 2020
SCALE: 1" = 100'

SHEET NO: 1 OF 5
REVISED: 7/6/2020 - OPEN SPACE



JOB NO: 18016 F.B. NO: 220 DRAWN BY: P.A.T. MAP NO:

N/F
KYLE M. TIMOTEO
VOL. 576, PG. 216

N/F
PAMELA J. GOYETTE
ANDREA E. SCHOBER
VOL. 624, PG. 269

N/F
FCR REALTY, LLC
VOL. 97, PG. 810

N/F
DANIEL MURRAY
JESSE RAINVILLE
VOL. 632, PG. 35

5

4

19

3

N/F
DAVID P. & NANCY M. BELL
VOL. 49, PG. 41

AREA = 0.23± ACRES
10,034± SQ. FT.

N/F
JOHN F. TURNER III
SARAH K. SAVOLIS
VOL. 511, PG. 290

N 39° 51' 45" E
18.49'
N 72° 10' 21" E
20.23'
N 83° 54' 29" E
54.30'

S 85° 32' 44" E
35.19'
S 87° 31' 50" E
120.18'

18
AREA = 3.35± ACRES
146,073± SQ. FT.

SUBJECT TO
RIGHT TO DRAIN
IN FAVOR OF LOTS 17 & 19

OPEN SPACE
CONSERVATION
EASEMENT "A"
AREA = 0.59± ACRES
25,530± SQ. FT.

17
AREA = 2.60± ACRES
113,338± SQ. FT.

ENGINEERED SEPTIC SYSTEM REQUIRED

16
N/F
STEVEN BESSETTE
ADRIENNE BESSETTE
VOL. 247, PG. 197

15
N/F
ERIC V. BRAIS
SIMONE D. BRAIS
VOL. 537, PG. 28

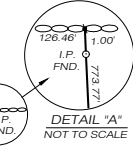
19
AREA = 16.08± ACRES
700,234± SQ. FT.

AREA EXCLUDING ACCESS = 14.83± ACRES
646,055± SQ. FT.

B
AREA = 3.30± ACRES
143,812± SQ. FT.

TO BE CONVEYED TO
DONALD E. JR. & LAURA L. WILLIAMS
TO BECOME CONTIGUOUS WITH &
AN UNDIVIDED PART OF ADJUTING LAND

9
N/F
DONALD E. JR. & LAURA L. WILLIAMS
VOL. 459, PG. 272



N/F
FOR REALTY, LLC
VOL. 358, PG. 78

- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON A DEPENDENT RESURVEY AND ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. SUBDIVISION OF KINGSWOOD ESTATES - OWNER-DEVELOPER DAVID P. BELL NANCY M. BELL - CHURCH STREET - BROOKLYN, CONNECTICUT - OCTOBER 1, 1987 - BY: ALBERT L. FITZBACK, LLS
 - B. SUBDIVISION OF KINGSWOOD ESTATES - OWNER-DEVELOPER DAVID P. BELL NANCY M. BELL - CHURCH STREET - BROOKLYN, CONNECTICUT - 1 inch = 40 feet MARCH 1, 1988 - REVISED THROUGH 8-22-88 - SHEETS 1-5 OF 5 - ALBERT L. FITZBACK, LLS
 - C. KINGSWOOD ESTATES - SUBDIVISION MAP PREPARED FOR DAVID P. & NANCY M. BELL - MALBONE LANE, BROOKLYN, CONNECTICUT - SCALE: 1"=40' - DATE: JULY 2003 - SHEET 2 OF 2 - BY: PC SURVEY ASSOCIATES, LLC
 - D. SUBDIVISION MAP PREPARED FOR FCR REALTY PARTNERSHIP - CHURCH STREET, BROOKLYN, CONNECTICUT - SCALE: 1"=40' - DATE: FEB. 2007 - SHEET 2 OF 2 - REVISED 5/3/07 - BY: PC SURVEY ASSOCIATES, LLC
 - E. MAP SHOWING LAND OF ROBERT J. WEAVER - BROOKLYN, CONNECTICUT - SCALE: 1"=40' - MARCH 1984 - MBK ASSOCIATES, INC.
 - TOTAL SUBDIVIDED AREA = 25.56± ACRES.
 - ZONING DISTRICT: RA
 - THIS SUBDIVISION IS NOT LOCATED WITHIN F.E.M.A.'s 100-YEAR FLOOD HAZARD ZONE.
 - INLAND WETLANDS DEPICTED AS DELINEATED BY MICHAEL G. SCHAEFER, CPSS AND FIELD LOCATED MAY & JUNE 2006.
 - PARCEL 'A' & PARCEL 'B' ARE TO BE COMBINED WITH ADJUTING PROPERTIES PRIOR TO THE CONVEYANCE OF ADJUTING LOTS 17 AND 19 AND ARE NOT TO BE CONSTRUED AS SEPARATE BUILDING LOTS.
 - OPEN SPACE REQUIREMENTS ARE TO BE MET BY THE CREATION OF A CONSERVATION EASEMENT COVENANT - OPEN SPACE CONSERVATION EASEMENT AREAS = 27% OF SUBDIVIDED AREA.
 - A COMMON DRIVEWAY USE AND MAINTENANCE AGREEMENT SHALL BE RECORDED IN THE BROOKLYN LAND RECORDS PRIOR TO THE CONVEYANCE OF ANY LOT.

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-1	102° 45' 19"	25.00'	44.84'	N 36° 13' 11" W	39.06'
C-2	76° 09' 27"	25.00'	33.23'	N 54° 19' 00" E	30.84'

- LEGEND
- IRON PIN / DRILL HOLE FOUND
 - ◊ ANGLE POINT
 - IRON ROD TO BE SET
 - STONE WALL

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155
DATE: 4/30/2020

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

KINGSWOOD ESTATES

SUBDIVISION MAP
PREPARED FOR
DAVID P. BELL & NANCY M. BELL

CHURCH STREET
BROOKLYN, CONNECTICUT
DATE: APRIL 2020
SCALE: 1" = 60'

SURVEYING • MAPPING • PLOT PLANS

LAND RECORD RESEARCH

63 SNAKE MEADOW RD
KILLINGLY, CT 06239
860 774 6230

SHEET NO: 2 OF 5
REVISED: 7/6/2020 - OPEN SPACE

JOB NO: 18016 F.B. NO: 220 DRAWN BY: P.A.T. MAP NO:





- NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT"; AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A COMPILATION MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "D". SEE SHEETS 2 & 4 FOR PROPERTY LINE & LOT DEVELOPMENT INFORMATION. TOPOGRAPHIC FEATURES DEPICTED HEREON WERE TAKEN FROM AERIAL PHOTOGRAMMETRY PROVIDED BY CHAS. H. SELLS, INC. DATED JUNE 2006 AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS T-3. VERTICAL DATUM IS NGVD88. THIS MAP HAS BEEN COMPILED FROM OTHER MAPS, DEED DIMENSIONS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
 2. ZONING DISTRICT: RA
 3. PROPOSED IMPROVEMENTS ARE CONCEPTUAL LOCATIONS TO SHOW LOT SUITABILITY ONLY.
 4. SOLAR ACCESS WAS CONSIDERED IN THE DESIGN OF THIS SUBDIVISION. THE HOUSE LOCATIONS DEPICTED ARE ONLY CONCEPTUAL IN NATURE AND IT IS UP TO THE LOT DEVELOPER TO TAKE ADVANTAGE OF THE PASSIVE SOLAR OPPORTUNITIES PRESENTED BY THESE LOTS AT THE TIME OF ACTUAL HOUSE CONSTRUCTION. THE DEVELOPER IS ENCOURAGED TO UTILIZE PASSIVE SOLAR TECHNIQUES AND IT IS RECOMMENDED THAT SUCH FACTORS AS HOUSE ORIENTATION, WINDOW LOCATION AND STYLE, CLEARING LIMITS AND POSITION ON THE LOT BE TAKEN INTO CONSIDERATION WHEN DEVELOPMENT OCCURS.
 5. THE INLAND WETLANDS & WATERCOURSES WERE FIELD DELINEATED BY MICHAEL G. SCHAEFER, SOIL SCIENTIST AND FIELD LOCATED BY PC SURVEY ASSOCIATES, LLC IN MAY AND JUNE 2006.
 6. MAXIMUM DRIVEWAY GRADE PERMITTED IS 12%. GRADES OF 10% OR GREATER ARE TO BE PAVED. PROPOSED DRIVEWAY GRADES DEPICTED ARE AT LESS THAN 10%.

SOILS WITHIN DEVELOPMENT AREAS

CHARTLTON-CHATFIELD COMPLEX, 0-15% SLOPES, VERY ROCKY
 FINE SANDY LOAM TO GRAVELLY FINE SANDY LOAM
 WELL DRAINED, WATER TABLE GREATER THAN 80", BEDROCK 20" - 80"

SUTTON, 0-8% SLOPES, VERY STONY
 FINE SANDY LOAM TO GRAVELLY SANDY LOAM
 MODERATELY WELL DRAINED, WATER TABLE 12-27"

FARMLAND SOILS ON SUBDIVIDED PROPERTY

NINIGRET FINE SANDY LOAM, 0-3% SLOPES
 CANTON & CHARLTON FINE SANDY LOAMS, 3-8% SLOPES
 HINKLEY LOAMY SAND, 3-15% SLOPES
 WALPOLE LOAMY SAND, 0-3% SLOPES
 AREA OF FARMLAND SOILS: 10± ACRES

WETLAND SOILS ON SUBDIVIDED PROPERTY

RIDGEBURY & LEICESTER
 WALPOLE

* SOILS INFORMATION AS TAKEN FROM USDA NRCS WEBSITE

APPROVED BY THE BROOKLYN INLAND WETLANDS & WATERCOURSES COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155
 DATE: 4/30/2020

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

- LEGEND**
- IRON PIN FOUND
 - IRON ROD TO BE SET
 - STONE WALL
 - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - PROPOSED SPOT GRADE
 - ⊠ TEST PIT
 - EROSION CONTROL BARRIER
 - EDGE OF WETLAND
 - - - PROPOSED UNDERGROUND UTILITIES
 - ▨ SLOPES GREATER THAN 15%
 - xxxxxx FARMLAND SOILS
 - ~~~~~ PROPOSED CLEARING LIMIT

KINGSWOOD ESTATES

COMPILATION MAP

LOT DEVELOPMENT AREAS
 SUBDIVISION OF LAND

PREPARED FOR
DAVID P. BELL
NANCY M. BELL

CHURCH STREET
 BROOKLYN, CONNECTICUT

DATE: APRIL 2020
 SCALE: 1" = 80'

63 SNAKE MEADOW RD
 KILLINGLY, CT 06239
 860 774 6230

email: pbsurvey@snhet.net

860 774 6230

SHEET NO: 3 OF 5

REVISED:
 7/6/2020 - OPEN SPACE
 7/29/2020

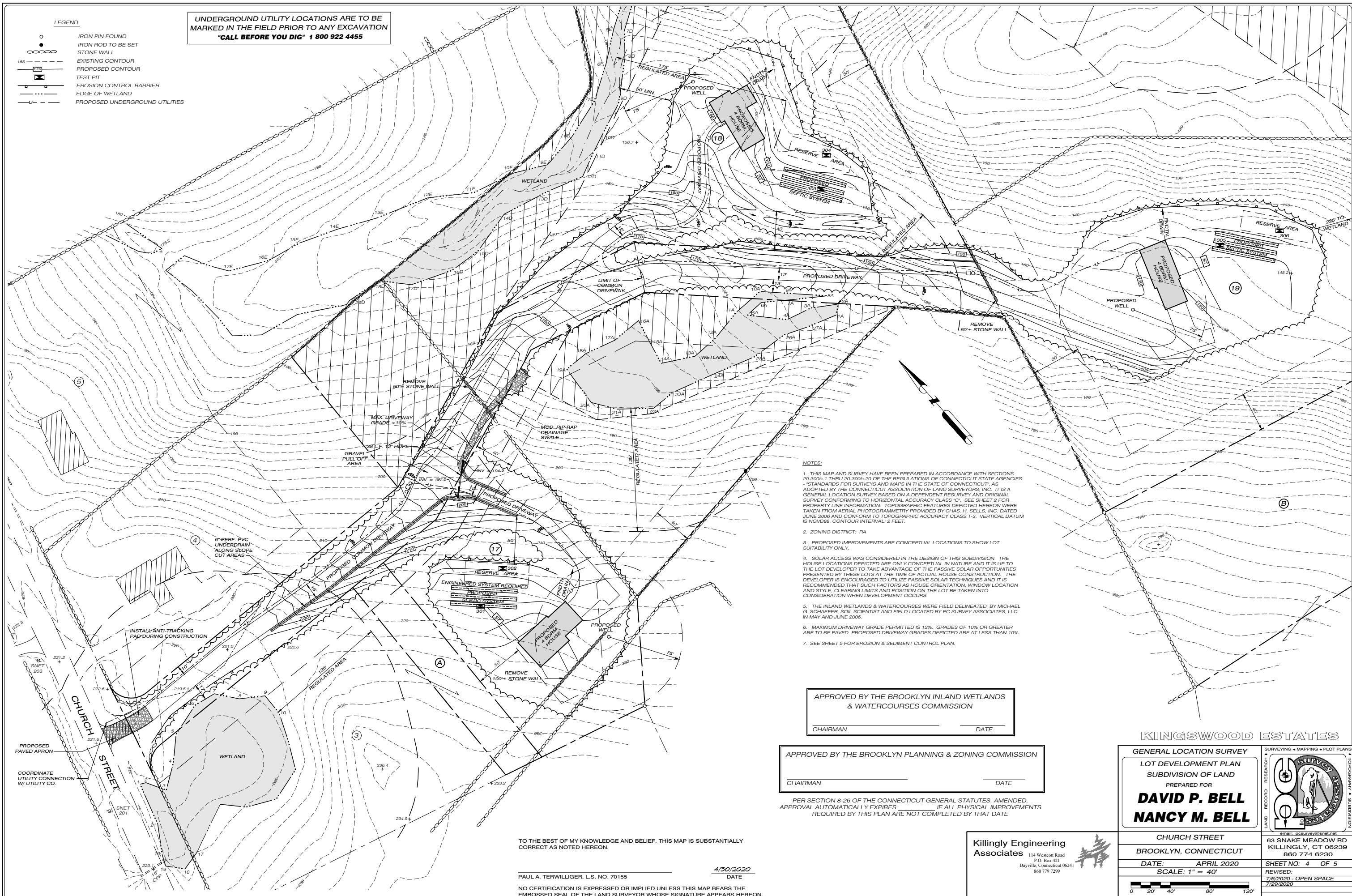
0 40' 80' 160' 240'

JOB NO: 18016 F.B. NO: N/A DRAWN BY: P.A.T. MAP NO:

LEGEND

- IRON PIN FOUND
- IRON ROD TO BE SET
- STONE WALL
- - - EXISTING CONTOUR
- · - · - PROPOSED CONTOUR
- ⊠ TEST PIT
- EROSION CONTROL BARRIER
- · · · · EDGE OF WETLAND
- - - PROPOSED UNDERGROUND UTILITIES

UNDERGROUND UTILITY LOCATIONS ARE TO BE MARKED IN THE FIELD PRIOR TO ANY EXCAVATION
"CALL BEFORE YOU DIG" 1 800 922 4455



NOTES:

1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A DEPENDENT RESURVEY AND ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "C". SEE SHEET 2 FOR PROPERTY LINE INFORMATION. TOPOGRAPHIC FEATURES DEPICTED HEREON WERE TAKEN FROM AERIAL PHOTOGRAMMETRY PROVIDED BY CHAS. H. SELLS, INC. DATED JUNE 2006 AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS T-3. VERTICAL DATUM IS NAVD83. CONTOUR INTERVAL: 2 FEET.
2. ZONING DISTRICT: RA
3. PROPOSED IMPROVEMENTS ARE CONCEPTUAL LOCATIONS TO SHOW LOT SUITABILITY ONLY.
4. SOLAR ACCESS WAS CONSIDERED IN THE DESIGN OF THIS SUBDIVISION. THE HOUSE LOCATIONS DEPICTED ARE ONLY CONCEPTUAL IN NATURE AND IT IS UP TO THE LOT DEVELOPER TO TAKE ADVANTAGE OF THE PASSIVE SOLAR OPPORTUNITIES PRESENTED BY THESE LOTS AT THE TIME OF ACTUAL HOUSE CONSTRUCTION. THE DEVELOPER IS ENCOURAGED TO UTILIZE PASSIVE SOLAR TECHNIQUES AND IT IS RECOMMENDED THAT SUCH FACTORS AS HOUSE ORIENTATION, WINDOW LOCATION AND STYLE, CLEARING LIMITS AND POSITION ON THE LOT BE TAKEN INTO CONSIDERATION WHEN DEVELOPMENT OCCURS.
5. THE INLAND WETLANDS & WATERCOURSES WERE FIELD DELINEATED BY MICHAEL G. SCHAEFER, SOIL SCIENTIST AND FIELD LOCATED BY PC SURVEY ASSOCIATES, LLC IN MAY AND JUNE 2006.
6. MAXIMUM DRIVEWAY GRADE PERMITTED IS 12%. GRADES OF 10% OR GREATER ARE TO BE PAVED. PROPOSED DRIVEWAY GRADES DEPICTED ARE AT LESS THAN 10%.
7. SEE SHEET 5 FOR EROSION & SEDIMENT CONTROL PLAN.

APPROVED BY THE BROOKLYN INLAND WETLANDS & WATERCOURSES COMMISSION
 CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION
 CHAIRMAN _____ DATE _____

PER SECTION 8-28 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

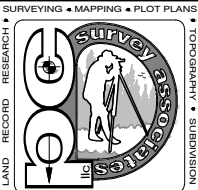
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155
 4/30/2020
 DATE
 NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

Killingly Engineering Associates
 114 Westcott Road
 P.O. Box 421
 Dayville, Connecticut 06241
 860 779 7299

KINGSWOOD ESTATES

GENERAL LOCATION SURVEY
 LOT DEVELOPMENT PLAN
 SUBDIVISION OF LAND
 PREPARED FOR
DAVID P. BELL
NANCY M. BELL



CHURCH STREET
 BROOKLYN, CONNECTICUT

DATE: APRIL 2020
 SCALE: 1" = 40'

7/6/2020 - OPEN SPACE
 7/29/2020

63 SNAKE MEADOW RD
 KILLINGLY, CT 06239
 860 774 6230

SHEET NO: 4 OF 5
 REVISED:
 7/6/2020 - OPEN SPACE
 7/29/2020

JOB NO: 18016 F.B. NO: DRAWN BY: P.A.T. MAP NO:

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

ALL EROSION AND SEDIMENT CONTROL MEASURES AND PROCEDURES SHALL CONFORM TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.

DEVELOPMENT

PROPOSED DEVELOPMENT WILL CREATE 3 NEW BUILDING LOTS. ACTIVITIES TO INCLUDE CONSTRUCTION OF A COMMON AND INDIVIDUAL DRIVEWAYS, HOUSES, SEPTIC SYSTEMS, WELLS, AND SITE GRADING. THE PRIMARY CONCERN OF THIS EROSION & SEDIMENT CONTROL PLAN IS TO PREVENT EXCESSIVE EROSION AND KEEP ERODED SEDIMENT FROM RUNNING OFF SITE OF THE PROPOSED DEVELOPMENT OR INTO WETLAND AREAS. NO MATERIAL SHALL BE PLACED WITHIN A REGULATED WETLAND AREA EITHER ON OR OFF SITE.

CONSTRUCTION SEQUENCE: (INDIVIDUAL LOT DEVELOPMENT)

- 1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES ALONG DOWN SLOPE SIDE OF THE PROPOSED LIMITS OF DISTURBANCE.
2. STRIP & STOCKPILE TOPSOIL.
3. PROVIDE ANTI TRACKING PAD AND TEMPORARY POWER TO THE SITE.
4. EXCAVATE FOUNDATION AND BEGIN CONSTRUCTION OF RESIDENCE.
5. INSTALL SEPTIC SYSTEM AND WELL.
6. PROVIDE DRIVEWAY AND UTILITIES TO THE RESIDENCE.
7. LOAM, SEED & MULCH DISTURBED AREAS.
8. REMOVE EROSION AND SEDIMENT CONTROL WHEN VEGETATIVE COVER HAS BEEN ESTABLISHED.

GENERAL DEVELOPMENT PLAN

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN OF BROOKLYN PLANNING AND ZONING COMMISSION, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER OR WETLANDS AGENT TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON APPROVAL WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE 'SILT FENCE INSTALLATION & MAINTENANCE' AND 'HAY BALE INSTALLATION & MAINTENANCE' SECTIONS OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 2 TO 1. THERE SHALL BE NO BURIAL OF STUMPS. A HAY BALE OR SILT FENCE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO EACH SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDING AND RE-ESTABLISHED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITHIN ONE SEASON (SPRING OR FALL) OF THE COMPLETION OF THE PROJECT BEFORE A CERTIFICATE OF COMPLIANCE WILL BE ISSUED.

ONCE STABILIZATION HAS BEEN COMPLETED AND APPROVED BY THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

SILT FENCE INSTALLATION AND MAINTENANCE:

- 1. DIG A 6" DEEP TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POSTS 1.5 FEET INTO THE GROUND.
3. LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. INSPECTIONS WILL BE MADE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS.
6. SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHT OF 1 FOOT BEHIND THE BARRIER OR HALF THE HEIGHT OF THE BARRIER AND ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
7. REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
- THE FENCE HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- THE FENCE HAS BEEN MOVED OUT OF POSITION, OR
- THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

HAY BALE INSTALLATION AND MAINTENANCE:

- 1. BALES SHALL BE PLACED AS SHOWN ON THE PLANS WITH THE ENDS OF THE BALES TIGHTLY ABUTTING EACH OTHER.
2. EACH BALE SHALL BE SECURELY ANCHORED WITH AT LEAST 2 STAKES AND GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER FROM PASSING BETWEEN THE BALES.
3. INSPECT BALES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
4. REMOVE SEDIMENT BEHIND THE BALES WHEN IT REACHES HALF THE HEIGHT OF THE BALE AND DEPOSIT IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
5. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:
- THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- THE BARRIER HAS BEEN MOVED OUT OF POSITION, OR
- THE HAY BALES HAVE DETERIORATED OR BEEN DAMAGED.

TEMPORARY VEGETATIVE COVER

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS IT SHALL BE LOOSENED TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. SHALL BE USED. RYE GRASS APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVIDE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND COARSE MATTER SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. AS A TEMPORARY MULCH. APPLY A JUTE NETTING COVER TO SLOPES OF 3:1 OR GREATER SLOPE.

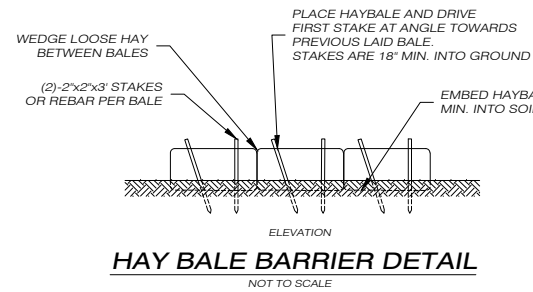
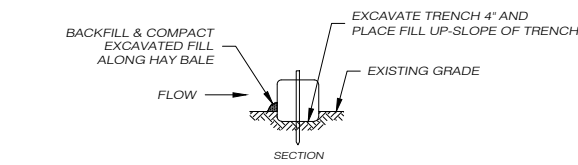
PERMANENT VEGETATIVE COVER

TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION AND FILL PLACEMENT HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS, APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

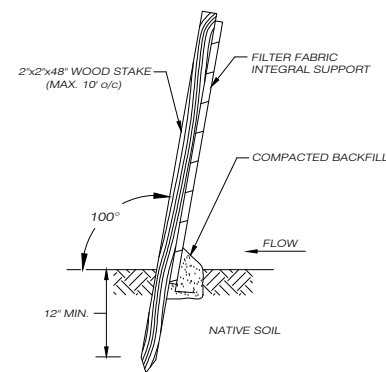
Table with 3 columns: SEED MIXTURE, LBS./ACRE, LBS./1000 S.F. Rows include Kentucky Bluegrass, Creeping Red Fescue, and Perennial Ryegrass.

THE RECOMMENDED SEEDING DATES ARE: APRIL 1 - JUNE 15 AND AUGUST 1 - SEPTEMBER 15

FOLLOWING SEEDING, MULCH WITH WEED FREE STRAW AND APPLY A JUTE NETTING COVER TO AREAS OF 3:1 OR GREATER SLOPE

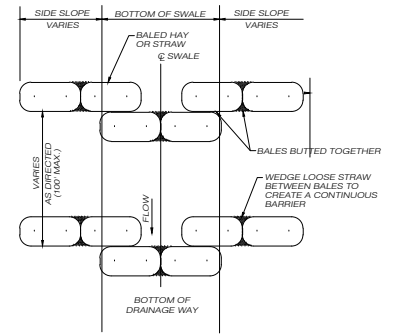


HAY BALE BARRIER DETAIL NOT TO SCALE

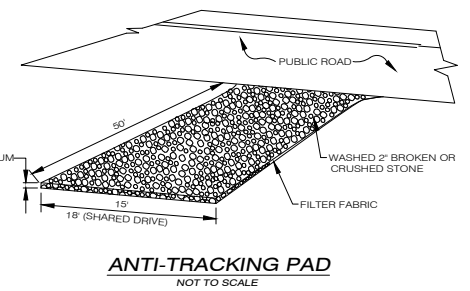
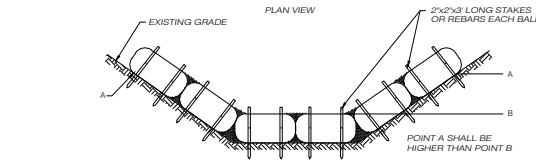


SILT FENCE DETAIL NOT TO SCALE

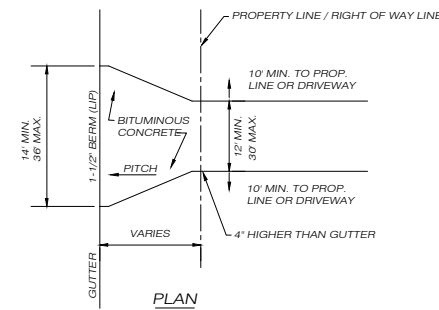
APPROVED BY THE BROOKLYN INLAND WETLANDS & WATERCOURSES COMMISSION. Includes Chairman and Date fields.



HAYBALE CHECK DAM NOT TO SCALE

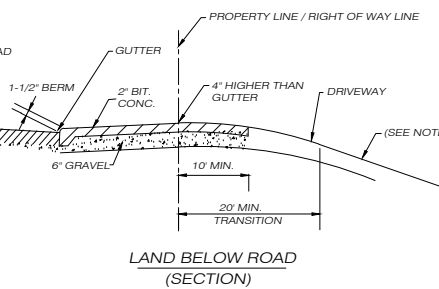


ANTI-TRACKING PAD NOT TO SCALE



STANDARD DRIVEWAY DETAIL NOT TO SCALE

- NOTES: 1. MAXIMUM DRIVEWAY GRADE IS 12%. 2. DRIVEWAYS IN EXCESS OF 10% GRADE SHALL BE PAVED WITH BITUMINOUS CONCRETE. 3. SIDE SLOPES TO BE 3H:1V. 4. REFERENCE IS MADE TO BROOKLYN PUBLIC IMPROVEMENT SPECIFICATIONS.



LAND BELOW ROAD (SECTION)

STANDARD DRIVEWAY DETAIL NOT TO SCALE

SOIL TEST DATA - LOT 17

TP 301 0-12" TOPSOIL 12-23" FINE SANDY LOAM 23-57" MOTTLLED FINE SANDY LOAM 57-68" GROUNDWATER

MOTTLING @ 23" WATER @ 57" NO LEDGE

TP 302 0-12" TOPSOIL 12-25" FINE SANDY LOAM 25-71" MOTTLLED FINE SANDY LOAM w/ GRAVEL/COBBLES 71-78" GROUNDWATER

MOTTLING @ 25" WATER @ 71" NO LEDGE

PERCOLATION RATE: 8 MIN./INCH AT 18" DEPTH

SOIL TEST DATA - LOT 18

TP 303 0-11" TOPSOIL 11-36" LOAMY SAND 36-84" GRAVELLY MED. LOAMY SAND w/ COBBLES/STONES

NO MOTTLING NO WATER NO LEDGE

TP 304

0-9" TOPSOIL 9-37" LOAMY SAND 37-83" GRAVELLY MED. LOAMY SAND w/ COBBLES/STONES

NO MOTTLING NO WATER NO LEDGE

PERCOLATION RATE: 2.35 MIN./INCH @ 18" DEPTH

SOIL TEST DATA - LOT 19

TP 305 0-9" TOPSOIL 9-39" GRAVELLY FINE SANDY LOAM 39-85" VERY GRAVELLY/COBBLY LOAMY MED. SAND w/ STONES/BOULDERS

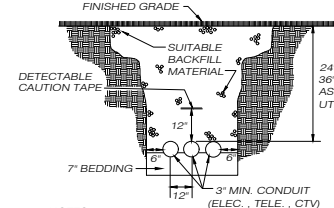
NO MOTTLING NO WATER NO LEDGE

TP 306

0-9" TOPSOIL 9-25" GRAVELLY FINE SANDY LOAM 25-93" VERY GRAVELLY/COBBLY LOAMY MED. SAND w/ STONES/BOULDERS

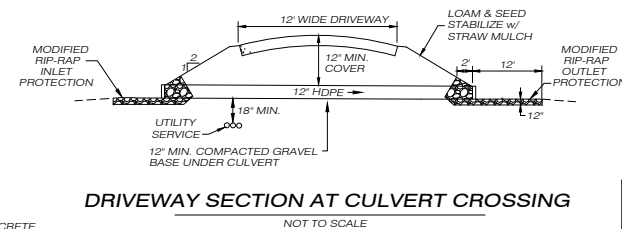
NO MOTTLING NO WATER NO LEDGE

PERCOLATION RATE = 1.23 MIN./INCH AT 24" DEPTH



NOTES: 1. OSHA STANDARDS REQUIRE THAT SPOILS BE PLACED 24" MIN. FROM EDGE OF TRENCH. 2. SUITABLE BACKFILL SHALL NOT CONTAIN ASH, CINDER, SHELL, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" MAX. DIMENSION. 3. FUEL OR WATER LINES SHALL BE NO CLOSER THAN 18" IN ANY DIRECTION.

UTILITY TRENCH DETAIL NOT TO SCALE



DRIVEWAY SECTION AT CULVERT CROSSING NOT TO SCALE

SEPTIC SYSTEM NOTES - LOT 17

4 BEDROOM HOUSE PERCOLATION RATE: 8 MIN./INCH EFFECTIVE LEACHING AREA REQUIRED = 577.5 SF DEPTH TO RESTRICTIVE LAYER = 23" MLSS: 26(HF) x 1.0(PF) x 1.75(FF) = 45.5' MLSS USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES MAXIMUM DEPTH INTO GRADE: 5' EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF LENGTH OF TRENCH REQUIRED = (577.5 SF)/(3.0 SF/LF) = 192.5 LF USE THREE 65' TRENCHES 8' O/C LSS PROVIDED = 65' LEACHING AREA PROVIDED = 585 SF SEPTIC TANK: 1500 GALLON ENGINEERED SYSTEM REQUIRED

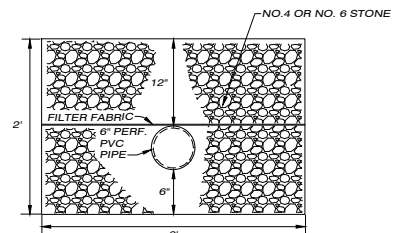
SEPTIC SYSTEM NOTES - LOT 18

4 BEDROOM HOUSE PERCOLATION RATE: 2.35 MIN./INCH EFFECTIVE LEACHING AREA REQUIRED = 577.5 SF DEPTH TO RESTRICTIVE LAYER = N/A MLSS: N/A USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES MAXIMUM DEPTH INTO GRADE: N/A EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF USE THREE 65' TRENCHES 8' O/C LEACHING AREA PROVIDED = 585 SF SEPTIC TANK: 1500 GALLON

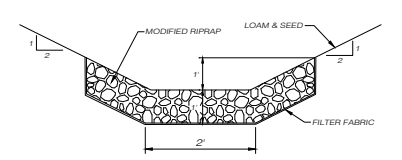
SEPTIC SYSTEM NOTES - LOT 19

4 BEDROOM HOUSE PERCOLATION RATE: 1.23 MIN./INCH EFFECTIVE LEACHING AREA REQUIRED = 577.5 SF DEPTH TO RESTRICTIVE LAYER = N/A MLSS: N/A USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES MAXIMUM DEPTH INTO GRADE: N/A EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF USE THREE 65' TRENCHES 8' O/C LEACHING AREA PROVIDED = 585 SF SEPTIC TANK: 1500 GALLON

SOIL TESTING PERFORMED 1/17/2020 BY N.D.D.H. FILE NO. 20000155



UNDERDRAIN TRENCH NOT TO SCALE



MODIFIED RIPRAP SWALE NOT TO SCALE

KINGSWOOD ESTATES

Subdivision of Land Erosion Control Plan & Construction Details. Prepared for David P. Bell and Nancy M. Bell. Includes contact info for Killingly Engineering Associates and Kingswood Estates.

Killingly Engineering Associates logo and contact information: 114 Westcott Road, P.O. Box 421, Dayville, Connecticut 06241, 860.779.7299.

Professional Engineer and Surveyor seal for David P. Bell, No. 18016, State of Connecticut, expires 12/31/2022.

NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

ENGINEERING PLAN REVIEW PERTAINING TO A 3-LOT SUBDIVISION (ASSESSOR'S MAP 35, LOT 4) CHURCH STREET BROOKLYN, CT (July 13, 2020)

The comments contained herein pertain to my review of plans for a 3-lot residential subdivision on Church Street in Brooklyn, Connecticut, consisting of five (5) sheets, prepared for David P. Bell and Nancy M. Bell by PC Survey Associates, LLC and Killingly Engineering Associates, dated April 2020 with revision date of July 6, 2020 (Sheets 1-4). My comments are as follows:

Sheet 2 of 5 – Subdivision Map

1. Recommend adding “tangent” lengths to the curve table.
2. Recommend placing detectable permanent markers at each corner or angle point of the boundary lines for each Conservation Easement.

Sheet 3 of 5 – Lot Development Areas Subdivision of Land

1. Since there is proposed grading and drainage structures on this plan, it is recommended that the signature block and seal of the professional engineer be added to this plan as well as the Killingly Engineering Associates logo.

Sheet 4 of 5 – Lot Development Plan Subdivision of Land

1. Wetland flagging is shown on this plan. However, submitted with the Applicant’s wetlands application is a letter from soil scientist Michael Schaefer, dated May 29, 2006 regarding the wetland features that he delineated on May 27, 2006. Since the time of delineating the wetlands, several lots in the Kingswood Estates subdivision have been developed with single-family homes. Presently, it is unknown if any lot development has had an impact on the 14 year old wetland delineation, as such, I do not believe it is unreasonable to have the wetlands delineated again to see if any of their boundaries have changed. A signature block for the wetlands scientist should be placed on the plan.
2. Recommend using flared end sections on inlet and outlet of 12” cross culvert.

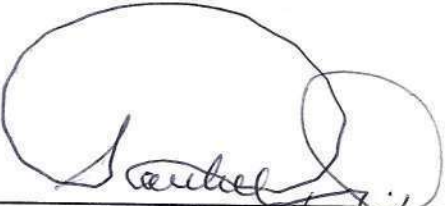
3. A signature block is missing for the professional engineer responsible for all engineering aspects of the plan.

Sheet 5 of 5 – Erosion Control Plan and Construction Details

1. In the “Underdrain Trench” detail, how are the perforations to be oriented – up or down? Also, the current Connecticut Department of Transportation publication is Form 818, thus the note should be corrected.
2. A signature block is missing for the professional engineer responsible for all engineering aspects of the plan.
3. In the “Residential Driveway Detail,” it should be noted that side slopes in cut or fill shall be no steeper than 3H:1V and a reference be made to the Brooklyn Public Improvement Specifications.

General Comment

1. Drainage calculations have not been submitted for review for the 12” cross culvert and the trapezoidal drainage swale.

By:  PE 7/13/2020
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

Brooklyn Conservation Commission

P. O. Box 356
Brooklyn, CT 06234

August 3, 2020

Attn: Planning and Zoning Commission, Town Planner

Re: David & Nancy Bell, Church Street, Map #35, Lot #4, Zone RA, Total Acres 25.56,
Number of Lots 3

The Brooklyn Conservation Commission reviewed the above application on August 3, 2020 via Webex, based on the Brooklyn Natural Resource Inventory maps and the Plan of Conservation and Development (POCD).

The Brooklyn Conservation Commission recommends that the proposed Permanent Conservation Easement Covenant be accepted with the additional provision that while construction and building is underway that the owners take preventative measures to ensure that the conservation easement areas are not disturbed and that they remain intact in their current natural states.

Respectfully submitted,



Jeannine Noel

PLANNING AND ZONING COMMISSION
TOWN OF BROOKLYN
CONNECTICUT

Received Date _____

Application # SD _____

Check # _____

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant David & Nancy Bell Phone 860 774 3838

Mailing Address PO Box 358, Brooklyn, CT 06234

Applicants Interest in the Property owner

Property Owner SAME Phone _____

Mailing Address _____

Name of Engineer/Surveyor pc survey associates, llc / Killingly Engineering Associates

Address 63 Snake Meadow Road, Killingly, CT 06239

Contact Person Paul A. Terwilliger, LS Phone 860 774 6230 Fax _____

Name of Attorney _____

Address _____

Phone _____ Fax _____

Subdivision _____ Re subdivision _____

Property location 131 Prince Hill Road

Map # 34 Lot # 52 Zone RA Total Acres 6 Acres to be Divided 6

Number of Proposed Lots 3 Length of New Road Proposed n/a

Sewage Disposal: Private Public _____

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary n/a Storm n/a

Water: Private Public _____

Is parcel located within 500 feet of an adjoining Town? no

The following shall accompany the application when required:

4.2.2 Fee \$ _____ State (\$60.00) _____ 4.2.3 Sanitary Report _____ 4.2.5, 3 copies of plans _____

4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.

4.2.6 Erosion & Sediment Control Plans

4.2.7 Certificate of Public Convenience and Necessity

4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: x David P. Bell Date 7/6/20

Owner: x David P. Bell Date 7/6/20

*Note: All consulting fees shall be paid by the applicant



Northeast District Department of Health
69 South Main Street, Unit 4
Brooklyn, CT 06234

Phone: 860-774-7350 / Fax: 860-774-1308 / web: www.nddh.org
OFFICE HOURS: Monday - Friday, 7:00 a.m. - 4:00 p.m.

FILE APPLICATION "B"
(Site Investigation, Septic Plan Review & Permit Application)

PROPERTY LOCATION

TOWN: BROOKLYN STREET #: 131 STREET: PRINCE HILL ROAD
ASSESSOR'S MAP# 34 BLOCK# LOT# 52 DEV.LOT# UTILITY POLE#

PURPOSE OF APPLICATION: (Check all that apply)

SITE INVESTIGATION: PLAN REVIEW: [X] PERMIT:
NO. OF LOTS: 3 SIZE OF LOT(S): 2 AC NO. OF BEDROOMS: 4 WATER SUPPLY: Well or City
RESIDENTIAL [X] or COMMERCIAL: SUBDIVISION: Yes No If yes, is it: NEW or EXISTING
NEW CONST: [X] or REPAIR: SUBDIVISION NAME:
LOT SPLIT: Yes No Are there any easements?
YEAR BUILT:

OWNER INFORMATION

LEGAL OWNER: DAVID & NANCY BELL
MAILING ADDRESS: PO BOX 358
TOWN: BROOKLYN STATE: CT ZIP: 06234 EMAIL:
HOME PHONE: 860 774 3838 WORK PHONE: CELL PHONE:
APPOINTED AGENT FOR OWNER: PC SURVEY ASSOCIATES AGENT ADDRESS 63 SNAKE MEADOW RD
TOWN: KILLINGLY STATE: CT ZIP: 06239 AGENTS PHONE: 860 774 6230
SIGNATURE OF AGENT: DATE:
INSTALLER: INSTALLER ADDRESS:
SIGNATURE OF LEGAL PROPERTY OWNER: DATE:
PERSON TO CONTACT TO SCHEDULE FIELD TESTING: PHONE:

Any misrepresentation by the applicant on this form will cause this application to become void and render any fees paid non-refundable. In the event of application withdrawal by the applicant, NDDH reserves the right to retain a non-refundable processing fee. No services will be rendered until payment is received. Do not fax, return by mail.

Approval to Construct Permits are issued to a specific homeowner and installer, if either were to change, the permit will be voided and re-issued with the new licensed installer or home owner. Applicable permit fee will be assessed for re-issuance of the permit.

NDDH USE ONLY - FILE#

Table with 4 columns: Fee Name, Receipt#, Check#, Date. Rows include Site Investigation Fee, Add'l Testing Fee, Plan Rev. Fee, 1st Revision Fee, 2nd Revision Fee, Septic Permit Fee, Standpipe Monitoring, Consultation Fee, Other Fee.



Northeast District Department of Health
69 South Main Street, Unit 4
Brooklyn, CT 06234
Phone - 860-774-7350 / Fax – 860-774-1308
www.nddh.org

LETTER OF CONSENT

_____ (DATE)

To Whom It May Concern:

I, DAVID BELL, legal property owner of:

Street: 131 PRINCE HILL ROAD, Town: BROOKLYN

Map #: 34, Block #: _____, Lot #: 52, Dev Lot N#: _____,

As recorded in the Town Assessor's Office, do hereby authorize :

PC SURVEY ASSOCIATES, LLC

to act as my agent and grant permission to apply for:

1. X Soil Testing
2. _____ Permit to Construct or Repair a Septic System
3. X Other: PLAN REVIEW

In evaluating this application, I realize that the Northeast District Department of Health has relied on information provided by the applicant or agent. If such information subsequently proves to be false, deceptive, incomplete and/or inaccurate, service will be suspended and any permits issued will be revoked. I understand that a permit to construct is issued to a specific CT Licensed Installer, is the property of the installer, and is not transferable.

The undersigned swears that the information supplied in the completed application is accurate to the best of his/her knowledge and belief.

Signature of Legal Property Owner

Date

Telephone #

Signature of Appointed Agent

Date

Telephone #

B100a / Change in Use Application INSTRUCTIONS

This form is used to conform to the State of Connecticut Public Health Code, Section 19-13-B100a, which governs building conversions and/or changes in use to existing structures, building additions, garages/accessory structures, swimming pools and sewage disposal area preservation.

You are filling out this form to provide the local health department with important information to assure that you:

- Do not build any structures on top of an existing septic system
- Conform to the required separating distances and maintain your property according to the Connecticut Public Health Code

In addition to filling out this form, you will also have to submit the following with your application:

- If your home was built prior to 1985, please have your **deed or the previous owners name** available. This information can be obtained from your Town Clerk.
- A **plot plan** drawn to scale (Example: 1 inch = 20 feet) which shows the location of the house, well, sewer line, and closest property lines. Be sure to indicate distances between each item.
- A **written description** of the proposed addition, accessory structure or pool.
- If proposing an addition to an existing structure, please provide a **sketch** of the **existing** floor plan **and** a **sketch** of the **proposed floor plan** change.

Exemptions

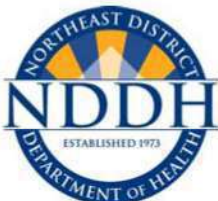
You **are not** required to file a B100a Application for the following:

- Accessory buildings or small sheds which will sit directly on pressure treated plywood or concrete blocks and do not require the pouring of a concrete slab, frost protected footings, sonar tubes or any other foundation that would disturb the soil.
- Anchoring kits that prevent uplift due to winds which are used for temporary structures like removable carports. Anchors should not penetrate the septic system. (Please note, anchoring kits that require the pouring of a concrete slab or permanent footings **do** require a B100a application.)

In the event of application withdrawal by the applicant, NDDH reserves the right to retain a non-refundable processing fee.

In order to avoid unnecessary delays, please be sure to complete the form in its entirety and submit all required information and fees. Do not fax, return by mail.

For additional assistance, please contact us:



Northeast District Department of Health

69 South Main Street, Unit 4

Brooklyn, CT 06234

Phone: 860-774-7350 / Fax: 860-774-1308 / www.nddh.org



Northeast District Department of Health

69 South Main Street, Unit 4

Brooklyn, CT 06234

Phone - 860-774-7350 / Fax - 860-774-1308

www.nddh.org

Office Hours: Monday - Friday 7:00 am – 4:00 pm

B100a /Change in Use Application

To conform to PHC 19-13-B100a – Building Conversions/Changes in Use, Building Additions, Garages/Accessory Structures, Swimming Pools, Sewage Disposal Area Preservation
(See Reverse Side for Instructions.)

Town: BROOKLYN Street #: 131 Street: PRINCE HILL ROAD

Assessor's Map: 34 Block: Lot: 52 Dev. Lot : Lot Size: 8 AC

Legal Owner: DAVID & NANCY BELL

Mailing Address: PO BOX 358

Town: BROOKLYN State: CT Zip: 06234

Work Phone: Home Phone: 860 774 3838 Cell Phone:

Email Address:

Year Built: 1800's No. of Bedrooms: 3

Proposal for Change: SUBDIVISION

Agent for Owner: PC SURVEY ASSOCIATES, LLC

Agent's Mailing Address: 63 SNAKE MEADOW ROAD

Town: KILLINGLY State: CT Zip: 06239

Agent's Phone Number: 860 774 6230

Signature of Legal Property Owner: _____ Date: _____

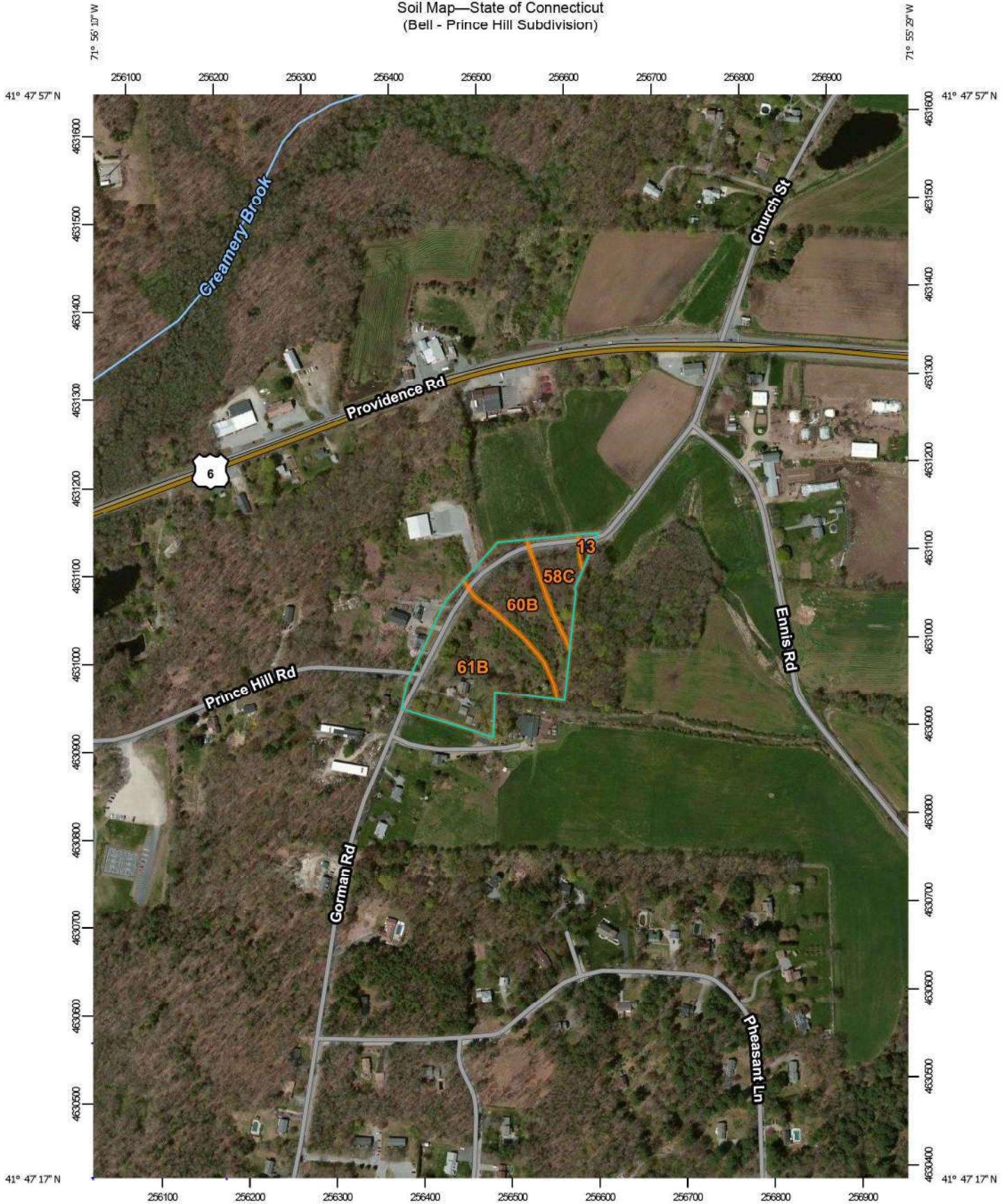
PROPERTY OWNER: By signing above, you certify that the information provided is a true and accurate description of the addition, accessory structure, or pool.

No services will be rendered until payment is received. Do not fax, return by mail. In the event of application withdrawal by the applicant, NDDH reserves the right to retain a non-refundable processing fee.

_____ **NDDH Use Only**
File #: _____ B100a/Change in Use Fee: _____

Name ID #: _____ Receipt # _____ Check # _____ Date: _____

Soil Map—State of Connecticut
(Bell - Prince Hill Subdivision)



Map Scale: 1:6,000 if printed on A portrait (8.5" x 11") sheet.

0 50 100 200 300 Meters

0 250 500 1000 1500 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ties: UTM Zone 19N WGS84









































Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

2/26/2020
Page 1 of 3

MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Soil Map Unit Polygons	 Very Stony Spot
 Soil Map Unit Lines	 Wet Spot
 Soil Map Unit Points	 Other
 Special Point Features	 Special Line Features
 Blowout	 Streams and Canals
 Borrow Pit	 Railroads
 Clay Spot	 Interstate Highways
 Closed Depression	 US Routes
 Gravel Pit	 Major Roads
 Gravelly Spot	 Local Roads
 Landfill	 Aerial Photography
 Lava Flow	
 Marsh or swamp	
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
Survey Area Data: Version 19, Sep 13, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 14, 2011—Aug 27, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
13	Walpole sandy loam, 0 to 3 percent slopes	0.1	1.6%
58C	Gloucester gravelly sandy loam, 8 to 15 percent slopes, very stony	1.1	14.1%
60B	Canton and Charlton fine sandy loams, 3 to 8 percent slopes	2.2	29.6%
61B	Canton and Charlton fine sandy loams, 0 to 8 percent slopes, very stony	4.1	54.6%
Totals for Area of Interest		7.5	100.0%

PERMANENT CONSERVATION EASEMENT COVENANT

WHEREAS, David P. Bell and Nancy M. Bell are the owners of three parcels or lots of land (the "Lots") situated in the Town of Brooklyn, County of Windham and State of Connecticut, shown and designated as Lots 1, 2 and 3 on a map entitled, "SUBDIVISION MAP PREPARED FOR DAVID P. BELL AND NANCY M. BELL – PRINCE HILL ROAD, BROOKLYN, CONNECTICUT – SCALE: 1"=40' – DATE: JUNE 2020 – REVISED 7/29/2020 – SHEET 2 OF 4 - PC SURVEY ASSOCIATES, LLC – 63 SNAKE MEADOW RD, KILLINGLY, CT 06239", as filed in the office of the Brooklyn Town Clerk, to which map reference is hereby made for a more particular description and location of said premises; and

WHEREAS, the above Lots are to be SUBJECT TO a Conservation Easement as depicted on the above referenced map, and more particularly bounded and described as follows:

A certain Conservation Easement over Lot 1, Lot 2, and Lot 3 bounded and described as follows:

Beginning at a point in a stone wall in the easterly line of Lot 3 and the westerly line of land now or formerly of John F. Ennis and Frederick S. Eggers, being S 00° 41' 25" E, 36.33 feet from a T-Bar at a wall corner in the southerly line of Prince Hill Road at the northeasterly corner of said Lot 3 and the northwesterly corner of land of said Ennis and Eggers;
Thence S 23° 19' 07" W, 568.60 feet crossing Lot 3, Lot 2 and Lot 1 to a point in a stone wall in the northerly line of land now or formerly Rudolph & Rita Rzeznikiewicz at the southeasterly corner of Lot 1;
Thence S 74° 27' 55" E, 144.90 feet along a stone wall to a T-Bar in a wall corner;
Thence N 14° 00' 27" E, 244.55 feet along a stone wall to a point in a wall corner;
Thence S 83° 47' 35" E, 12.66 feet to a T-bar in a wall corner, the last three courses bounded southerly and easterly by land now or formerly Rudolph & Rita Rzeznikiewicz;
Thence N 02° 24' 08" E, 325.34 feet along a stone wall to the point of beginning, bounded easterly by land now or formerly of John F. Ennis and Frederick S. Eggers; and

WHEREAS, said David P. Bell and Nancy M. Bell wish to set forth the respective rights, restrictions and obligations of all current and future owners of said Lots;

NOW THEREFORE, it is hereby resolved that:

Lots 1, 2 and 3 shall be conveyed subject to said Conservation Easements and restrictions and covenants set forth in the various paragraphs of this document.

This Conservation Easement ("Easement") shall be deemed to be a covenant that runs with the land and shall be binding upon David P. & Nancy M. Bell, their successors and assigns and all persons claiming through the Grantor in perpetuity.

If the Grantor, its successors and assigns, or any person claiming under them shall violate or attempt to violate any of the covenants herein, it shall be lawful for the Town of Brooklyn, through its Planning and Zoning Commission, to take any and all steps necessary to enforce this

Conservation Easement, to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenant and either to prevent him or them from so doing and to recover damages incurred, to recover all attorney's fees and costs or any other expenses incurred in enforcing this Conservation Easement or in correcting the results of any violation of said Easement.

The Grantor shall include in the conveyance of Lots 1, 2 & 3 the right to enforce this Open Space Easement against any party in violation of any provision of this Conservation Easement. Said conveyance shall contain the language:

"Said premises are conveyed together with the right to enforce the Conservation Easement for purposes of preserving and protecting Open Space that is conveyed as a part of said property, all as provided in said Conservation Easement as of record appears."

To preserve and protect the Easement in perpetuity, the following restrictions on use and activities shall be enforced in perpetuity with respect to said Easement:

1. No structure of any kind may be built on said Easement.
2. No motorized vehicles shall enter upon or travel across the Easement.
3. No dumping shall occur on said Easement.
4. No fires shall occur on said Easement.
5. No mining or natural resource extraction shall occur on said Easement.
6. No harvesting of timber or firewood except as part of a long term management plan prepared by a professional forester and approved in advance by the Brooklyn Conservation Commission shall occur in the easement. No liquidation cuts or clear-cutting are allowed on said Easement.
7. The Lot owners shall have the right to use the easement areas located on their respective Lots for passive recreational activities.

Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

TO HAVE AND TO HOLD the above granted Open Space Easement unto the said Grantee, its successors and assigns forever, to it and its own proper use and behoof.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal on
this day of 20



pc survey associates, llc

63 Snake Meadow Road, Killingly, CT 06239

July 6, 2020

Dear Sir or Madame,

This notice is being sent as required by Section 4.2, subsection 2.10 of the Brooklyn subdivision regulations to inform you of an application for a subdivision within 200 feet of property you own in the town of Brooklyn.

David & Nancy Bell are proposing a **three lot subdivision** of a 6 acre tract of land located on the southerly side of Prince Hill Road. This property is shown as Map 34, Lot 52 of the Brooklyn assessor's records.

Inquiries may be directed to the Town of Brooklyn Planning office at 860 779 3411, ext. 14.

Thank You,



Paul A. Terwilliger, L.S. #70155





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From: PC Survey Associates, LLC
63 Snake Meadow Road
Killingly, CT 06239

To: CIL REALTY INCORPORATED
157 CHARTER OAK AVE 3RD FLOOR
HARTFORD CT 06106

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

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From: PC Survey Associates, LLC
63 Snake Meadow Road
Killingly, CT 06239

To: RUDOLPH RZEZNIKIEWICZ
12 GORMAN RD
BROOKLYN, CT 06234

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065



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From: PC Survey Associates, LLC
63 Snake Meadow Road
Killingly, CT 06239

To: JOHN F ENNIS & FREDERICK S EGGERS
289 PROVIDENCE RD
BROOKLYN CT 06234

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PS Form **3817**, April 2007 PSN 7530-02-000-9065



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From: PC Survey Associates, LLC
63 Snake Meadow Road
Killingly, CT 06239

To: 148 PRINCE HILL LLC
59 SOUTH ST
BROOKLYN CT 06234

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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

BRITTANY L PERRY
158 MAIN ST
PO BOX 682
PUTNAM CT 06260

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PS Form 3817, April 2007 PSN 7530-02-000-9065



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From: PC Survey Associates, LLC

63 Snake Meadow Road

Killingly, CT 06239

To:

MARK SIMONZI
25 TOWER HILL RD
BRIMFIELD MA 01010

Postmark Here

PS Form 3817, April 2007 PSN 7530-02-000-9065



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NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

ENGINEERING PLAN REVIEW PERTAINING TO A 3-LOT SUBDIVISION (ASSESSOR'S MAP 34, LOT 52) PRINCE HILL ROAD BROOKLYN, CT (July 12, 2020)

The comments contained herein pertain to my review of plans for a 3-lot residential subdivision on Prince Hill Road in Brooklyn, Connecticut, consisting of four (4) sheets, prepared for David P. Bell and Nancy M. Bell by PC Survey Associates, LLC and Killingly Engineering Associates, dated June 220. My comments are as follows:

Sheet 2 of 4 – Subdivision Map

1. It is recommended that the Conservation Easement boundary across Lot Nos. 2 and 3 be marked with durable aluminum signs, no less than 12" wide in any dimension, mounted on pressure treated posts at beginning and end points, angle points and intervals between said points at a distance of no more than 100' apart.

Sheet 3 of 4 – Lot Development Plan

1. Below the test hole data listing, there is a note that states "*Additional percolation tests at depths above restrictive later to be performed on Lots 1 and 3 at the time of lot development.*" Why is this caveat here and is there a potential negative impact on building a house on this lot? Please explain.

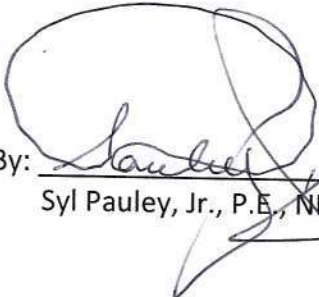
Sheet 3 of 4 – E&S Controls / Details

1. In the "Curtain Drain – Lot 3" detail, it is recommended that a detectable warning tape be placed over the PVC pipe to allow tracing once it is buried.
2. Again, in the "Curtain Drain – Lot 3" detail, how are the perforations to be oriented – up or down? Also, the current Connecticut Department of Transportation publication is Form 818, thus the note should be corrected.

3. In the "Anti-Tracking Pad" detail, the note regarding special riprap, change Form 814 to Form 818 and recheck the Material Article to ensure the reference is correct in the latest Form.
4. In the "Residential Driveway Detail," it should be noted that side slopes in cut or fill shall be no steeper than 3H:1V and a reference be made to the Brooklyn Public Improvement Specifications.

General Comment

1. The signature and seal of the professional engineer is missing on the plans. Also, the soil scientist signature block is missing. These should be added to the plans.

By:  P.E. 7/12/2020
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

Brooklyn Conservation Commission

P. O. Box 356
Brooklyn, CT 06234

August 3, 2020

Attn: Planning and Zoning Commission, Town Planner

Re: David & Nancy Bell, Prince Hill Road, Map #34, Lot #52, Zone RA, Total Acres 6,
Number of Lots 3

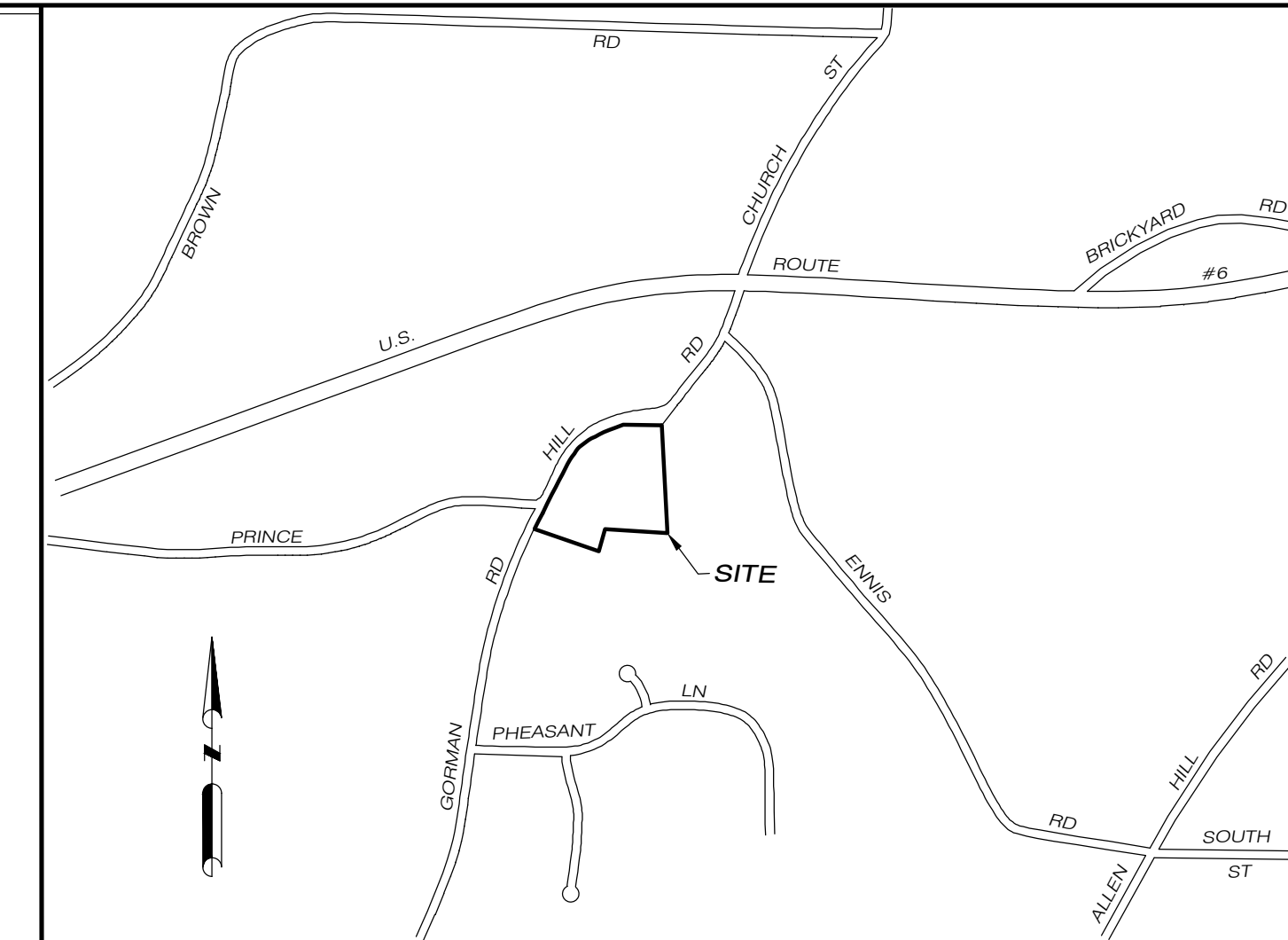
The Brooklyn Conservation Commission reviewed the above application on August 3, 2020 via Webex, based on the Brooklyn Natural Resource Inventory maps and the Plan of Conservation and Development (POCD).

The Brooklyn Conservation Commission recommends that the proposed Permanent Conservation Easement Covenant be accepted with the additional provision that while construction and building is underway that the owners take preventative measures to ensure that the conservation easement area is not disturbed and that it remains intact in its current natural state.

Respectfully submitted,



Jeannine Noel



LOCATION MAP SCALE: 1" = 1000'

- NOTES:
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A COMPILATION PLAN CONFORMING TO HORIZONTAL ACCURACY CLASS "D". THIS MAP HAS BEEN COMPILED FROM OTHER MAPS, DEED DIMENSIONS, AND OTHER SOURCES, IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
 2. PROPERTY LINES SHOWN BASED ON BROOKLYN ASSESSOR'S MAPPING.
 3. ZONING DISTRICT: RA
 4. TOTAL AREA OF SUBDIVISION = 6.00± ACRES.
 5. SUBDIVIDED PARCEL IS SHOWN AS MAP 34, LOT 52 OF THE TOWN OF BROOKLYN ASSESSOR'S MAPS.

SURVEYOR: PAUL A. TERWILLIGER, L.S.
PC SURVEY ASSOCIATES, LLC
KILLINGLY, CT 06239

ENGINEER: NORMAND THIBEAULT, P.E.
KILLINGLY ENGINEERING ASSOCIATES
KILLINGLY, CT 06239

OWNER/APPLICANT: DAVID & NANCY BELL
PO BOX 358
BROOKLYN, CT 06234

PARCEL HISTORY

GRANTOR	GRANTEE	VOL.	PG.	DATE	ACRES
WILLIAM COOKE, TRUSTEE	DAVID P. & NANCY M. BELL	165	217	6/9/1988	8 ACRES, MORE OR LESS
ROBERT A. DUMAINE	WILLIAM COOKE, TRUSTEE	91	559	6/8/1988	8 ACRES, MORE OR LESS
GEORGE I. & SARA H. JOHNSON	ROBERT A. DUMAINE	91	1	4/29/1988	8 ACRES, MORE OR LESS
PAUL B. & RUTH Y. KERR	GEORGE I. & SARA H. JOHNSON	29	425	7/22/1948	8 ACRES, MORE OR LESS

APPROVED BY THE BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION.

CHAIRMAN _____ DATE _____

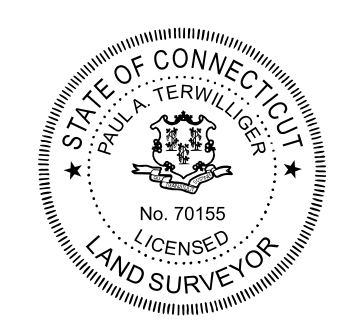
THE SUBDIVISION REGULATIONS OF THE TOWN OF BROOKLYN ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCE OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCE OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES _____ IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

SHEET INDEX	
SHEET 1	SUBDIVISION COVER SHEET
SHEET 2	SUBDIVISION BOUNDARY MAP
SHEET 3	LOT DEVELOPMENT PLAN
SHEET 4	EROSION & SEDIMENT CONTROL PLAN & DETAILS

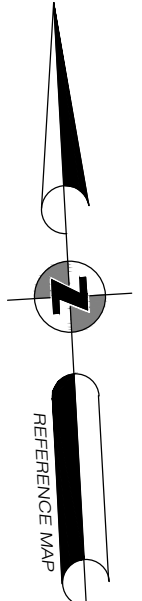


TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

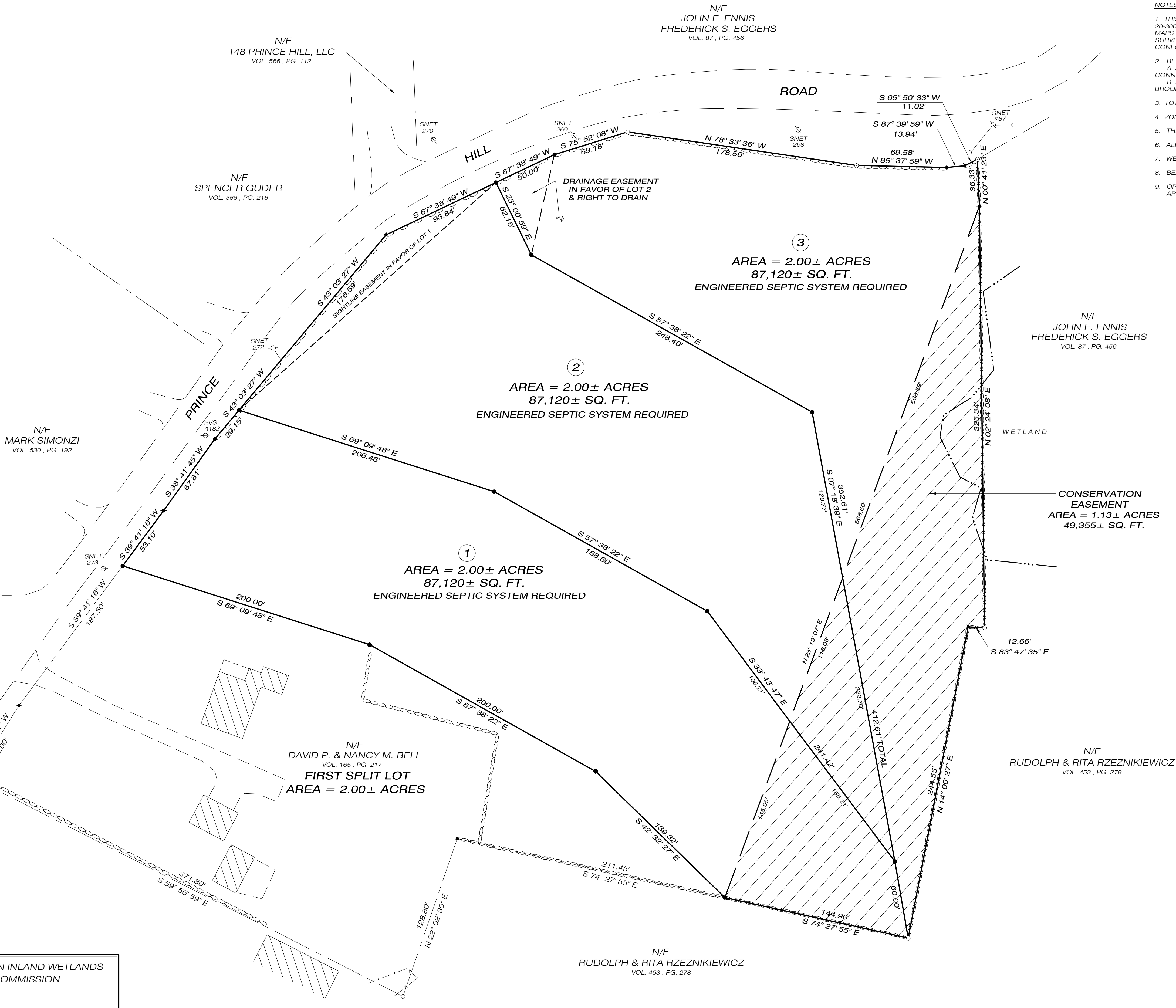
Paul A. Terwilliger
PAUL A. TERWILLIGER, L.S., NO. 70155
DATE 7/6/2020

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

COMPILATION MAP SUBDIVISION OF LAND PREPARED FOR DAVID P. BELL AND NANCY M. BELL		
PRINCE HILL ROAD BROOKLYN, CONNECTICUT		
DATE: JUNE 2020	SHEET NO: 1 OF 4	
SCALE: 1" = 100'	REVISED: 7/6/2020 - OPEN SPACE 7/29/2020 - LOT LINES	
JOB NO: 18015	F.B. NO: N/A	DRAWN BY: P.A.T. MAP NO:



- NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON A DEPENDENT RESURVEY AND ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
 2. REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. SUBDIVISION PLAN PREPARED FOR DAVID BELL - PRINCE HILL ROAD & GORMAN ROAD, BROOKLYN, CONNECTICUT - SCALE: 1"=40' - DATE: 1/15/1990 - REVISED 7/15/1991 - SHEET 1 OF 4 - BY: KWP ASSOCIATES
 - B. PERIMETER SURVEY PREPARED FOR DAVID P. BELL AND NANCY M. BELL - PRINCE HILL ROAD - BROOKLYN, CONNECTICUT - DATE: JANUARY 2020 - SCALE: 1"=40' - BY: PC SURVEY ASSOCIATES, LLC
 3. TOTAL AREA OF SUBDIVISION = 6.00± ACRES.
 4. ZONING DISTRICT: RA
 5. THIS SUBDIVISION DOES NOT CONTAIN LAND AREAS WITHIN F.E.M.A.'S 100-YEAR FLOOD HAZARD ZONE.
 6. ALL LOTS REQUIRE ENGINEER DESIGNED SEPTIC SYSTEMS.
 7. WETLANDS SHOWN AS FIELD DELINEATED BY JOSEPH THEROUX, CPSS, NOVEMBER, 2019.
 8. BEARING SYSTEM IS BASED ON REFERENCE MAP "A".
 9. OPEN SPACE REQUIREMENTS ARE TO BE MET BY AN OPEN SPACE CONSERVATION EASEMENT COVENANT. AREA OF CONSERVATION EASEMENT = 19% OF SUBDIVIDED AREA.



THE SUBDIVISION REGULATIONS OF THE TOWN OF BROOKLYN ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCE OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCE OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

APPROVED BY THE BROOKLYN INLAND WETLANDS & WATERCOURSES COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES _____ IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

- LEGEND**
- IRON PIN FOUND
 - ✕ ANGLE POINT
 - IRON ROD TO BE SET
 - ⊕ STONE WALL
 - EDGE OF WETLAND



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Paul A. Terwilliger
PAUL A. TERWILLIGER, L.S. NO. 70155

6/16/2020 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

SUBDIVISION MAP		SURVEYING • MAPPING • PLOT PLANS LAND RECORD RESEARCH
PREPARED FOR DAVID P. BELL AND NANCY M. BELL		
PRINCE HILL ROAD BROOKLYN, CONNECTICUT		63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230
DATE: JUNE 2020	SHEET NO: 2 OF 4	REVISIONS: 7/6/2020 - OPEN SPACE 7/29/2020 - LOT LINES
SCALE: 1" = 40'		0 20' 40' 80' 120'
JOB NO: 18015	F.B. NO: N/A	DRAWN BY: P.A.T. MAP NO:

SEPTIC SYSTEM DESIGN CRITERIA

LOT 1
 4 BEDROOM HOUSE
 PERCOLATION RATE: 10.1-20 MIN./INCH
 EFFECTIVE LEACHING AREA REQUIRED = 787.5 SF
 DEPTH TO RESTRICTIVE LAYER = 31'
 SLOPE = 8.1-10%
 H.F.=30, F.F.=1.75, P.F.=1.25 MLSS REQUIRED = 65,625 LF
 USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES
 EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF
 LENGTH OF TRENCH REQUIRED = (787.5 SF)/(3.0 SF/LF) = 262.5 LF
 USE THREE 88' TRENCHES 8' O/C
 SYSTEM SPREAD PROVIDED = 88'
 LEACHING AREA PROVIDED = 792 SF

LOT 2
 4 BEDROOM HOUSE
 PERCOLATION RATE: 10.1-20 MIN./INCH
 EFFECTIVE LEACHING AREA REQUIRED = 787.5 SF
 DEPTH TO RESTRICTIVE LAYER = 24'
 SLOPE = 10.1-15%
 H.F.=26, F.F.=1.75, P.F.=1.25 MLSS REQUIRED = 56,875 LF
 USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES
 EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF
 LENGTH OF TRENCH REQUIRED = (787.5 SF)/(3.0 SF/LF) = 262.5 LF
 USE THREE 88' TRENCHES 8' O/C
 SYSTEM SPREAD PROVIDED = 88'
 LEACHING AREA PROVIDED = 792 SF

LOT 3
 4 BEDROOM HOUSE
 PERCOLATION RATE: 10.1-20 MIN./INCH
 EFFECTIVE LEACHING AREA REQUIRED = 787.5 SF
 DEPTH TO RESTRICTIVE LAYER = 23'
 SLOPE = 15%
 H.F.=24, F.F.=1.75, P.F.=1.25 MLSS REQUIRED = 52.5 LF
 USE 12" DEEP x 48" WIDE CONCRETE LEACHING GALLERIES
 EFFECTIVE LEACHING AREA OF TRENCH = 5.9 SF/LF
 LENGTH OF TRENCH REQUIRED = (787.5 SF)/(5.9 SF/LF) = 133.5 LF
 USE TWO ROWS OF 12" CONC. GALLERIES 12' O/C
 SYSTEM SPREAD PROVIDED = 72'
 LEACHING AREA PROVIDED = 802.4 SF

NOTE: ALL LOTS REQUIRE ENGINEER DESIGNED SEPTIC SYSTEMS

THE SUBDIVISION REGULATIONS OF THE TOWN OF BROOKLYN ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCE OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCE OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

REMOVE BRUSH, STONE WALL REMAINS & TREES AND REGRADE AS NECESSARY TO MAINTAIN 300' DRIVEWAY SIGHTLINE

REMOVE BRUSH & TREES & REGRADE TO MAINTAIN 300' DRIVEWAY SIGHTLINE

INSTALL ANTI-TRACKING PAD DURING CONSTRUCTION

BENCH MARK NAIL IN SNET 267 EL. = 314.2

4" PVC INV. = 314.0

PAVED APRON TO STREET LINE
 INSTALL ANTI-TRACKING PAD DURING CONSTRUCTION

EXISTING SEPTIC SYSTEM TO BE ABANDONED AND NEW SEPTIC SYSTEM TO BE INSTALLED

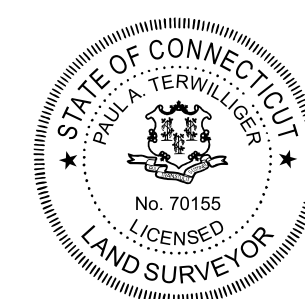
LEGEND

- STONE WALL
- TEST PIT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- CLEARING LIMIT
- EROSION CONTROL BARRIER

APPROVED BY THE BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION.
 CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION
 CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Paul A. Terwilliger
 PAUL A. TERWILLIGER, L.S. NO. 70155

6/16/2020
 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

- TEST HOLE 1**
 0-8" TOPSOIL
 8-27" FINE SANDY LOAM
 27-80" MOD. COMPACT GRAVELLY LOAMY SAND,
 SANDY LOAM w/ COBBLES
 WATER AT 54'
 MOTTLING AT 48"
 NO LEDGE
- TEST HOLE 2**
 0-8" TOPSOIL
 8-25" FINE SANDY LOAM
 25-84" MOD. COMPACT GRAVELLY LOAMY SAND & SANDY LOAM w/ COBBLES, SOME STONES
 WATER AT 54'
 MOTTLING AT 50"
 NO LEDGE
- TEST HOLE 3**
 0-9" TOPSOIL
 9-23" SANDY LOAM
 23-42" FINE SANDY LOAM & SANDY LOAM, SOME FINE/MED. SAND
 WATER AT 67'
 MOTTLING AT 62"
 NO LEDGE
- TEST HOLE 4**
 0-9" TOPSOIL
 9-21" SANDY LOAM
 21-36" LOAMY SAND
 36-100" MOD. COMPACT GRAVELLY LOAMY SAND & SANDY LOAM w/ COBBLES, POCKET LOAMY VERY FINE SAND
 WATER AT 60'
 MOTTLING AT 40"
 NO LEDGE
- TEST HOLE 5**
 0-9" TOPSOIL
 9-18" FINE SANDY LOAM
 18-36" FINE SANDY LOAM & SANDY LOAM
 36-89" MOD. COMPACT GRAVELLY LOAMY SAND & SANDY LOAM w/ COBBLES, SOME FLAT ROCK
 WATER AT 75'
 MOTTLING AT 64"
 NO LEDGE
- TEST HOLE 6**
 0-9" TOPSOIL
 9-18" FINE SANDY LOAM
 18-36" FINE SANDY LOAM & SANDY LOAM
 36-89" MOD. COMPACT GRAVELLY LOAMY SAND & SANDY LOAM w/ COBBLES, SOME FLAT ROCK
 WATER AT 65'
 MOTTLING AT 60"
 NO LEDGE
- TEST HOLE 7**
 0-9" TOPSOIL
 9-22" FINE SANDY LOAM
 22-66" MOD. COMPACT GRAVELLY FINE SANDY LOAM, SOME FINE SANDY LOAM, SOME FINE/MED. SAND w/ COBBLES
 WATER AT 24'
 MOTTLING AT 23"
 NO LEDGE
- TEST HOLE 8**
 0-8" TOPSOIL
 8-24" SANDY LOAM & FINE SANDY LOAM
 24-96" MOD. COMPACT GRAVELLY LOAMY FINE SAND, SOME FINE SANDY LOAM, SOME FINE/MED. SAND w/ COBBLES
 NO WATER
 NO MOTTLING
 NO LEDGE
- TEST HOLE 9**
 0-8" TOPSOIL
 8-24" FINE SANDY LOAM
 24-38" FINE SANDY LOAM & LOAMY FINE SAND
 38-84" COMPACT GRAVELLY LOAMY FINE SAND & SANDY LOAM w/ COBBLES
 WATER AT 61'
 MOTTLING AT 31"
 NO LEDGE
- TEST HOLE 10**
 0-21" TOPSOIL
 21-31" SANDY LOAM
 31-42" SANDY LOAM & FINE SANDY LOAM
 42-84" MOD. COMPACT FINE SANDY LOAM, SOME LOAMY SAND
 WATER AT 58'
 MOTTLING AT 50"
 NO LEDGE
- TEST HOLE 11**
 0-12" TOPSOIL
 12-32" FINE SANDY LOAM
 32-80" MOTTLED GRAVELLY SANDY LOAM
 WATER AT 80'
 MOTTLING AT 32"
 NO LEDGE
- TEST HOLE 12**
 0-12" TOPSOIL
 12-31" FINE SANDY LOAM
 31-76" MOTTLED GRAVELLY SANDY LOAM
 76-80" GROUNDWATER
 WATER AT 76'
 MOTTLING AT 31"
 NO LEDGE
- TEST HOLE 13**
 0-11" TOPSOIL
 11-24" FINE SANDY LOAM
 24-69" MOTTLED WET GRAVELLY SANDY LOAM
 69-73" GROUNDWATER
 WATER AT 69'
 MOTTLING AT 24"
 NO LEDGE
- TEST HOLE 14**
 0-10" TOPSOIL
 10-26" FINE SANDY LOAM
 26-59" MOTTLED SANDY LOAM w/ GRAVEL
 59-70" GROUNDWATER
 WATER AT 59'
 MOTTLING AT 26"
 NO LEDGE
- TEST HOLE 15**
 0-9" TOPSOIL
 9-23" FINE SANDY LOAM
 23-81" MOTTLED GRAVELLY LOAMY SAND
 NO WATER
 MOTTLING AT 23"
 NO LEDGE
- TEST HOLE 16**
 0-12" TOPSOIL
 12-28" FINE SANDY LOAM
 28-70" MOTTLED GRAVELLY LOAMY SAND
 NO WATER
 MOTTLING AT 28"
 NO LEDGE
- TEST HOLE 17**
 0-9" TOPSOIL
 9-28" FINE SANDY LOAM
 28-70" MOTTLED FINE SANDY LOAM w/ GRAVEL
 70-78" GROUNDWATER
 WATER AT 70'
 MOTTLING AT 28"
 NO LEDGE

NOTE:
 ADDITIONAL PERCOLATION TESTS AT DEPTHS ABOVE RESTRICTIVE LAYER TO BE PERFORMED ON LOTS 1 AND 3 AT THE TIME OF LOT DEVELOPMENT.

- NOTES:**
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT"; AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A DEPENDENT RESURVEY AND ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS B. SEE SHEET 2 FOR PROPERTY LINE INFORMATION. TOPOGRAPHIC FEATURES DEPICTED HEREON WERE TAKEN FROM NOAA LIDAR DATA WITH FIELD VERIFICATION AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS T-3. VERTICAL DATUM IS NAVD88.
 - ZONING DISTRICT: RA
 - PROPOSED IMPROVEMENTS ARE CONCEPTUAL LOCATIONS TO SHOW LOT SUITABILITY ONLY.
 - SOLAR ACCESS WAS CONSIDERED IN THE DESIGN OF THIS SUBDIVISION.
 - THE INLAND WETLANDS AND WATERCOURSES WERE FIELD DELINEATED IN NOVEMBER 2019 BY JOSEPH R. THEROUX, CPSS.
 - MAXIMUM DRIVEWAY GRADE PERMITTED IS 12%. GRADES OF 10% OR GREATER ARE TO BE PAVED.
 - SEE SHEET 4 FOR EROSION & SEDIMENT CONTROL PLAN.
 - THERE ARE NO APPARENT EXISTING OR PROPOSED WELLS WITHIN 75 FEET OF THE PROPOSED SEPTIC AREAS DEPICTED. THERE ARE NO APPARENT SEPTIC AREAS WITHIN 75 FEET OF THE PROPOSED WELL LOCATIONS DEPICTED.
 - IF UNDERGROUND UTILITIES ARE INSTALLED, NO TRENCH SHALL BE LOCATED WITHIN 25' OF A SEPTIC SYSTEM OR WELL.

Killingly Engineering Associates
 114 Westcott Road
 P.O. Box 421
 Dayville, Connecticut 06241
 860 779 7299

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

GENERAL LOCATION SURVEY		SURVEYING • MAPPING • PLOT PLANS	
LOT DEVELOPMENT PLAN SUBDIVISION OF LAND PREPARED FOR DAVID P. BELL AND NANCY M. BELL		 LAND RECORD RESEARCH 63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230 SHEET NO: 3 OF 4 REVISED: 7/16/2020 - OPEN SPACE 7/29/2020 - LOT LINES/COMMENTS	
PRINCE HILL ROAD BROOKLYN, CONNECTICUT			
DATE: JUNE 2020	SCALE: 1" = 40'	JOB NO: 18015	
APPROVED BY THE BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION		DRAWN BY: P.A.T. MAP NO:	

REFERENCE IS MADE TO:

- CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.
- SOIL SURVEY OF WINDHAM COUNTY CONNECTICUT, U.S.D.A. SOIL CONSERVATION SERVICE 1983.

DEVELOPMENT

PROPOSED DEVELOPMENT WILL CREATE THREE 2 ACRE BUILDING LOTS.

CONSTRUCTION SEQUENCE:

- INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES ALONG THE PROPOSED LIMITS OF DISTURBANCE.
- PROVIDE ANTI TRACKING PAD AND TEMPORARY POWER TO THE SITE.
- REMOVE AND STOCKPILE TOPSOIL AND INSTALL SEDIMENT BARRIER.
- EXCAVATE FOUNDATION AND BEGIN HOUSE CONSTRUCTION.
- INSTALL SEPTIC SYSTEM AND WELL.
- INSTALL DRIVEWAY AND UTILITIES TO THE RESIDENCE.
- LOAM, SEED & MULCH DISTURBED AREAS.
- REMOVE EROSION AND SEDIMENT CONTROL.

GENERAL DEVELOPMENT PLAN

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN OF BROOKLYN PLANNING AND ZONING COMMISSION, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER OR WETLANDS AGENT TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON APPROVAL WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "SILT FENCE INSTALLATION & MAINTENANCE" AND "HAY BALE INSTALLATION & MAINTENANCE" SECTIONS OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 2 TO 1. THERE SHALL BE NO BURIAL OF STUMPS. A HAY BALE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDED AND RE-ESTABLISHED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITHIN ONE SEASON (SPRING OR FALL) OF THE COMPLETION OF THE PROJECT BEFORE A CERTIFICATE OF COMPLIANCE WILL BE ISSUED.

ONCE STABILIZATION HAS BEEN COMPLETED AND APPROVED BY THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

SILT FENCE INSTALLATION AND MAINTENANCE:

- DIG A 6" DEEP TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
- POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POSTS 1.5 FEET INTO THE GROUND.
- LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
- INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
- INSPECTIONS WILL BE MADE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHT OF 1 FOOT BEHIND THE BARRIER OR HALF THE HEIGHT OF THE BARRIER AND ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
- REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
 - THE FENCE HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
 - THE FENCE HAS BEEN MOVED OUT OF POSITION, OR
 - THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

HAY BALE INSTALLATION AND MAINTENANCE:

- BALES SHALL BE PLACED AS SHOWN ON THE PLANS WITH THE ENDS OF THE BALES TIGHTLY ABUTTING EACH OTHER.
- EACH BALE SHALL BE SECURELY ANCHORED WITH AT LEAST 2 STAKES AND GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER FROM PASSING BETWEEN THE BALES.
- INSPECT BALES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- REMOVE SEDIMENT BEHIND THE BALES WHEN IT REACHES HALF THE HEIGHT OF THE BALE AND DEPOSIT IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
- REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:
 - THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
 - THE BARRIER HAS BEEN MOVED OUT OF POSITION, OR
 - THE HAY BALES HAVE DETERIORATED OR BEEN DAMAGED.

TEMPORARY VEGETATIVE COVER

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS IT SHALL BE LOOSENED TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. SHALL BE USED. RYE GRASS APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVIDE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND COARSE MATTER SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. AS A TEMPORARY MULCH. APPLY A JUTE NETTING COVER TO SLOPES OF 3:1 OR GREATER SLOPE.

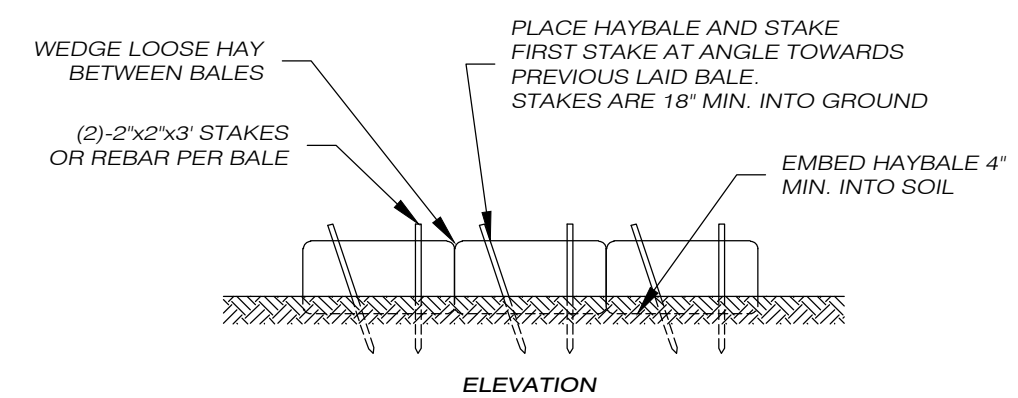
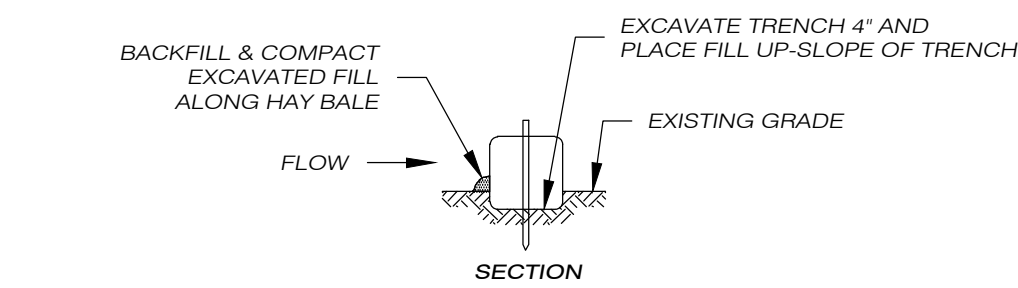
PERMANENT VEGETATIVE COVER

TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION AND FILL PLACEMENT HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS, APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

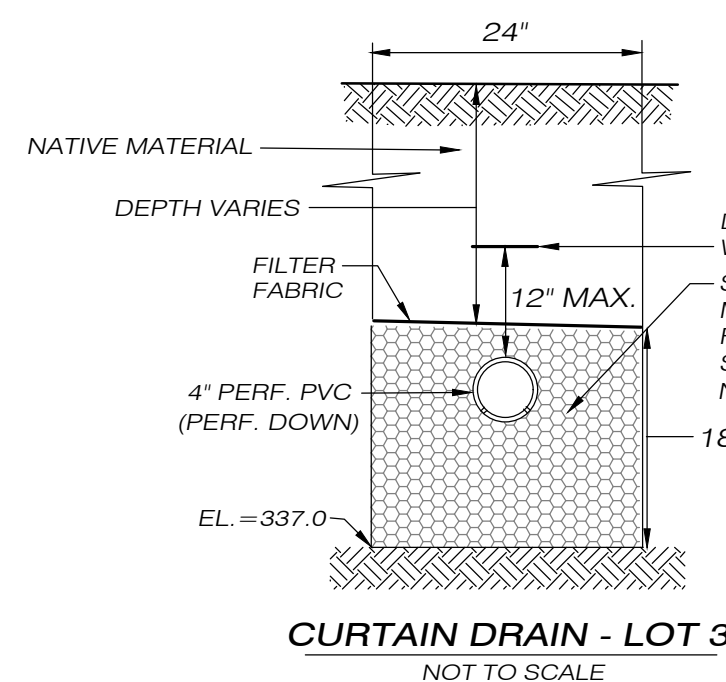
SEED MIXTURE	LBS./ACRE	LBS./1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

THE RECOMMENDED SEEDING DATES ARE: APRIL 1 - JUNE 15 AND AUGUST 1 - SEPTEMBER 15

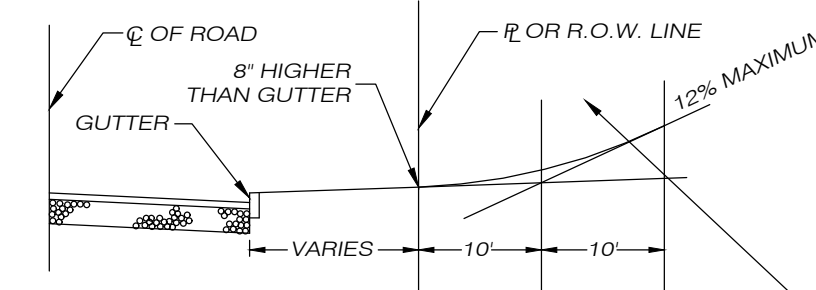
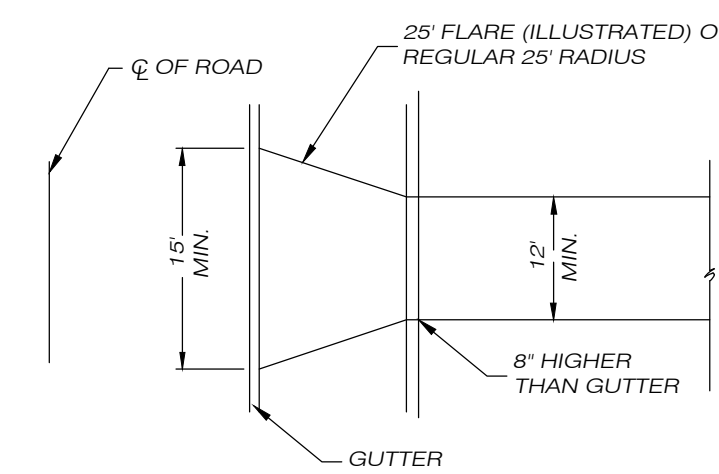
FOLLOWING SEEDING MULCH WITH WEED FREE STRAW AND APPLY A JUTE NETTING COVER TO AREAS OF 3:1 OR GREATER SLOPE



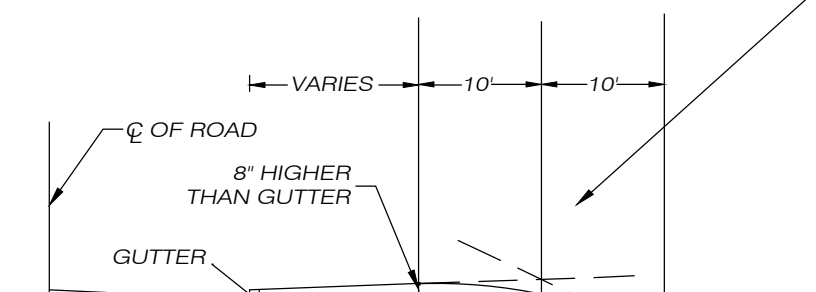
HAY BALE BARRIER DETAIL
NOT TO SCALE



CURTAIN DRAIN - LOT 3
NOT TO SCALE



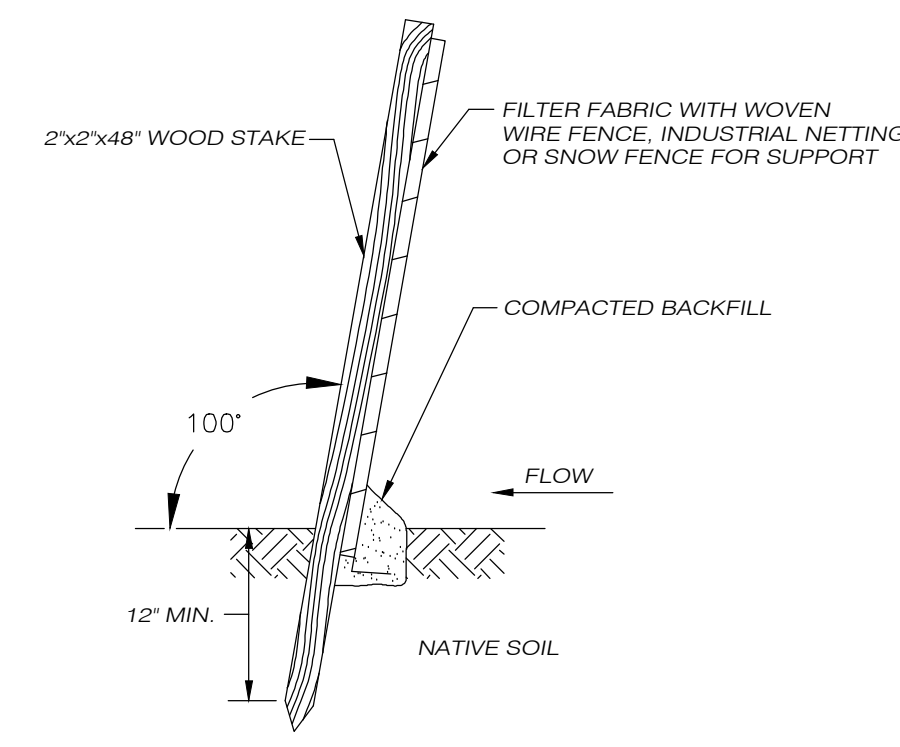
SAG CURVE IN DRIVE



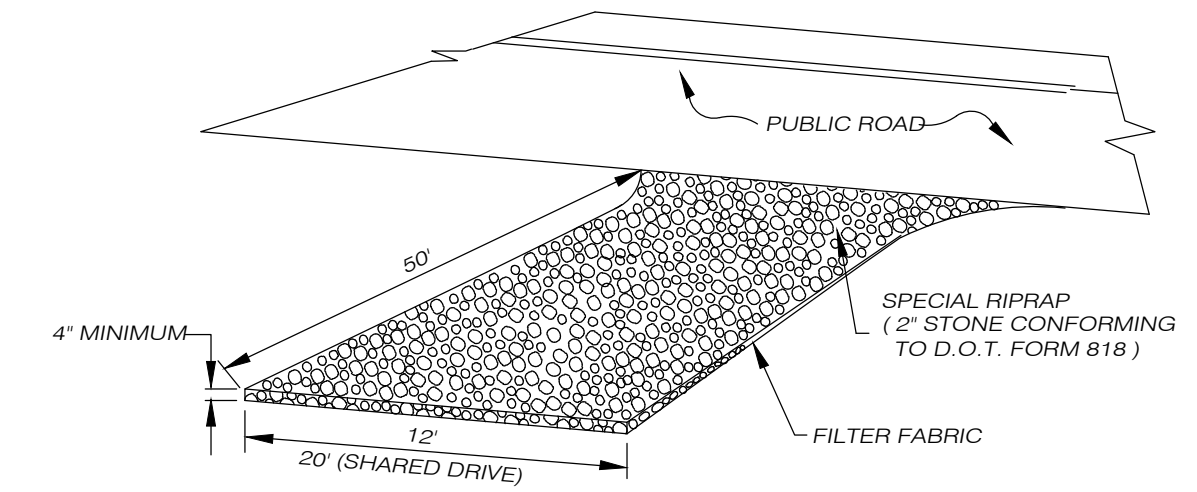
CREST CURVE IN DRIVE

REF: BROOKLYN PUBLIC IMPROVEMENT SPECIFICATIONS

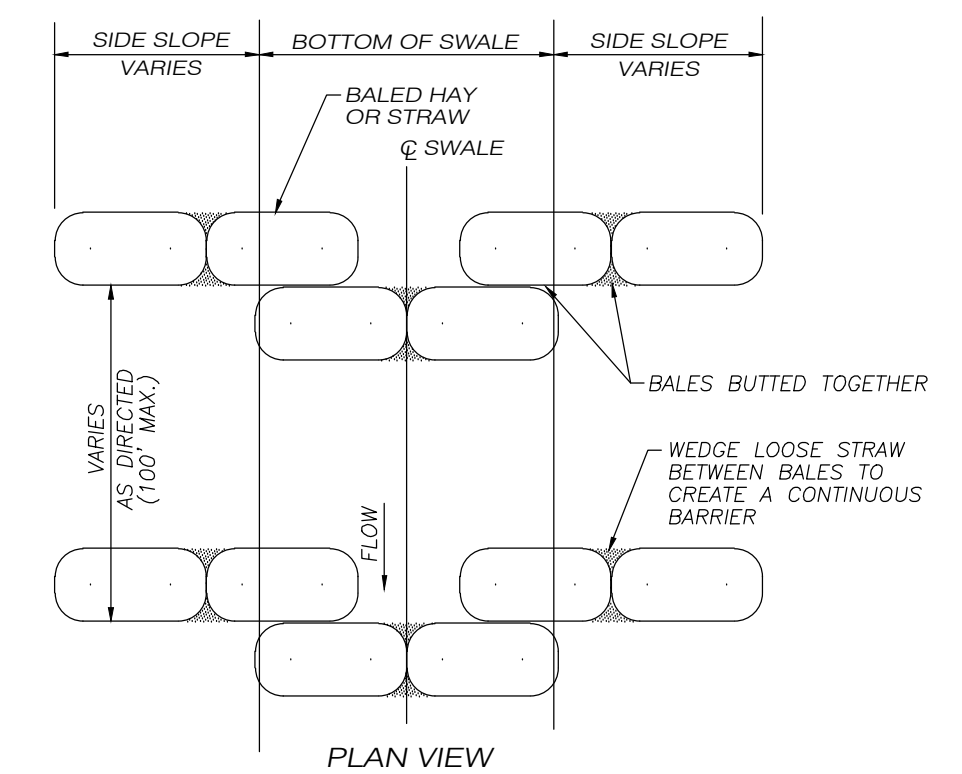
RESIDENTIAL DRIVEWAY DETAIL
NOT TO SCALE



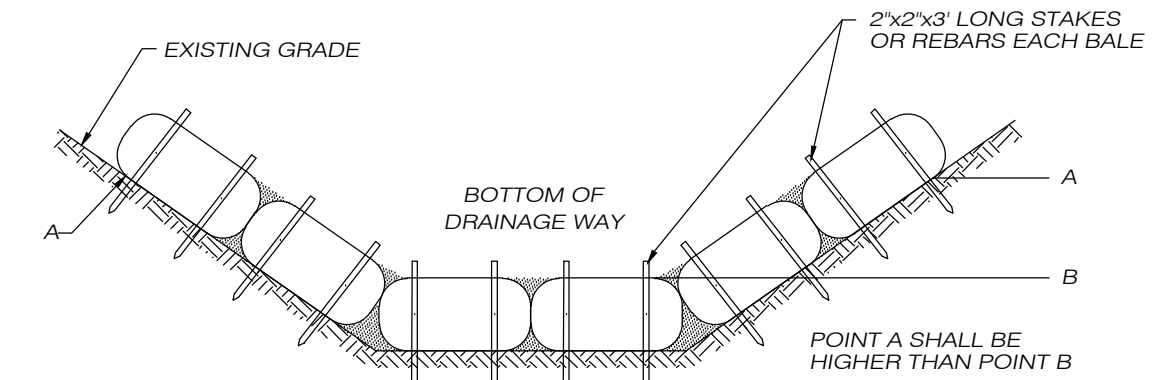
SILT FENCE SECTION
NOT TO SCALE



ANTI-TRACKING PAD
NOT TO SCALE



HAYBALE CHECK DAM
NOT TO SCALE



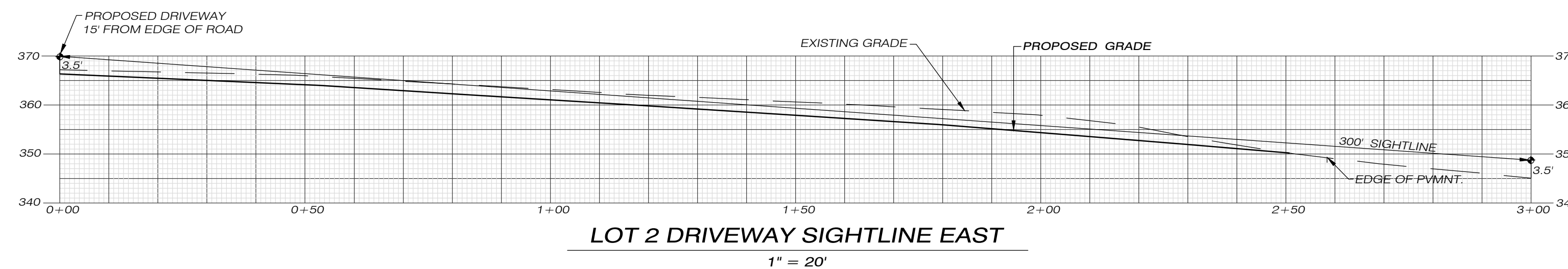
APPROVED BY THE BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION.

CHAIRMAN _____ DATE _____

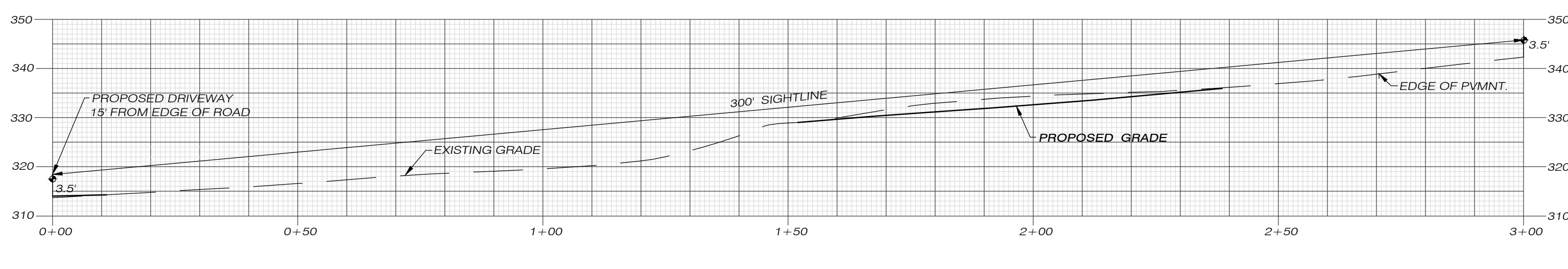
APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE



LOT 2 DRIVEWAY SIGHTLINE EAST
1" = 20'



LOT 3 DRIVEWAY SIGHTLINE WEST
1" = 20'

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Dayville, Connecticut 06241
860 779 7299

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE _____

SUBDIVISION OF LAND
E&S CONTROL / DETAILS
PREPARED FOR
DAVID P. BELL
AND
NANCY M. BELL

PRINCE HILL ROAD
BROOKLYN, CONNECTICUT

DATE: JUNE 2020
SCALE: 1" = AS NOTED

63 SNAKE MEADOW RD
KILLINGLY, CT 06239
860 774 6230

SHEET NO: 4 OF 4
REVISED: 7/13/2020
7/29/2020 - SIGHTLINE

JOB NO: 18015 F.B. NO: N/A DRAWN BY: P.A.T. MAP NO:

PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE
IN
ZONING BOUNDARY

Date July 20th 2020

FEE \$ 250.00
State Fee \$ 60.00

Application # ZC 20-002

Check # 2168

Public Hearing Date _____ Commission Action _____
Effective Date _____

Name of Applicant KEITH A. CROSSMAN Phone 860-420-8407

Mailing Address 340 CHRISTIAN HILL RD.

Applicants Interest in the Property _____

Property Owner BRUCE & CATHY CROSSMAN Phone 860-207-5258

Mailing Address 342 CHRISTIAN HILL RD.

MAP <u>30</u>	LOT <u>50</u>	LOT SIZE <u>6.75 ACRES</u>
MAP _____	LOT _____	LOT SIZE _____
MAP _____	LOT _____	LOT SIZE _____

More lots , repeat above on separate sheet

ZONE: R10___ R30 RA___ VCD___ NC___ RB___ PC___ I___

REQUEST CHANGE: FROM R30 TO RA

REQUEST CHANGE: FROM _____ TO _____

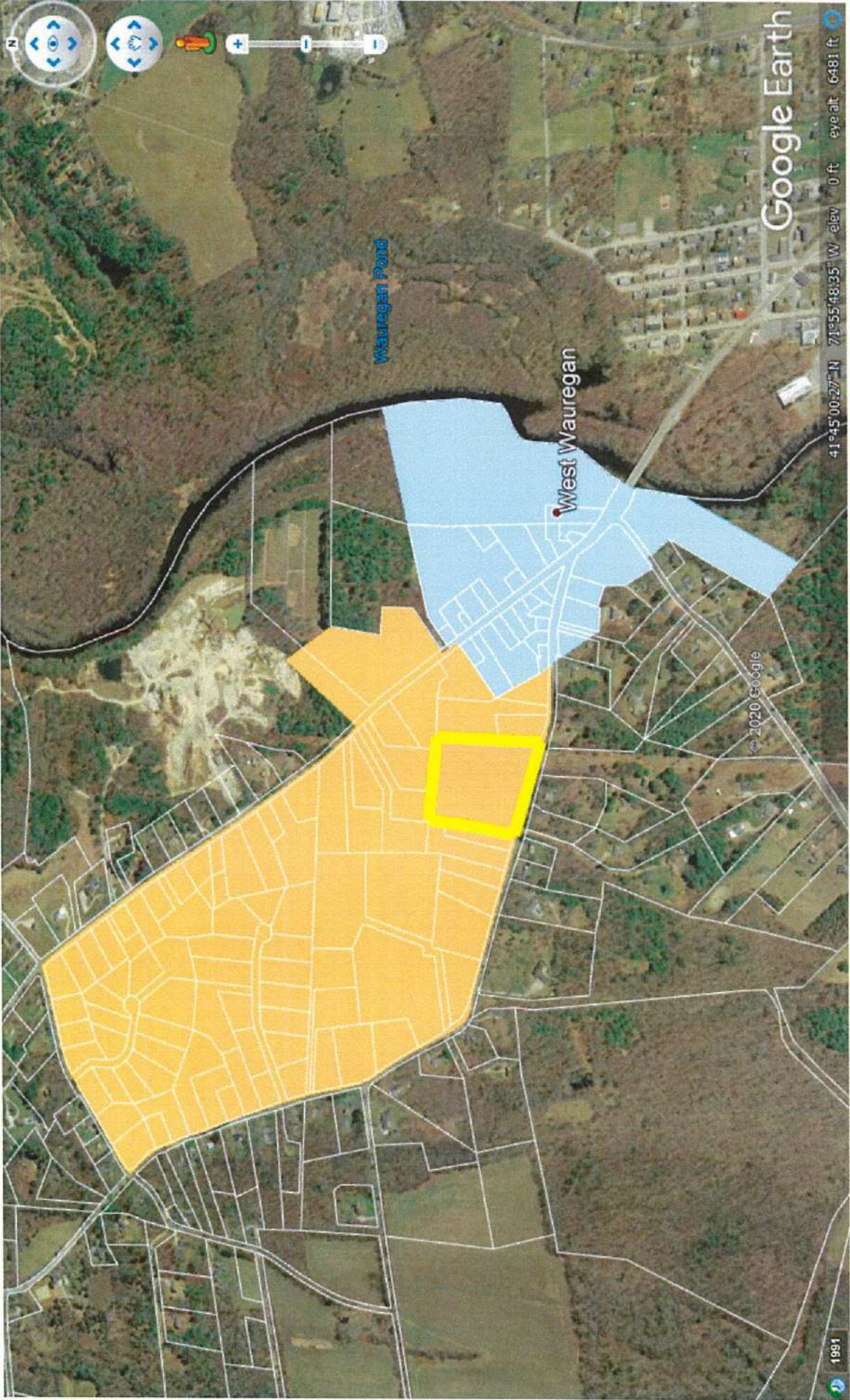
REQUEST CHANGE: FROM _____ TO _____

More changes , repeat above on separate sheet

REASON FOR REQUEST: FAMILY WOULD LIKE TO HAVE A SMALL HOBBY FARM.

NOW, MORE THAN EVER, A FAMILY NEEDS TO RAISE AND GROW FOOD ON THEIR PROPERTY.

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations



Wauregan Pond

West Wauregan

Google Earth

41°45'00.27\"/>

1991



PROPOSED PARKING EXPANSION "VACHON CHEVROLET"

PROVIDENCE ROAD (ROUTE 6)
BROOKLYN, CONNECTICUT

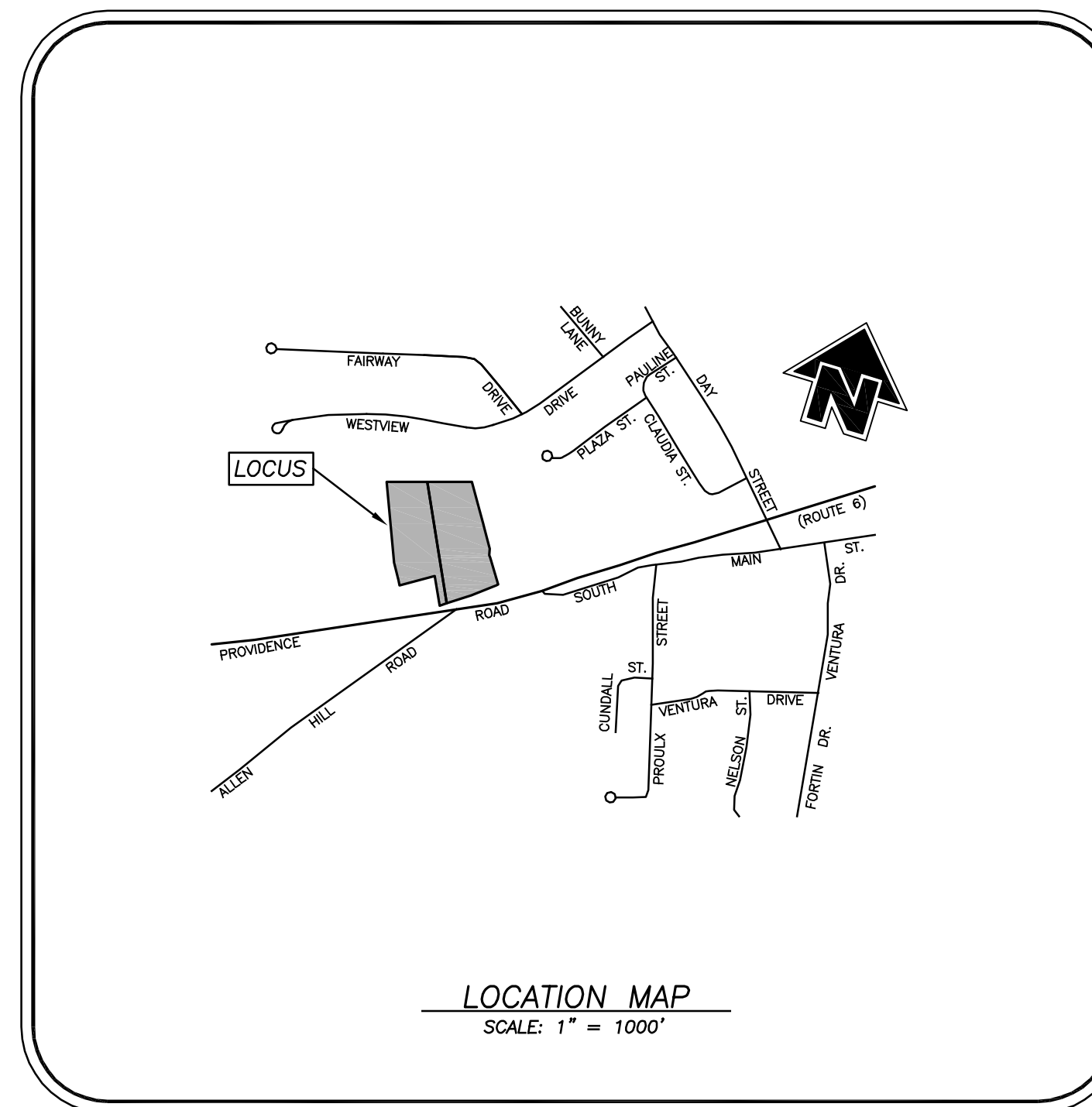
PREPARED FOR:
VACHON BROOKLYN, LLC

CONSTRUCTION NOTES/GENERAL PROVISIONS

- The locations of existing utilities are based upon visible field observations, record mapping and interviews with the property owner and abutting property owners. They are shown for informational purposes only. Contractor shall coordinate exploratory test hole excavation with the Engineer if necessary to verify and/or determine actual locations of some utilities & structures. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.
- All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
- All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 816", and supplements thereto.
- The Contractor shall obtain copies of all regulatory agency permits from the Owner prior to any site disturbance.
- Unless otherwise noted on the plans, the contractor shall use the geometry provided on the construction plans. Benchmark information shall be provided to the contractor by the Owner or the Owner's surveyor. Any discrepancies between field measurements and construction plan information shall be brought to the attention of the Engineer or Surveyor immediately.
- The Contractor shall not revise elevations or locations of items shown on the plans without written consent of the project Engineer or Surveyor.
- The Contractor shall protect benchmarks, property corners, and other survey monuments from damage or displacement. If a marker needs to be removed, it shall be referenced by a licensed land surveyor and replaced as necessary by the same.
- The Contractor shall be responsible for preparing and compacting base for proposed pavement. Owner shall provide general fill to establish subgrade - contractor shall spread and compact. Contractor shall provide, spread and compact required processed aggregate
- The entire project site shall be thoroughly cleaned at the completion of the work. Clean all installed paved areas, accumulated silt and sediment, plus all adjacent areas affected by the construction activities as directed by the Owner or the jurisdictional Agency.

LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- CONCRETE MONUMENT FOUND
- CHD FNT CHD MONUMENT POINT
- 4 SIGN
- ∅ UTILITY POLE
- CATCH BASIN
- MH MANHOLE
- SMH SANITARY SEWER MANHOLE
- ▬ INLAND WETLANDS FLAG
- - - 100 - - - EXISTING CONTOURS
- ▬ 100 ▬ PROPOSED CONTOURS
- ▬▬▬ SILT FENCE



INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 5
EXISTING CONDITIONS MAP	2 OF 5
SITE DEVELOPMENT PLAN 1	3 OF 5
SITE DEVELOPMENT PLAN 2	4 OF 5
DETAIL SHEET	5 OF 5

**BEFORE YOU DIG
CALL BEFORE YOU DIG**
AT LEAST TWO FULL BUSINESS DAYS
BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION
3/10/2020	PER SOIL SCIENTIST & STAFF
3/31/2020	PER NECCOG REVIEW



Killingly Engineering Associates
Civil Engineering & Surveying

114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

JANUARY 2020

APPROVED BY THE BROOKLYN
PLANNING AND ZONING COMMISSION

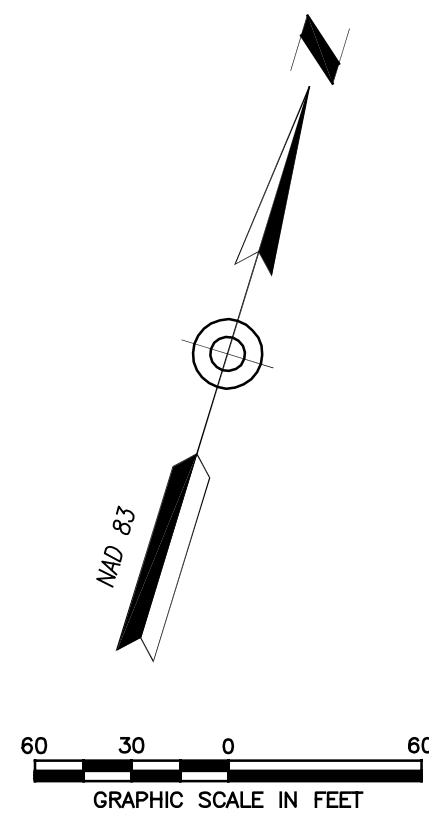
CHAIRMAN _____ DATE _____

Expiration date per Sec. 8.26C,
Connecticut General Statutes: _____

ENDORSED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

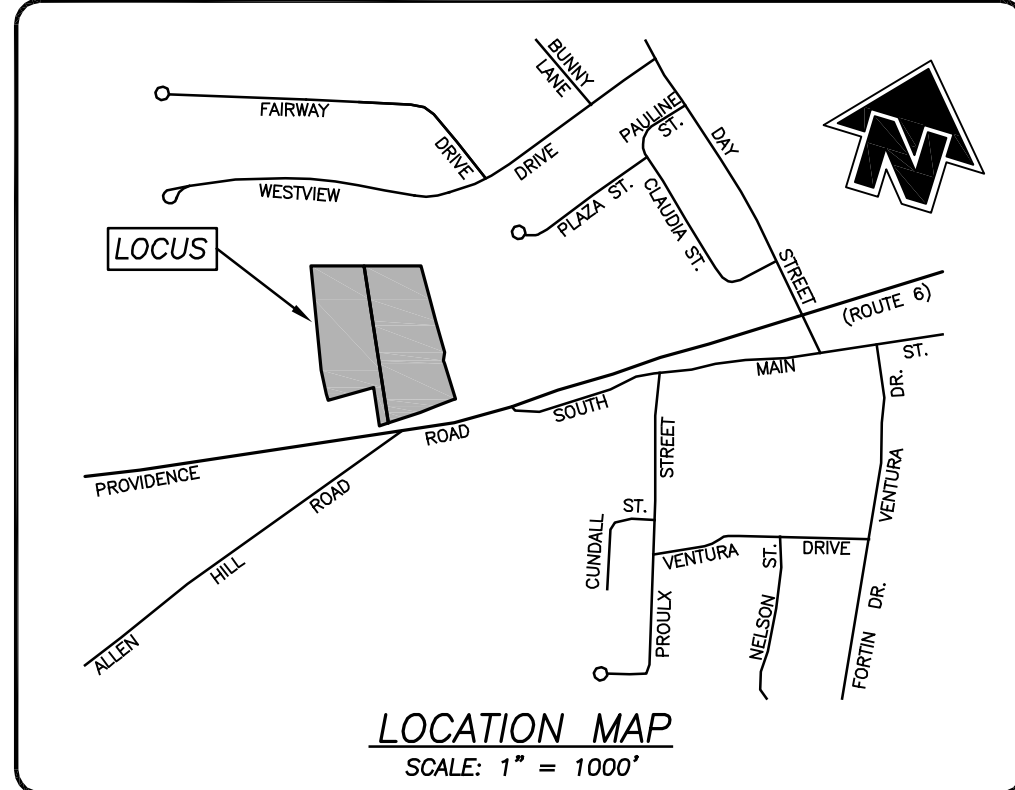
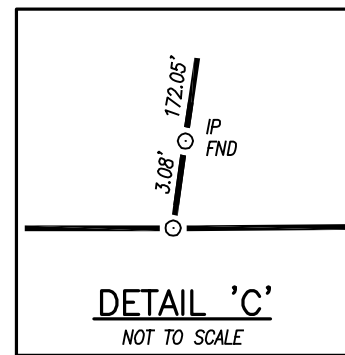
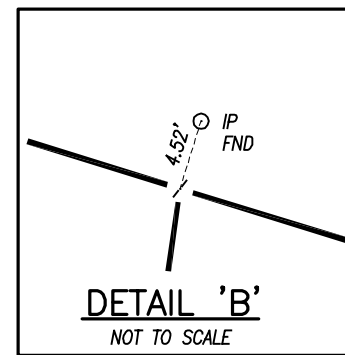
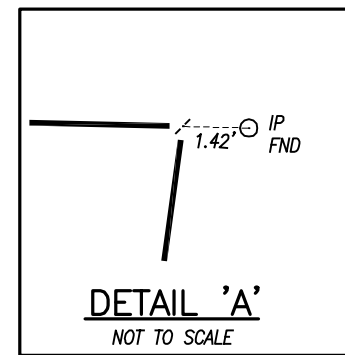
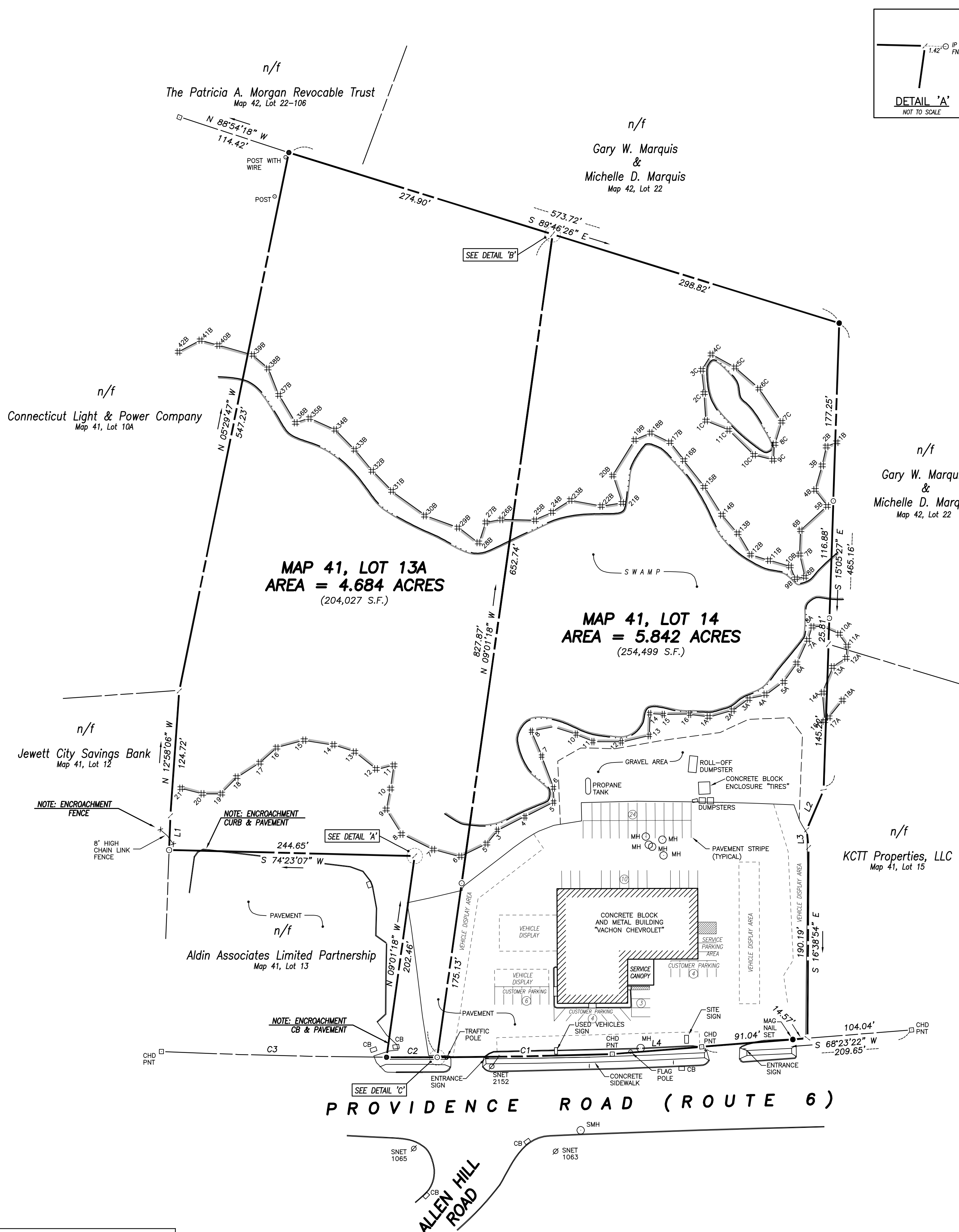
CHAIRMAN _____ DATE _____

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE _____



CURVE DATA		
C1	C2	C3
R = 5680.00'	R = 5680.00'	R = 5680.00'
D = 1°45'30"	D = 0°30'33"	D = 2°15'41"
L = 174.32'	L = 50.48'	L = 224.16'
CH = S 71°56'28" W 174.32'	CH = S 73°04'30" W 50.48'	CH = S 74°27'37" W 224.16'

LINE DATA	
L1	N 14°49'40" W 34.19'
L2	S 06°00'57" W 43.34'
L3	S 23°24'09" E 17.56'
L4	S 68°21'47" W 89.41'



LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- CONCRETE MONUMENT FOUND
- CHD PNT CHD MONUMENT POINT
- ⊕ SIGN
- ⊕ UTILITY POLE
- CB CATCH BASIN
- MH MANHOLE
- SMH SANITARY SEWER MANHOLE
- INLAND WETLANDS FLAG

NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Survey Type: Improvement Location Survey.
 - Boundary Determination Category: Dependent Resurvey.
- Zone = PC.
- Owner of record:
 - Map 41, Lot 14 = Vachon Brooklyn, LLC
957 Washington St., Attleboro, MA 02703
Volume 620, Page 163
 - Map 41, Lot 13A = Vachon Brooklyn, LLC
957 Washington Street, Attleboro, MA 02703
Volume 632, Page 114
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, in September 2019.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from actual field measurements of CGS Random Points B9262 and B9264.

- MAP REFERENCES:**
- "Connecticut State Highway Department - Right of Way Map - Town of Brooklyn - Brooklyn-Danielson Road - From the Old Pomfret Road - Easterly About 12,000 Feet - Route U.S.6. - Scale: 1" = 40', Date: June 29, 1934 - Number 19-06 - Sheet No. 4 of 4."
 - "Town of Brooklyn - Map Showing Land & Easement Acquired By - The State of Connecticut - From - Mildred Chase Hopkins - Relocation of Route U.S. 6 - Scale: 1" = 40' - Date: June 1953 - Town No. 19 - Project No. 43 - Serial No. 1 - Sheet 1 of 1 - Prepared by: Ernest T. Perkins." On file in the Brooklyn Land Records as Map Book 2 Page 98.
 - "Boundary Survey - property of - Stephen Castle - Route 6, Brooklyn, Conn. - Scale: 1" = 40' - Date: July 30, 1964 - Sheet 1 of 1 Prepared by: Morton S. Fine & Associates." On file in the Brooklyn Land Records as Map Book 3 Page 52.
 - "Map Showing Portion of Land of - Stephen Castle - Brooklyn, Connecticut - Scale: 1" = 20' - Date: March 19, 1982 - Prepared By: Thomas A. Brennan, Jr." On file in the Brooklyn Land Records as Map Book 7 Page 18.
 - "Subdivision Map - Prepared for - Gary D. Kuchy - Westview Drive Brooklyn, Connecticut - Scale: 1" = 80' - Date: June 16, 1999 Revised to: 11/1/99 - Sheet 1 of 11 - Prepared by: J&D Civil Engineers and Provost Rovero Fitzback." On file in the Brooklyn Land Records.
 - "Boundary Survey - Property of Gertrude M. Markley - Providence Road - Route 6 - Brooklyn, Connecticut - Scale: 1" = 40' - Date: Nov, 2002 - Sheet No. 1 - prepared by: Archer Surveying, LLC." On file in the Brooklyn Land Records as Map Book 15 Page 90.
 - "Improvement Location Survey - Prepared for - Premier Chevrolet 512 Providence Road (Route 6) - Brooklyn, Connecticut - Scale: 1" = 50' - Date: 10/12/2011 - Sheet 1 of 1 - Prepared by: Killingly Engineering Associates." On file in the Brooklyn Land Records.
 - "Property Survey - Property Line Relocation - Prepared for KCTT Properties, LLC - Route #6 (Providence Road) - Brooklyn, Connecticut - Scale: 1" = 20' - Date: October 2016 - Revised to: 1/5/2017 - Sheet No. 1 of 1 - Prepared by: PC Survey Associates." On file in the Brooklyn Land Records.

DATE	DESCRIPTION
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS

IMPROVEMENT LOCATION SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR
VACHON BROOKLYN, LLC
PROVIDENCE ROAD (ROUTE 6)
BROOKLYN, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: NET
SHEET: 2 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129

APPROVED BY THE BROOKLYN
PLANNING AND ZONING COMMISSION

CHAIRMAN	DATE
Expiration date per Sec. 8.26C, Connecticut General Statutes:	

ENDORSED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN	DATE
----------	------

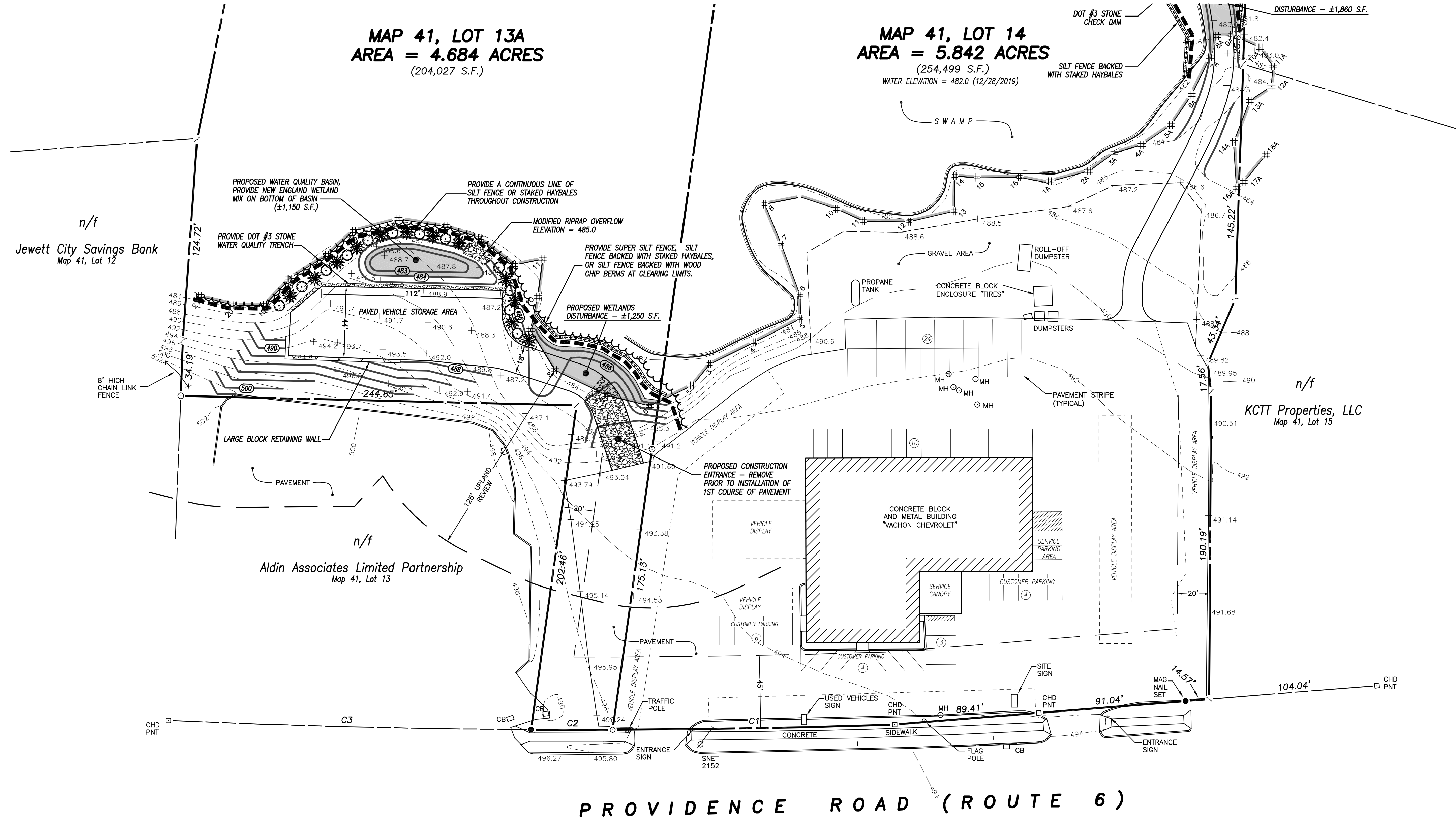
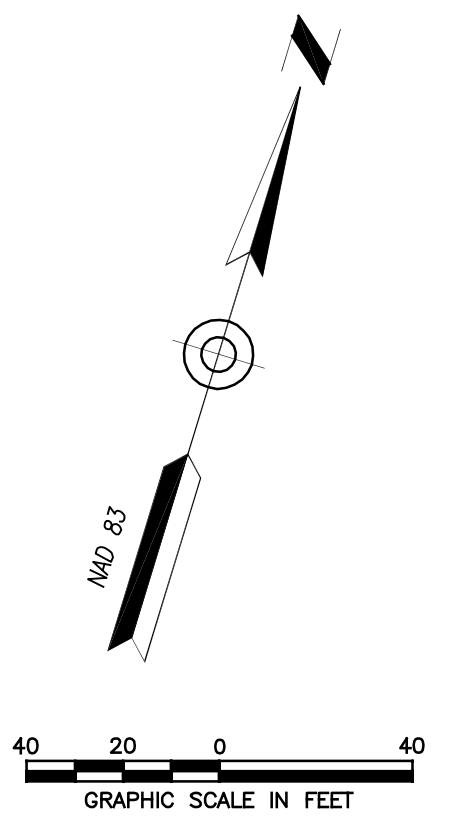
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

CURVE DATA		
C1 R = 5680.00' D = 1°45'30" L = 174.32' CH = S 71°56'28" W 174.32'	C2 R = 5680.00' D = 0°30'33" L = 50.48' CH = S 73°04'30" W 50.48'	C3 R = 5680.00' D = 2°15'41" L = 224.18' CH = S 74°27'37" W 224.18'

SEE SITE DEVELOPMENT PLAN No. 2



LEGEND	
●	IRON PIN TO BE SET
○	IRON PIN FOUND
□	CHD MONUMENT FOUND
□	CHD MONUMENT POINT
+	SIGN
○	UTILITY POLE
□	CATCH BASIN
○	MANHOLE
○	SANITARY SEWER MANHOLE
—#—	INLAND WETLANDS FLAG
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	SILT FENCE

- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Topographic features conform to a Class "1-2", "V-2" vertical accuracy.
 - Survey Type: Improvement Location Survey.
 - Zone = PC.
 - Owner of record:
 - Map 41, Lot 14 = Vachon Brooklyn, LLC
957 Washington St., Attleboro, MA 02703
Volume 620, Page 163
 - Map 41, Lot 13A = Vachon Brooklyn, LLC
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 - Elevations shown are based on an assumed datum. Contours shown are taken from actual field survey. Contour interval = 2'.
 - Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	MATURE HEIGHT
●	Myrica gale	Sweetgale	12	24"	2'-4'
●	Low-growing, bushy shrub. Blue-green to dark green foliage has a pleasant fragrance. Nitrogen fixer. Often found in bogs and acidic wetlands.				
●	Lindera benzoin	Common Spicebush	12	24"	3'-4'
●	Medium shrub found in seasonal wetlands and moist woods. Red fruit important food source for many birds. The primary food of larval Spicebush Swallowtail butterflies. Fall foliage.				

DATE	DESCRIPTION
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS

IMPROVEMENT LOCATION SURVEY
SITE DEVELOPMENT PLAN No. 1
PREPARED FOR
VACHON BROOKLYN, LLC
512 PROVIDENCE ROAD (ROUTE 6)
BROOKLYN, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 3 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129

APPROVED BY THE BROOKLYN PLANNING AND ZONING COMMISSION
CHAIRMAN _____ DATE _____
Expiration date per Sec. 8.26C, Connecticut General Statutes: _____

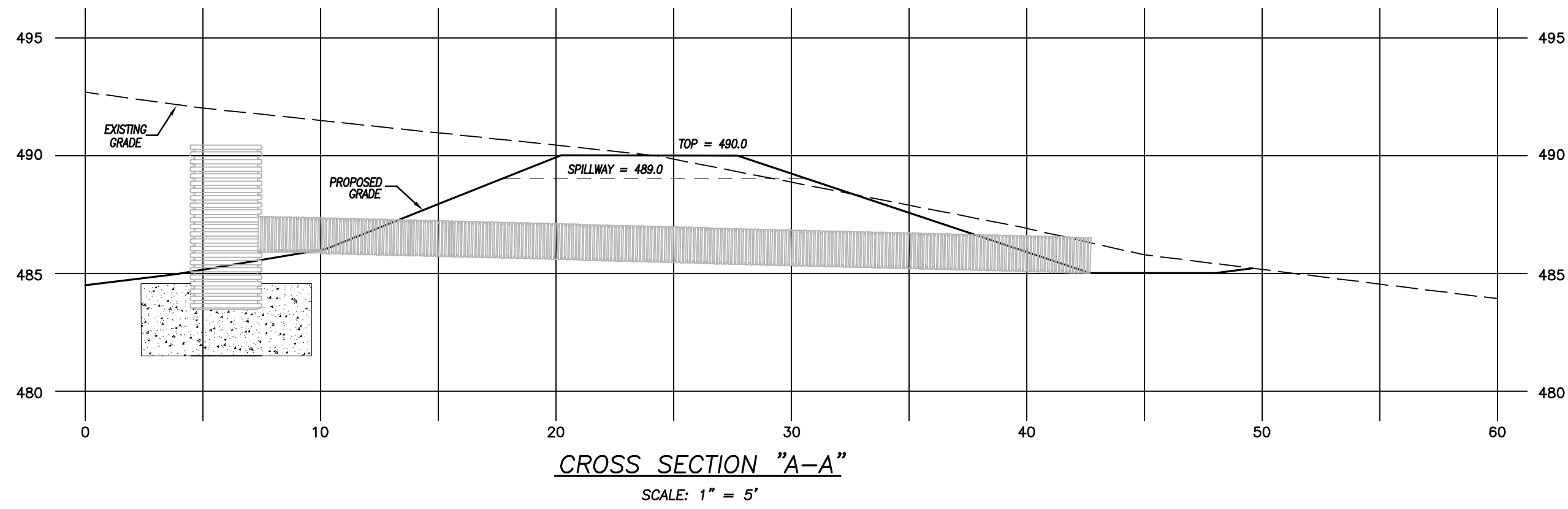
ENDORSED BY THE BROOKLYN INLAND WETLANDS COMMISSION
CHAIRMAN _____ DATE _____

**BEFORE YOU DIG
CALL BEFORE YOU DIG**
AT LEAST TWO FULL BUSINESS DAYS
BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE _____

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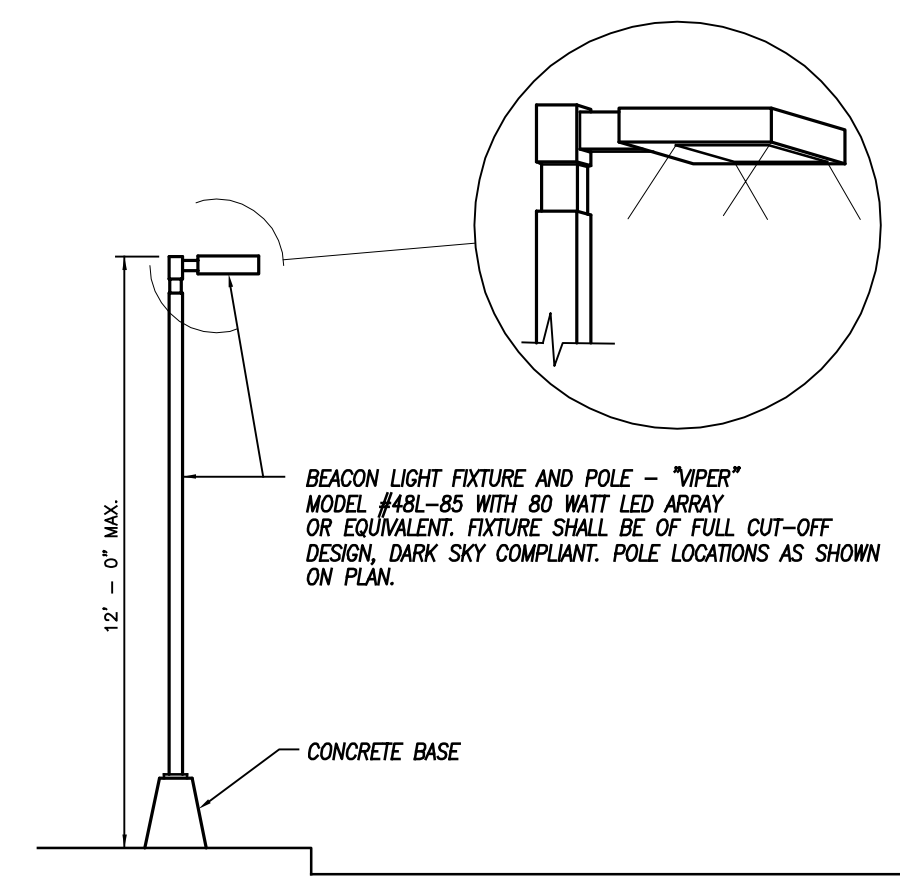
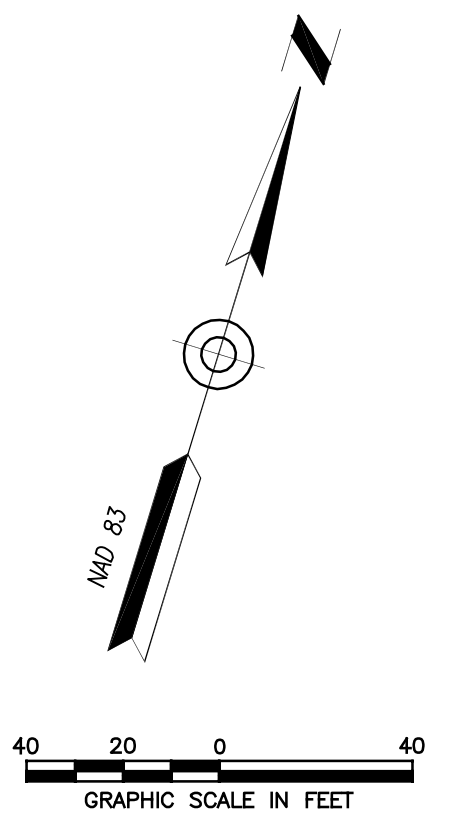
K:\19129\Drawings\105-04-19129 SITE.dwg Jul-28-2020 - 10:15 AM



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	MATURE HEIGHT
	<i>Juniperus scopolorum</i>	Moonglow Juniper	18	5'	16'-20'
Exceptionally showy, silvery blue foliage and broad pyramidal form makes a most attractive screen. A tough plants with dense branching that grows to 20' tall.					
	<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum	17	3-4'	6'-10'
This evergreen Viburnum (most are deciduous) has this olive green leaves that form a great green wall for screening. White fragrant flowers in the spring followed by red berries in the fall that provide food for birds.					
	<i>Acer rubrum</i>	Red Maple	5	3" Caliper	60'-80'

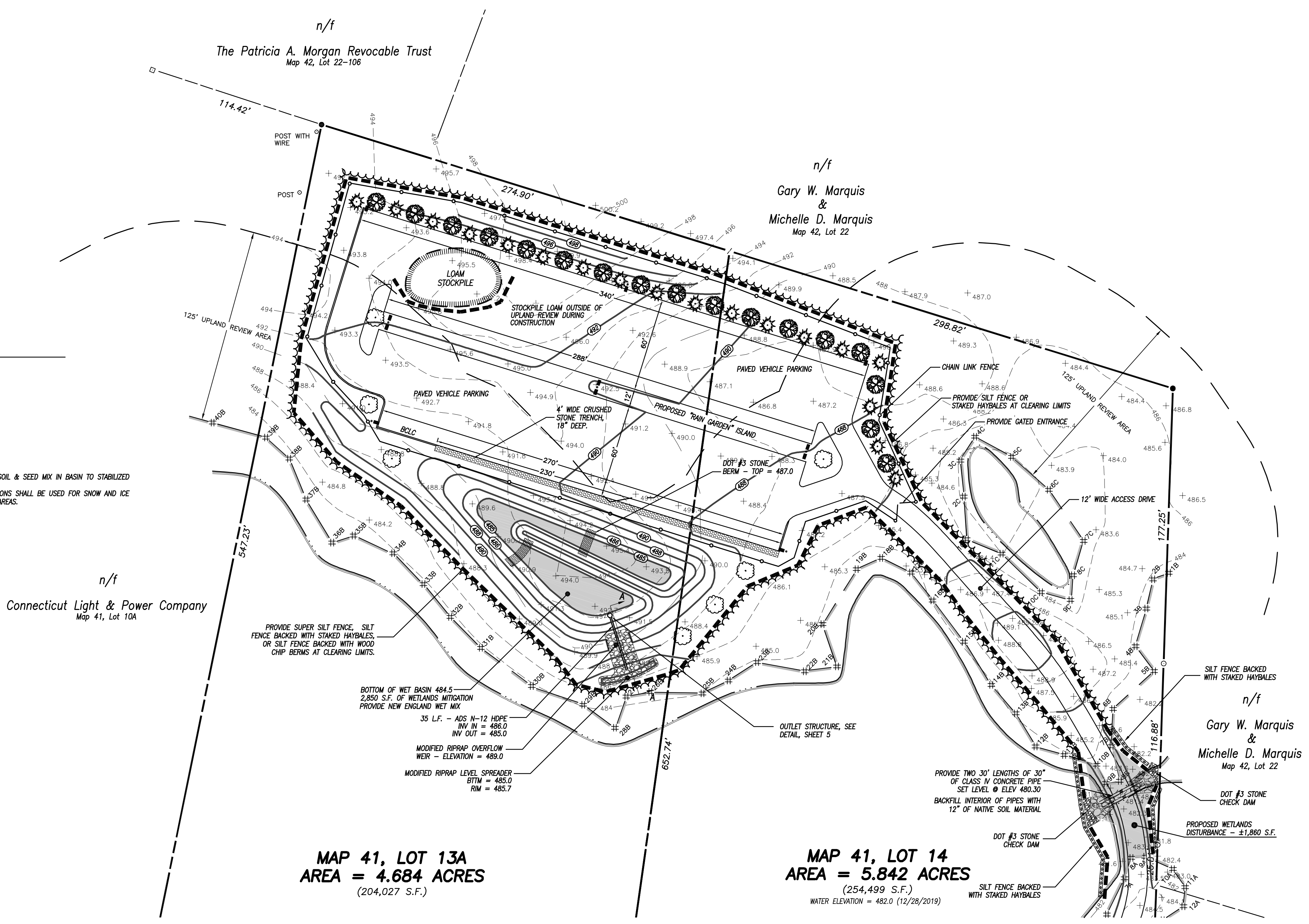
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LEGEND	
	IRON PIN TO BE SET
	IRON PIN FOUND
	CHD MONUMENT FOUND
	CHD MONUMENT POINT
	SIGN
	UTILITY POLE
	CATCH BASIN
	MANHOLE
	SANITARY SEWER MANHOLE
	INLAND WETLANDS FLAG
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SILT FENCE



LIGHT STANDARD
NOT TO SCALE

- NOTES:**
1. PROVIDE JUTE NETTING OVER TOPSOIL & SEED MIX IN BASIN TO STABILIZED SLOPES.
 2. NO SALTS OR CHEMICAL APPLICATIONS SHALL BE USED FOR SNOW AND ICE REMOVAL IN PROPOSED PARKING AREAS.



- NOTES:**
1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
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 - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
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957 Washington St., Attleboro, MA 02703
Volume 620, Page 163
 - Map 41, Lot 13A = Vachon Brooklyn, LLC
957 Washington St., Attleboro, MA 02703
Volume 632, Page 114
 4. Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, in September 2019.
 5. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from actual field measurements of CGS Random Points B9262 and B9264.
 6. Elevations shown are based on an assumed datum. Contours shown are taken from actual field survey. Contour interval = 2'.
 7. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

DATE	DESCRIPTION
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS

IMPROVEMENT LOCATION SURVEY
SITE DEVELOPMENT PLAN No. 2
 PREPARED FOR
VACHON BROOKLYN, LLC
 512 PROVIDENCE ROAD (ROUTE 6)
 BROOKLYN, CONNECTICUT

Killingly Engineering Associates
 Civil Engineering & Surveying
 114 Westcott Road
 P.O. Box 421
 Killingly, Connecticut 06241
 (860) 779-7299
 www.killinglyengineering.com

DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 4 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129

APPROVED BY THE BROOKLYN
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

Expiration date per Sec. 8.26C,
 Connecticut General Statutes: _____

ENDORSED BY THE BROOKLYN INLAND
 WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

BEFORE YOU DIG
CALL BEFORE YOU DIG
 AT LEAST TWO FULL BUSINESS DAYS
 BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE _____

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
 AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE _____

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
 THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.



PLANNING AND ZONING COMMISSION
TOWN OF BROOKLYN
CONNECTICUT

Received Date _____

Application #SP 20-002
Check # _____

APPLICATION FOR SPECIAL PERMIT

Name of Applicant VACTON BROOKLYN, LLC Phone 401-692-1459
Mailing Address 957 WASHINGTON ST, ATTLEBORO, MA Phone _____
02703

Name of Engineer/Surveyor KILLINGLY ENGINEERING ASSOCIATES
Address PO BOX 421 KILLINGLY CT 06241
Contact Person NORMAND THIBEAULT, JR Phone 779-7299 Fax _____

Name of Attorney N/A
Address _____
Phone _____ Fax _____

Property location/address 512 PROVIDENCE ROAD (PTE. 6)
Map# 41 Lot# 3A#14 Zone PC Total Acres 10.526
Sewage Disposal: Private _____ Public Existing Proposed _____
Water: Private _____ Public Existing Proposed _____

Proposed Activity CONSTRUCTION OF (2) 16' WIDE ACCESS DRIVES TO ACCESS PROPOSED NEW VEHICLE STORAGE LOTS.

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? NO

The following shall accompany the application when required:

- Fee \$ _____ State Fee (\$60.00) _____ 3 copies of plans _____ Sanitary Report _____
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: [Signature] Date 7/28/20
Owner: [Signature] Date 7/28/20

*Note: All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION
TOWN OF BROOKLYN
CONNECTICUT

Received Date _____
Action Date _____

Application #SPR _____
Check# _____

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant VACHON BROOKLYN, LLC Phone 401-692-1459
Mailing Address 957 WASHINGTON ST, ATTLEBORO, MA Phone _____
02703

Name of Owner SAME Phone _____
Mailing Address _____ Phone _____

Name of Engineer/Surveyor KILLINGLY ENGINEERING ASSOCIATES
Address PO BOX 421 KILLINGLY CT 06241
Contact Person NORMAN THIBEAULT, JR. Phone 779-7299 Fax _____

Property location/address PROVIDENCE ROAD (RTE-6)
Map # 41 Lot # 13A Zone PC Total Acres 10.524

Proposed Activity CONSTRUCTION OF (2) 16' WIDE ACCESS DRIVES
TO ACCESS PROPOSED NEW VEHICLE STORAGE LOTS

Change of Use: Yes _____ No If Yes, Previous Use _____
Area of Proposed Structure(s) or Expansion 2.69 AC

Utilities - Septic: On Site _____ Municipal Existing Proposed _____
Water: Private _____ Public Existing Proposed _____

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

Fee\$ _____ State Fee (\$60.00) _____ 3 copies of plans _____ Sanitary Report _____
4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
4.5.5 Applications filed with other Agencies
12.1 Erosion and Sediment Control Plans
See also Site Plan Review Worksheet

Variances obtained _____ Date _____

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: [Signature] Date 7/24/20

Owner: [Signature] Date 7/24/20

* Note: Any consulting fees will be paid by the applicant

LIST OF AJACENT LAND OWNERS INCLUDING ACROSS THE STREET as of 7/28/2020 GIS

*Vachon Brooklyn, LLC
Vachon Chevrolet
Providence Road (Route 6)
Brooklyn, CT*

Job No. 19129

MAP//LOT	NAME
41// 13	ALDIN ASSOCIATES LIMITED PARTNERSHIP 77 STERLING ROAD EAST HARTFORD, CT 06108
41// 12	JEWETT CITY SAVINGS BANK PO BOX 335 JEWETT CITY, CT 06351-0335
41// 10A	CONNECTICUT LIGHT & POWER CO PO BOX 270 HARTFORD, CT 06141-2335
42// 22-106	MORGAN THE PATRICIA A REVOCABLE TRUST 49 WESTVIEW DR BROOKLYN, CT 06234
42// 22	MARQUIS GARY W & MICHELLE D 43 WESTVIEW DR BROOKLYN, CT 06234
41// 15	KCTT PROPERTIES LLC C/O KENNETH CARDINAL 520 PROVIDENCE RD BROOKLYN, CT 06234
41// 108	CASEY BRIAN & ETHIER EILEEN 9 ALLEN HILL RD BROOKLYN, CT 06234-0156
41// 109	CASEY BRIAN M 9 ALLEN HILL RD BROOKLYN, CT 06234-0156



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992 ~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Wetland Impact Assessments

Wetland Delineations and Permitting ~ E&S/Site Monitoring

Wetland Function & Value Assessments

3/5/20

Killingly Engineering Associates

P.O. Box 421

Dayville, CT. 06241

Re: Wetland function/value and impact assessment report for proposed parking expansion for Vachon Chevrolet, Providence Road, Brooklyn, Connecticut.

Dear Mr. Glaude,

At your request, I have reviewed the site plans entitled: "PROPOSED PARKING EXPANSION, "VACHON CHEVROLET" PROVIDENCE ROAD (ROUTE 6) BROOKLYN CONNECTICUT, dated 1/7/2020 and the above referenced property for the purposes of assessing the wetland functions and values and potential impacts to the inland wetlands and watercourses in proximity to the proposed parking area expansion.

The wetland function and value assessment was conducted on 2/26/20.

Existing Conditions

The property composed by two separate lots is 10.52 acres in size and is located on the north side of Providence Road, (Route 6), in Brooklyn, CT.

The southeast portion of the site is occupied by the car dealership with both paved and gravel parking areas. The remaining portion of the property is occupied by a large palustrine forested/scrub-shrub wetland & watercourse complex and adjacent forested uplands.

Upland Review Areas

The 125 foot upland review area around the delineated forested/scrub-shrub wetland/watercourse is vegetated in the overstory with a mix of white pine and mixed hardwoods in the sawtimber and polewood size classes. The mixed hardwoods include white and scarlet oaks, and red maple.

The understory is comprised of polewood and saplings in these species as well as shrub species such as highbush blueberry. Herbaceous vegetation includes hay scented ferns and miscellaneous grasses.

Wetlands

A palustrine forested/scrub-shrub wetland/watercourse was delineated in the central portion of the property. (See wetland delineation report). The wetland was inundated on the date of the delineation, (11/14/19) and the assessment, (2/26/20).

This area has formed due to the presence of a perched or seasonal ground water table that provides the hydrology to allow it to remain inundated throughout the year.

The wetland/watercourse is vegetated around its perimeter with scarlet oaks, white pine and red maple in the sawtimber size classes.

The majority of this wetland/watercourse is densely vegetated with red maple saplings and typical wetland shrub species such as highbush blueberry, speckled alder, sweet pepperbush, winterberry and spicebush.

Herbaceous vegetation included sphagnum moss, sensitive & cinnamon ferns, sedges, rushes, skunk cabbage, tussock sedges and misc. grasses. Floating duckweed was also noted in one area.

Wildlife tracks/sign found and directly observed in and adjacent to the wetland/watercourse included mammals and bird species such as: white tailed deer, eastern coyote, red tailed fox, raccoon gray & red squirrels, red tailed hawk, American crow, red wing blackbird, and numerous songbird species.

Due to the time of year, no amphibians or reptiles were observed although undoubtedly the main wetland/watercourse serves as habitat for numerous species.

A small depressed area containing wetland soils was also delineated in the northeast portion of the property, (delineated by the "C" series flags). This area was most likely a historic excavation, in which these wetland soils have formed due to prolonged wetness.

The perimeter of this area is vegetated in the overstory with red maple sawtimber and polewood, and the understory is comprised of shrubs such as highbush blueberry, and speckled alder. Herbaceous vegetation included sensitive and cinnamon ferns. Sedges were found within the inundated portion of the wetland.

It is my opinion that this small wetland may possibly serve as vernal habitat, although no wood frogs, salamanders or egg masses were found on the date of the assessment, (2/25/20).

Wetland Functions and Values

The forested/scrub-shrub wetland/watercourse, and the small wetland were inspected to determine wetland functions and values utilizing the Army Corps. Of Engineers methodology as outlined in "The Highway Methodology Workbook Supplement".

This methodology recognizes 8 separate wetland functions: groundwater recharge/discharge, floodflow alteration/storage, fish/shellfish habitat, sediment/toxicant/pathogen retention, nutrient removal/retention/transformation, production export, sediment/shoreline stabilization and wildlife habitat. The 4 wetland values include: recreational value, educational/scientific value, uniqueness/heritage value and threatened/endangered species habitat.

For each wetland function or value to be determined, 2 to 31 different considerations/or qualifiers are considered as rationale to apply or eliminate that specific function or value.

Palustrine forested/scrub-shrub wetland/watercourse functions:

The following is a list of the wetland functions exhibited by this wetland/watercourse and their descriptions:

Floodflow alteration: the large wetland/watercourse exhibits flood storage potential due to the flat topography, and valuable properties, structures and resources are located adjacent to the wetland.

Ground water recharge and discharge: Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

Sediment/toxicant retention: herbaceous vegetation, shrubs and flat topography in the wetlands can effectively trap sediments/toxicants from surface flows from the adjacent topography and gravel parking areas.

Nutrient removal/retention: herbaceous and shrub vegetation in the wetlands can effectively trap and utilize potential nutrients before reaching watercourses. Nitrogen fixing bacteria in wetland soils also trap nitrogen. Although with no current sources of nutrients present, this wetland has little opportunity to provide this function.

Production export: numerous tree, shrub and herbaceous plant species in the wetlands provide food, berries and seeds for wildlife. Amphibians provide food for birds and mammals.

Sediment and shoreline stabilization: Roots from herbaceous grasses and plants, shrub species and trees found in wetlands bind and stabilize soils which helps prevent erosion along steeper edges of wetlands. Although with no significant currents or shoreline waves, this wetland/watercourse has little opportunity to provide this function.

Wildlife habitat: Numerous amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat. Wildlife habitat is another primary function of this wetland.

This wetland did not exhibit the wetland functions of fish habitat due to the lack of significant deep water habitat areas capable of sustaining fish.

Palustrine forested Scrub-shrub Wetland/Watercourse Values

The following wetland values were exhibited by this wetland/watercourse:

Educational/scientific value: this wetland/watercourse is relatively undisturbed, contains multiple wetland classes, and is considered as valuable wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

Uniqueness/heritage value: this wetland/watercourse serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as valuable wildlife habitat.

Visual/aesthetic value: the wetland/watercourse is visible from multiple viewing locations, it contains a diversity of vegetation that turns vibrant colors during different seasons, it is considered valuable wildlife habitat, and is not significantly disturbed.

This wetland/watercourse did not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

"C Series" Wetland Functions:

The following is a list of the wetland functions exhibited by this wetland and their descriptions:

Ground water recharge and discharge: Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

Wildlife habitat: It is possible that amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat.

This wetland did not exhibit the wetland functions of floodflow alteration, sediment/toxicant retention, nutrient removal/retention, production export, sediment & shoreline stabilization and fish habitat due to the lack of floodwater storage capacity, its small area, lack of dense vegetation, lack of significant deep water habitat areas capable of sustaining fish, and it is not associated with stream flows or a large body of water.

"C Series" Wetland Values

The following wetland values were exhibited by this wetland:

Educational/scientific value: this wetland is relatively undisturbed, and is considered as wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

Uniqueness/heritage value: this wetland serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as wildlife habitat.

This wetland did not exhibit the visual/aesthetic value as it is not visible to the public, and does not contain vegetation that turn vibrant colors. It does not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

Potential wetland impacts

The project plans and site were reviewed to assess the potential impacts to the wetlands from the proposed parking area expansion.

On the two parcels, an expansion of the existing parking areas is proposed, one area in the northern portion of both of the lots, and one in the southern portion of lot 13A.

Northern parking area:

In order to access the uplands in the northern portion of the parcels, a 1,860 square foot direct wetland disturbance is proposed for the 12 foot wide paved access drive. This will consist of excavation and installation of two 30 inch diameter class IV concrete pipes which will be filled along the bottom with native soil material.

Within the majority of the 125 foot upland review area and remaining uplands, the 12 foot wide access drive and a 340 foot long by 60 foot wide paved parking area is proposed with a storm water treatment basin located to the south of the parking area. In the bottom of the storm water basin, a 2,850 square foot wetland mitigation is also proposed. This area is designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

The clearing limits and E&S measures shown on the plans vary from approx. 40 feet in width to immediately adjacent to the wetlands.

The topsoil stockpile is shown a reasonable distance from the wetlands and silt fencing is shown along the southern side.

Southern parking area:

In order to access the proposed 112 foot long by 44 foot wide paved parking area, a 1,250 square foot direct wetland disturbance is proposed for the construction of the access road.

To the north of the paved parking area, a storm water treatment basin is shown, and in the bottom of the basin a 1,150 square foot wetland mitigation is proposed. This area is also designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

Also shown on the project plans are proposed plantings of common spicebush and sweetgale shrubs along the northern edge of the storm water treatment basin, to help revegetate and stabilize the side slopes.

The clearing limits and E&S measures on the plans for the most part are depicted immediately adjacent to the wetlands.

No topsoil stockpile is shown for this small construction area so I would assume that the topsoil will be hauled off site, or stored elsewhere on site, preferably with silt fencing around the perimeter.

E&S Measures:

The submitted project plans show the proposed E&S measures around the perimeter of the clearing limits adjacent to the wetlands as silt fencing and/or staked hay bales.

It would be my recommendation that the E&S measures be installed as soon as possible after the initial timber cutting and before the stumping and topsoil removal operation. It is during this phase where the most likely opportunity will occur for erosion and sedimentation. In some areas the slopes adjacent to the wetlands are steep, and the excavation, filling and grading are proposed directly adjacent to the wetlands.

Along the clearing limits adjacent to the wetlands, I would recommend either super silt fencing or silt fencing backed by staked hay bales should be proposed and implemented. This silt fencing will also prevent reptiles and amphibians from entering the excavation areas.

I would recommend that the storm water basins be constructed first before the remaining areas so they can serve as temporary sediment basins until the parking areas are constructed.

I would also recommend that E&S inspections be conducted on a frequent basis during the land clearing/stumping/topsoil stripping phases, and prior to significant storm events.

Direct wetland impacts:

The combined direct wetland disturbance for both of the wetland crossings totals 3,110 square feet. In this area all the specifically listed wetland functions and values for each wetland will be negated.

It is my opinion however, that the proposed 4,000 square foot wetland mitigation will compensate for this loss.

Potential short term impacts:

The potential short term impacts associated with the land clearing, stumping, top soil stripping and construction would be limited to potential sediment discharges during significant storm events.

Provided that the proposed/recommended E&S measures/inspections are correctly implemented and maintained throughout the project timeframe, the disturbance directly

adjacent to the wetlands will not significantly impact the wetlands or their existing functions due to erosion and sedimentation. Once the top soils are removed, the well-drained, sandy/gravelly soils will allow for good infiltration of storm water runoff until the construction is complete.

The quick and permanent establishment of vegetation in the disturbed areas is crucial to the prevention of erosion. To minimize the potential for these impacts, E&S control measures have been incorporated into the project plans on sheet 5 of 5.

Potential long term impacts:

Wetland hydrology

I see no direct or long term impacts to the wetland hydrology as a result of the proposed access roads, parking areas or storm water treatment basins. As the access drives and parking areas are paved, storm water runoff will be an input to the existing hydrology, through some minor overland flow, but mostly through the storm water basins, as ground water recharge or as direct discharge during significant storm events after treatment.

Water quality:

Due to the incorporation of the paved parking surfaces, stone water quality trenches, storm water treatment basins, and some direct infiltration of storm water in the well-drained, sandy, gravelly soils, I see no significant or adverse impacts to the existing water quality of the wetlands from storm water discharges.

Adjacent upland wildlife habitat

Potential long term impacts to the upland habitat from the project would include the loss of a significant portion of the URA serving as riparian zones and upland wildlife habitat adjacent to the wetlands. This intrusion will force wildlife into the narrow vegetated corridor in and around the wetlands during and after the construction timeframe, and into other areas where the uplands are not disturbed. However, because this vegetated wildlife corridor is not proposed to be totally cleared and still exists in minimal widths in some areas, the wetlands and adjacent riparian zone will still provide for some wetland function and wildlife habitat.

It is my opinion that the proposed 4,000 square foot wetland mitigation will help compensate for these impacts to the upland/riparian habitat.

In summary, the design of the project implements features intended to minimize or eliminate potential impacts to the wetlands such as storm water runoff, significant loss of wetland habitat, and erosion and sedimentation associated with construction activities.

I feel these proposed measures are adequate to protect the wetlands provided that the recommended erosion and sedimentation control features are implemented and maintained throughout the excavation and reclamation timeframe.

The construction of the proposed 4,000 square foot wetland mitigation will assist in the remaining wetlands ability to provide the same wetland functions and values they currently provide.

If you have any questions concerning the site assessment or this report, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "J. R. Theroux". The signature is fluid and cursive, with a large initial "J" and "R".

Joseph R. Theroux
Certified Forester and Soil Scientist
Member SSSSNE, NSCSS, SSSA



neccog

barford - brooklyn - cantonbury - crosby - eastford - hampton - kerry - providence
pawlet - putnam - scotland - stonington - thompson - town - wetherford - wethersfield

March 23, 2020

Ms. Jana Roberson, AICP
Director of Community Development / Town Planner
Town of Brooklyn
5 Wolf Den Road
P.O. Box 356
Brooklyn, CT 06234

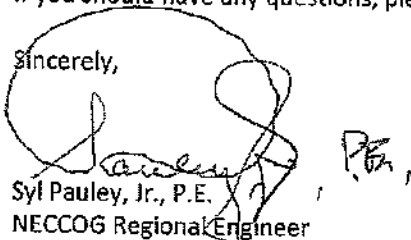
SUBJECT: Proposed Parking Expansion
Vachon Chevrolet
Assessor's Map 41, Lot Nos. 13A & 14
Providence Road (Route 6)
Brooklyn, Connecticut

Dear Ms. Roberson:

As you requested, I have reviewed the developer's consulting engineer's plans for the above captioned project. A copy of my comments are enclosed pertaining to my review of the plans, consisting of five sheets, entitled "Proposed Parking Expansion, 'Vachon Chevrolet', Providence Road (Route 6), Brooklyn, Connecticut, Prepared for Vachon Brooklyn, LLC.," which were created by Killingly Engineering Associates, dated January 2020 with revision date of March 10, 2020.

If you should have any questions, please do not hesitate to email me at syl.pauley@neccog.com.

Sincerely,



Syl Pauley, Jr., P.E.
NECCOG Regional Engineer

SP/s

cc: File

JRLtr_ProposedParkingExpansionVachonChevrolet_Xmit 03202020 Review Cmts.doc

NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

ENGINEERING PLAN REVIEW PERTAINING TO PROPOSED PARKING EXPANSION VACHON CHEVROLET (ASSESSOR'S MAP 41, LOTS 13A & 14) PROVIDENCE ROAD (ROUTE 6) BROOKLYN, CT (March 20, 2020)

The comments contained herein pertain to my review of plans, consisting of five sheets, entitled "Proposed Parking Expansion, 'Vachon Chevrolet', Providence Road (Route 6), Brooklyn, Connecticut, Prepared for Vachon Brooklyn, LLC.," prepared by Killingly Engineering Associates, dated January 2020 with revision date of March 10, 2020.

SHEET 2 OF 5 – EXISTING CONDITIONS

1. The northing and easting coordinates should be noted for CGS Random Points B9262 and B9264. It would also be helpful to include a large scale diagram as to where these points are relative to the project.

SHEET 3 OF 5 – SITE DEVELOPMENT PLAN NO. 1

1. A construction entrance symbol is drawn at the entrance to the new "paved vehicle storage area." However, a note should be included to indicate that this will be removed at the time the first course of paving is installed for the vehicle storage area. Additionally, it would be helpful for this explanation to be included in Note 17 under "Development Schedule/Sequence of Operations" that appears on Sheet 5 of 5 of the plan set.
2. The note "Silt Fence Backed with Staked Haybales or Wood Chip Berms" should read the same as the note on Sheet 4 of 5, "Provide Super Silt Fence, Silt Fence Backed with Staked Haybales, or Silt Fence Backed with Wood Chip Berms at Clearing Limits," for consistency.

SHEET 4 OF 5 – SITE DEVELOPMENT PLAN NO. 2

1. Proposed slopes in the detention basin range from 1:1 to 3:1. It is recommended that slope be uniform and that no slopes be steeper than 3:1 to reduce the tendency of soil erosion
2. Pedestal lighting, with dual light fixtures, is shown at three (3) locations in the middle of the proposed vehicle parking area. No description of the lighting assembly (pedestal height, pedestal base, full cutoff design, wattage, etc.) can be found in the plans under review. This is important since there is a house on adjacent Lot No. 22 that is not too distant from the north property line in the vicinity of the proposed construction on the Vachon property. It should also be noted that the

majority of the visual/sound barrier created by the existing mature forest in this area between the house and the proposed development is going to be removed, only to be replaced by young plantings that will take many years to reestablish the buffer. Therefore, has the impact of lighting and noise on the adjacent residence been evaluated to determine if there will be any significant impact to it?

3. How will snow removal be handled in this area so as not to impact the adjacent wetlands (salt or other ice removal chemicals) and proposed landscaping?
4. It is unclear on how the "island" in the middle of the proposed parking area is going to be constructed, i.e., raised island with landscaping; raised island paved with no landscaping; flush with whatever in between; etc.? Can this area be used as a rain garden to mitigate some of the runoff from the pavement?
5. Is there any consideration to provide some form of "tall" landscaping in the center island, considering how much impervious pavement is being proposed?
6. As an aid to construction, it would be helpful to include a cross-section profile from the detention basin outlet structure to just beyond the level spreader.

SHEET 5 OF 5 – DETAIL SHEET

1. In the "Stormwater Basin Outlet Detail," a smooth outer wall PVC pipe may be less susceptible to upheaval or degradation (breakage) by icing conditions than a corrugated type of pipe. It is recommended that this be evaluated by the designer. Furthermore, over time, ultraviolet rays in sunlight degrades unprotected plastic pipe, which causes it to lose structural integrity and stability. Considering this, concrete may be a better choice.
2. In the "Stone Berm" detail, what specific type of filter fabric should be used to minimize sediment transport and at the same time allow the efficient transmission of water toward the outlet structure? This should be specified in the detail. Also, what are the conditions as to when the berm should be replaced to function as designed due to sediment build up?
3. It is recommended that the "Silt Fence – Backed with Haybales" detail title be modified to read "Super Silt Fence (Silt Fence Backed with Haybales or Wood Chip Berms)."
4. In the "Chain Link Fence Detail" the gauge of the fence fabric and size of the selvage should be specified and also what type of material it is manufactured from (galvanized steel, PVC coated steel, etc.). The same goes for the posts and hardware, too, and depth of bury/concrete anchorage for the posts.
5. In the "Stone Berm" detail, will CONNDOT crushed stone M.01.01 #3 remain stable at a 2:1 angle of repose?
6. In the "Slope Stabilization Detail" it is recommended that the slope be 3:1 or flatter, NOT 2:1 or steeper, as shown.
7. In the "Bituminous Lip Curb" detail it is recommended that the curb be formed on the binder course (locked in) for better stability/longevity, which should provide more resistance to deformation by snowplowing operations or other vehicle impacts.

By:

 P.E.
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

Audrey Lussier

From: Audrey Lussier
Sent: Tuesday, July 28, 2020 3:21 PM
To: permitsct@momentumsolar.com
Subject: 90 Bailey Woods Road Brooklyn CT - roof and solar building permits

Hello:

I am in receipt of three permits for 90 Bailey Woods Road. No fees were enclosed with the packet: Fee schedule as follows:

Building Permit: Strip and reroof permit - fee is \$70

Building Permit for Roof Mounted Solar & Electrical (Electrical Portion is \$210, Roof Mount Solar 29 Modules is \$90 Total = \$300 for the solar and electrical combined).

Please submit two checks made payable to Town of Brooklyn –

One for \$70 (roof).

One for \$300 (electrical and solar panels).

Mail to Building Dept, Town of Brooklyn, 69 South Main St, Suite 22, Brooklyn, CT 06234.

Once payment is received the building permits will be processed.

Any questions please contact me at the number below.

Thank you

Audrey Cross-Lussier ☺
Building/Land Use Office
Administrative Assistant
860-779-3411 Ext 12

Killingly Engineering Associates

Civil Engineering & Surveying

P.O. Box 421 Killingly, CT 06241
Phone: 860-779-7299
www.killinglyengineering.com



March 30, 2020

Ms. Jana Roberson, AICP
Director of Community Development/Town Planner
Town of Brooklyn Department of Planning
Clifford B. Green Memorial Center
69 South Main Street
Brooklyn, CT 06234

**RE: Proposed Parking Expansion
Vachon Chevrolet**

Dear Ms. Roberson;

In response to NECCOG review comment on the aforementioned project, we offer the following:

Sheet 2 of 5 – Existing Conditions

1. The CGS random points referenced on the survey plan were used to establish the horizontal location of the project and have no bearing on the design. These points are not located adjacent to the site and we do not see the need or purpose of providing coordinates or creating a large-scale diagram of their locations at the expense of our client. Additionally, the Town of Brooklyn's regulations do not require such information.

Sheet 3 of 5 – Site Development Plan No. 1

1. A note has been added to the plan to direct the contractor to remove the anti-tracking construction entrance prior to installing the first course of pavement. This has also been noted on sheet 5 of 5 in the development schedule/sequence of operations.
2. The note "silt fence backed with staked haybales or wood chip berms" has been modified to read the same on all sheets.

Sheet 4 of 5 – Site Development Plan No. 2

1. Slopes in the detention basin have been modified so that they do not exceed 2:1 (center berm only). We have also noted that jute netting shall be installed to stabilize the basin after topsoil and seed have been applied. The center berm is designed to extend detention time in the basin and we do not anticipate erosive conditions once stabilized.
2. A detail for the lighting fixture with the make and model number has been added to the plans. We have also enclosed a cut sheet for the lighting as well. The chosen fixtures will be mounted no higher than 12' and are dark sky compliant. In addition, the landscaping proposed between the parking and the residences to the north will provide a very good vegetated buffer; cut sheets for the chosen plantings is included with this submission. Currently, the existing pine trees do not provide any visual buffer. As with most larger pine trees, there are minimal branches at the bottoms of the trees up to 20' or more. With regard to noise, this area will be utilized to store inventory and will not be accessed by the general public unless accompanied by a sales representative.
3. Snow will be stockpiled at the top of the slope adjacent to the proposed stormwater basin. Sheet 5 of the plans specify that no salt or chemical applications for snow removal shall be used.

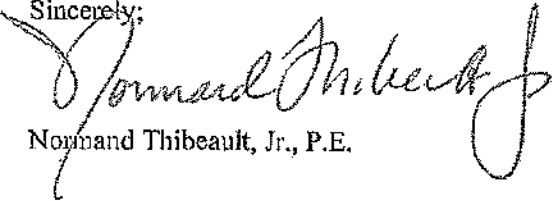
4. The island in the center of the site will be depressed. We will incorporate rain garden plantings into the island to promote stormwater treatment and infiltration.
5. As the center island will be utilized in the capacity of a rain garden, we do feel that taller vegetation would be appropriate.
6. A cross section of the basin outlet has been added to the plans as requested.

Sheet 5 of 5 – Detail Sheet

1. The manufacturer of ADS N-12 HDPE pipe states a life expectancy of 100 years. For the upright outlet structure, the base will be embedded in concrete to anchor it in place to prevent upheaval and the depth of bury for the outlet pipe will for the most part be installed below frost level. We have utilized this design and application for dozens of projects throughout the years and we are not aware of any failures for this application. Additionally, the installation of the outlet pipe and structure in this location does not present any structural constraints (i.e. it is not an installation subject to traffic). It is our professional opinion that HDPE pipe is sufficient for this application.
2. For the stone berm, specifications for the filter fabric have been called out and conditions for maintenance are defined.
3. The silt fence detail has been modified to read "super silt fence" as requested.
4. The detail for the fence installation has been modified as requested. In addition, neighbors who attended the public hearing for wetlands requested an 8' fence in lieu of a 6' fence which has been accommodated.
5. In our experience, the 2:1 angle of repose for the DOT #3 stone is stable. Section 5-10-12 of the 2002 CT Guidelines for Soil and Erosion Control ("the 2002 Guidelines") specify slopes no steeper than 1:1 and heights no greater than 3'.
6. We have modified the slope stabilization detail to call for application on slopes 2:1 or flatter per 5-4-10 of the 2002 Guidelines.
7. Bituminous curb installation detail has been modified accordingly as requested.

We trust that the plans as modified address the March 23rd review comments. Please feel free to contact us if there are any further questions or concerns.

Sincerely;


Normand Thibeault, Jr., P.E.

VIPER S

OPTICS

STRIKE

SMALL VIPER LUMINAIRE

Cat.#

Job

Type



Approvals

SPECIFICATIONS

Intended Use:

The Beacon Viper luminaire is available with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 400W MH or HPS.

Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

Electrical:

- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input.
- Power factor is ≥ 0.90 at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 800VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 800 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Surge protection - 20kA.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

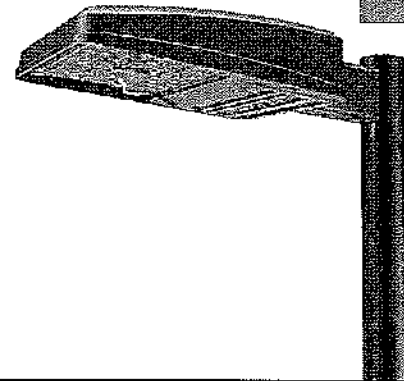
Certifications/Ratings:

- Certified to UL 1598, UL 8760 and CSA C22.2 No.250.0
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: <http://www.beaconproducts.com/products/viperemail>

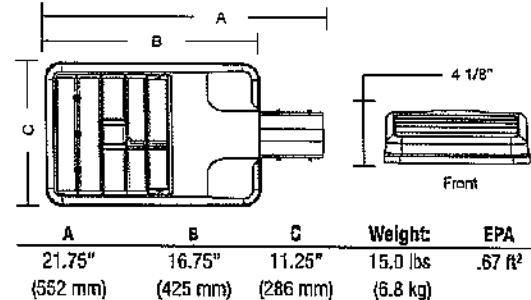
Warranty:

Five year limited warranty for more information visit: www.hubbellighting.com/resources/warranty

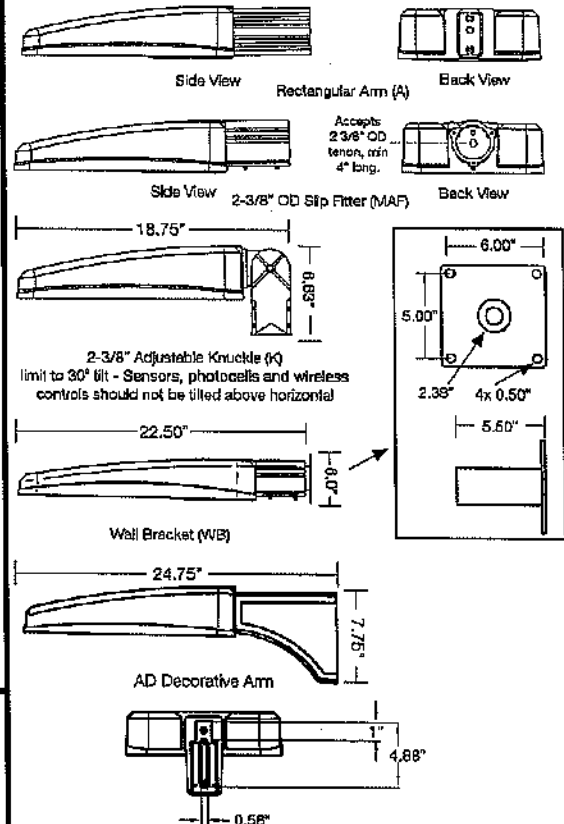
PRODUCT IMAGE(S)



DIMENSIONS



MOUNTING OPTIONS



CERTIFICATIONS/LISTINGS



*3000K and warmer CCTs only



Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 864.678.1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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ORDERING INFORMATION ORDERING EXAMPLE: VPS/24L-45/AM/4W/UNV/A/DBT/BC

VPS									
SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS			
VPS Viper	24L-45 45W, LED array 36L-65 65W, LED array 48L-85 80W, LED array 60L-105 105W, LED array	AM Amber	Leave blank for no rotation L ¹ Optic rotation left R ¹ Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WRT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured	CD Continuous Dimming F Fusing BSP Bird Spikes BC Backshield (available for FR, 2, 3, 4, 4W Optics) TB Terminal Block			
		DISTRIBUTION							
		FR Type 1/Front Row 2 Type 2 3 Type 3 4F (formerly 4) Type 4 4W Type 4 Wide 5QM Type 5QM 5R Type 5R (rectangular) 5W Type 5W (round wide) TC Tennis Court							
					COLOR OPTION CC Custom Color				

CONTROL OPTIONS
7PR 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others)
7PR-SC 7-Pin Receptacle w/Shorting Cap
7PR-TL 7-Pin Receptacle w/Twist Lock photo control

HOUSE SIDE SHIELD ACCESSORIES

HSS/VP-S/90-FB/XXX 90° shield front or back
HSS/VP-S/90-LR/XXX 90° shield left or right
HSS/VP-S/270-FB/XXX 270° shield front or back
HSS/VP-S/270-LR/XXX 270° shield left or right
HSS/VP-S/360/XXX Full shield

(Replace XXX with notation for desired finish color)
(Refer to page 5 for shield images)

MOUNTING

A Rectangular Arm (formerly RA) for square or round pole
MAF Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm
K Knuckle (formerly PK2) limit to 45° tilt or 2-3/8" OD horizontal arm or vertical tenon
WB Wall Bracket
AD Universal Arm for square pole
AD3 Universal Arm for 2.4"-4.1" round pole
AD4 Universal Arm for 4.2"-5.3" round pole
AD5 Universal Arm for 5.5"-5.9" round pole
AD6 Universal Arm for 6.0"-6.5" round pole

MOUNTING ACCESSORIES

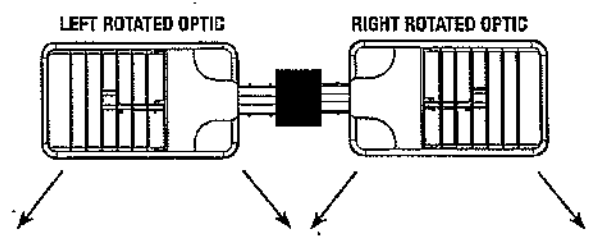
VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm
VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm
VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm
VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm

¹ Only available with 1A, 2, 3, 4, 4W and 5R distributions

PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit www.hubbell-automation.com/products/sitesync/ or contact Hubbell Lighting tech support at 864-678-1000.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VPS/24L-55/AK7/3/UNV/A/DBT/SWP/ SiteSync only
VPS/24L-55/AK7/3/UNV/A/DBT/SWPM-40F/ SiteSync with Motion Control



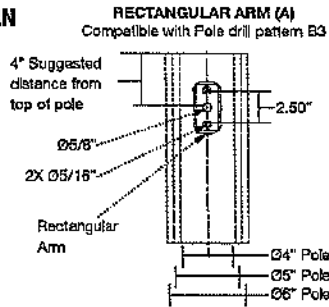
PERFORMANCE DATA

# LED'S	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
			LUMENS	LPW'	B	U	G
24	45W	FR	1238	28	0	0	0
		2	1194	27	0	0	0
		3	1171	26	0	0	1
		4	1152	26	0	0	0
		4W	1127	25	0	0	1
		5QM	1173	26	1	0	0
		5R	1181	26	1	0	1
		5W	1260	28	1	0	0
		TC	1204	27	0	0	0
36	65W	FR	1857	29	0	0	0
		2	1791	28	0	0	0
		3	1757	27	0	0	1
		4	1728	27	0	0	1
		4W	1690	26	0	0	1
		5QM	1759	27	1	0	0
		5R	1771	27	1	0	1
		5W	1726	27	1	0	0
		TC	1808	27	0	0	0
48	85W	FR	2476	29	0	0	0
		2	2389	28	1	0	1
		3	2343	28	0	0	1
		4	2304	27	0	0	1
		4W	2254	27	0	0	1
		5QM	2345	28	1	0	0
		5R	2362	28	1	0	1
		5W	2301	27	2	0	1
		TC	2408	28	0	0	0
60	105W	FR	3095	29	1	0	0
		2	2986	28	1	0	1
		3	2927	27	1	0	2
		4	2880	27	0	0	1
		4W	2817	26	0	0	1
		5QM	2933	27	1	0	0
		5R	2953	28	2	0	2
		5W	2879	27	2	0	1
		TC	3011	28	0	0	1

# LED'S	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
			LUMENS	LPW'	B	U	G
24	45W	FR-BC	1064	24	0	0	0
		2-BC	880	20	0	0	0
		3-BC	802	18	0	0	0
		4-BC	887	20	0	0	0
		4W-BC	2014	45	0	0	1
		TC-BC	930	21	0	0	0
		5R	1181	26	1	0	1
36	65W	FR-BC	1596	25	0	0	0
		2-BC	1320	20	0	0	0
		3-BC	1202	18	0	0	0
		4-BC	1330	20	0	0	0
48	85W	4W-BC	2014	31	0	0	1
		TC-BC	1396	21	0	0	0
		FR-BC	2128	25	0	0	0
		2-BC	1761	21	0	0	0
		3-BC	1603	19	0	0	1
		4-BC	1774	21	0	0	1
		4W-BC	1450	17	0	0	0
60	105W	TC-BC	1861	22	0	0	0
		5R	2362	28	1	0	1
		FR-BC	2661	25	0	0	0
		2-BC	2201	21	0	0	0
		3-BC	2004	19	0	0	1
		4-BC	2217	21	0	0	1
		4W-BC	1813	17	0	0	1
TC-BC	2326	22	0	0	0		
5R	2953	28	2	0	2		



DRILL PATTERN



EPA

Config.	EPA
1	.67
2 @ 90°	1.06
2 @ 180°	1.34

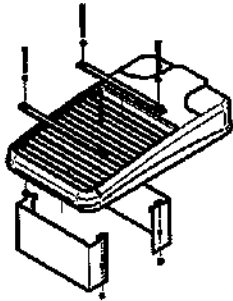
Config.	EPA
3 @ 120°	1.68
3 @ 90°	1.73
4 @ 90°	2.12

TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

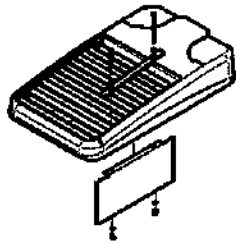
(2 3/8" OD tenon)

Catalog Number	Description
SETAVP-XX	Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
RETAVP-XX	Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
TETAVP-XX	Hexagonal tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
SETA2XX	Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
RETA2XX	Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only
TETA2XX	Hexagonal tenon adapter (3 at 120°) for AD - Universal Arm mounting option only

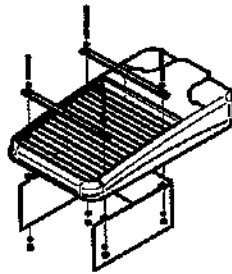
HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



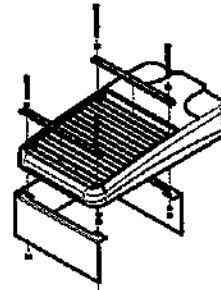
HSS/VP-S/90-FB/XXX
90° shield front or back
(2 shields shown)



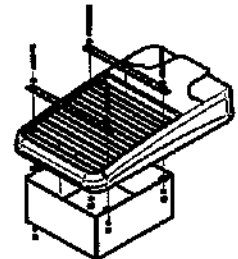
HSS/VP-S/90-LR/XXX
90° shield left or right
(1 shield shown in left orientation)



HSS/VP-S/270-FB/XXX
270° shield front or back
(1 shield shown in back orientation)

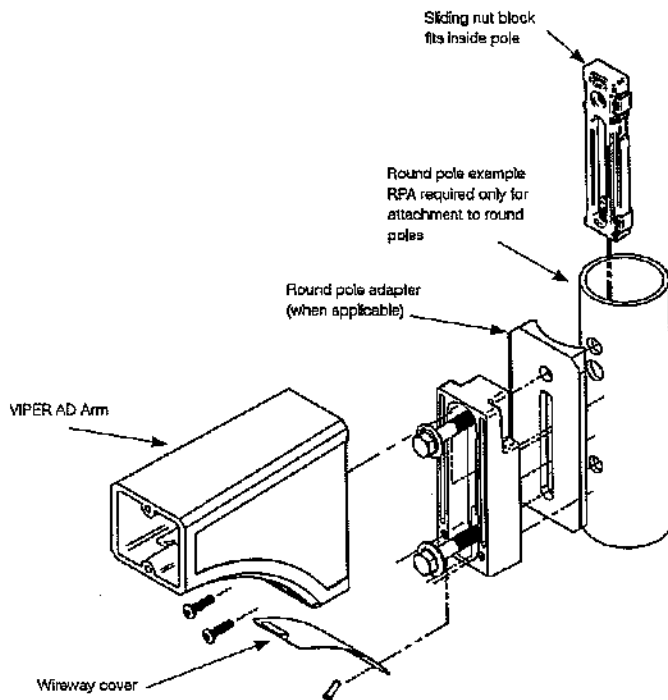


HSS/VP-S/270-LR/XXX
270° shield left or right
(1 shield shown in right orientation)



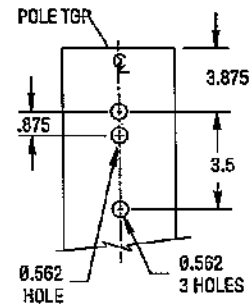
HSS/VP-S/360/XXX
Full shield (1 shield shown)

AD ARM MOUNTING INSTRUCTIONS



DECORATIVE ARM (AD)

Compatible with pole drill pattern S2



**TOWN OF BROOKLYN
Inland Wetlands Commission
Regular Meeting Minutes
Virtual Webex Meeting
June 9, 2020**

Call to Order: The meeting was called to order at 6:01 p.m.

Members Present: Jeffrey Arends, Demian Sorrentino, Richard Oliverson, George Sipila, James Paquin.

Absent: None.

Staff Present: Margaret Washburn, Wetlands Agent, Rick Ives, First Selectman, Audrey Cross-Lussier, Recording Secretary.

Also Present: Norm Thibeault, David Held, Paul Archer, Jeffrey Weaver, Don Dubois.

Roll Call: All members present stated their name for the record.

Seating of Alternates: None.

Public Commentary: None.

Additions to the Agenda:

A motion was made by Jim Paquin to add the following applications under new business as # 4, 5, 6:

#4 060920A Paul R. Lehto, Allen Hill Road, Map 32, Lot 148, RA Zone; Excavation of sand and gravel.

#5 060920B VBL Properties, LLC, Beecher Road, Map 22, Lot 38, RA Zone; 5-Lot Subdivision.

#6 060920C A. Kausch & Sons, Tripp Hollow Road, Map 15, Lot 4, RA Zone; 2-Lot Subdivision; single family homes, driveways, septic, well and minor gradings.

Demian Sorrentino seconded this motion. Discussion held.

Mr. Sorrentino asked if applications # 5 and 6 had delineation reports and stamped/signed by professional engineer Robert Deluca? Paul Archer commented that the plans were e-mailed to Ms. Washburn this afternoon. Ms. Washburn commented that part of application 060920B for VBL Properties, Beecher had been left blank, specifically the section with regards to cubic yards of filling of wetlands. Mr. Archer commented he will complete the application and stated there is no work being done in the wetlands.

No further discussion. All in favor. The motion passes.

Approval of Minutes:

1. Regular Meeting Minutes March 10, 2020. Minutes were approved as written with no changes made.

Continued Public Hearings:

1. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing. (public hearing suspended due to COVID 19)

Norm Thibeault, Killingly Engineering represents the application. Mr. Thibeault stated that the plans were reviewed by NECCOG Engineer Syl Pauley. Mr. Thibeault addressed Mr. Pauley's comments on each page, adjusted the plans and provided written responses to written comments.

Chairman Arends asked Mr. Thibeault how many parking spots are proposed. Mr. Thibeault commented 140 to 150 in the back. The spaces will not be lined. Chairman Arends asked if there will be an area designated for snow. Mr. Thibeault stated snow removal will be pushed to the edge of the parking lot towards the stormwater basin. The basin is capable of handling a 100-year storm. Mr. Thibeault discussed the wetland basin and vegetative mitigation.

Chairman Arends asked if there was any public commentary to be heard. With no further discussion or public commentary Chairman Arends asked for a motion to close the public hearing.

A motion was made by Jim Paquin to close the public hearing. Demian Sorrentino seconded the motion. Discussion held. All in favor. The motion passed unanimously.

Old Business:

1. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing. (public hearing suspended due to COVID 19).

Chairman Arends stated he would like to see as a condition that only new vehicles are stored in the back lot.

A motion was made by Demian Sorrentino to approve application 021120B Vachon Brooklyn, LLC, 512 Providence Road, with proposed special conditions (in addition to standard conditions):

1. The detention basins shall be constructed, stabilized, and seeded before the parking lots constructed.
2. Install the sediment/erosion controls as shown on the approved plans and call the Wetlands Enforcement Officer at (860) 779-3411, extension 31, for an inspection prior to starting any earth disturbance activities. Written approval of the sediment/erosion controls must be given by the Wetlands Enforcement Officer prior to starting any earth disturbance activities.
3. Only new vehicles, no used or trade in, or employee parking allowed in the parking lots.
4. Invasive species to the greatest extent possible the contractor will eradicate invasive species during construction.

Jim Paquin seconds the motion. Discussion held. All in favor. The motion passes unanimously.

2. 121019A Hearing for violation at 260 Woodward Road, Owner Richard and Sandra Duval. Cease and Desist order on 12/2/19 for site work consisting of excavating material from the channel of Sandy Brook, excavating material from an existing ford in Sandy Brook, and depositing excavated material on the bank of Sandy Brook, in the upland review area and/or wetlands.

Ms. Washburn and Richard Oliverson visited the site on 4/23/20, photographs were taken. Members review the photographs. Discussion held. Mr. Paquin asked if the picture were from February or now. Ms. Washburn stated the latest pictures are from 4/23/20. The older pictures are from 11/25/19. Chairman Arends asked Mr. Oliverson if he was satisfied with what he saw at the site. Mr. Oliverson commented a retaining wall appeared with logs present and stabilized area behind it. The stones are back in, there is now a ford back in the water.

A motion was made by Jim Paquin to close 121019A hearing of violation at 260 Woodward Road, Richard and Sandra Duval and lift the cease and desist order. Richard Oliverson seconds this motion. No discussion held. 4 in favor, 1 abstention. Motion passes.

3. 031020A Darko Krsulic/Owner, Evan Sigfridson/Applicant 293 Hartford Rd, Map 16, Lot 39, RA Zone; Demolish remainder of collapsed coop, dig, and pour frost walls for proposed 24 x 32 ft accessory building.

Ms. Washburn spoke with Mrs. Krsulic who stated they are suspending the project due to COVID-19 concerns. There have been no delineation or revised site plan prepared to date.

A motion was made by Demian Sorrentino to deny without prejudice and allow the applicant to reapply when they have appropriate material to submitted with the application. Richard Oliverson seconds the motion. Discussion held. Jim Paquin asked if they will apply the old application fee collected or require a new fee paid? Commission members agree to apply the old application fee collected.

Demian Sorrentino amends his motion to include waiver of fee when application is made.

George Sipila seconds. No further discussion. All in favor. The motion passes unanimously.

4. 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone, 6 lot subdivision, work in upland review area, septic system, driveway, residential house, well, grading.

Paul Archer, Archer Surveying represents the applicant Jeffrey Weaver. This is a proposed 6-Lot subdivision west of the 10-Lot subdivision on Day Street. Four of the lots are totally outside upland review area. Two lots #1 and #6 will have work within the 125-ft upland review area. There is Department of Health approval. Plans have been submitted to Ms. Washburn. Four of the lots are in RA/30 zone, two lots RA Zone. All septic systems are engineered, everything pitches away from road. There are four frontage lots, two rear lots.

Mr. Sorrentino has reviewed the plans and wetlands reports and feels there is no issue with the application, there is essentially little change effecting inland wetlands and watercourses when lots developed. Jim Paquin agrees. Mr. Paquin reviewed Syl Pauley's notes 1-6, (page 63 of 120 of agenda items) and does not feel the need to address these at all.

Chairman Arends asked Ms. Washburn if she has looked at the site. Ms. Washburn has no issues.

A motion was made by Jim Paquin approve 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone, 6-Lot subdivision, work in upland review area, septic system, driveway, residential house, well, grading with standard IWWC conditions. Demian Sorrentino seconds this motion. No further discussion. All in favor. The motion passes unanimously.

New Business:

1. Ernest Robillard, 509 Hartford Road, Agricultural exemption for two new barns near ponds.

Ms. Washburn commented that Mr. Robillard would like to speak to the Commission directly after the virtual meetings have ended and in person meetings begin. Discussion tabled to the next regularly held in person meeting.

2. 051220A Patrick Riley, 211 Windham Road, Map 8, Lot 6-3, RA Zone; Construction of single-family dwelling, driveway, well, septic system, grading, tree clearing within 85 feet of a wetland.

Ms. Washburn issued agent approval on this application. Ms. Washburn would like the Commission to be notified. Mr. Riley advertised the legal notice in the Turnpike Buyer.

3. DR20-002 Grant Hill Road, Map 4, Lot 4 Timber Harvest, Michael Sokolowsky/Owner, Donald Dubois/Forester.

Don Dubois of Dubois Forestry and Land Management represents the applicant Michael Sokolowsky. Property located on the Brooklyn/Hampton Town Line Map 4 Lot 4. Part of a forest management plan approved by USDA, NRC. Purpose of the harvest is to remove dead and dying oak trees due to gypsy moth. The aerial maps describe a salvage thinning. There was a previous operation many years ago and there was a log loading area off of Grant Hill Road. That portion of Grant Hill Road where there is frontage is discontinued. The Town maintains a cul-de-sac 200-ft on the left is an access point. They would harden this proposed area with rip-wrap to make a tracking pad. There is an intermittent and perennial brook indicated on the maps. Two crossings are indicated on the map. Temporary corduroy bridge maps during operation are proposed. Upon completion bridges will be removed. Mr. Dubois reviewed the skid trails, Stand 1 and Stand 2 of the timber harvest operation. There will be 120 board feet and 250 cords. They will start after 9/1/20 finish by 4/15/21.

Chairman Arends asked if the Commission have any questions. No questions asked.

A motion was made by Demian Sorrentino to approve a declaratory ruling using agriculture as of right for application DR20-002 Grant Hill Road, Map 4, Lot 4, Timber Harvest, Michael Sokolowsky/Owner, Donald Dubois/Forester. Jim Paquin seconds the motion. No discussion held. All in favor. The motion passes unanimously.

4. 060920A Paul R. Lehto, Allen Hill Road, Map 32, Lot 148, RA Zone; Excavation of sand and gravel.

David Held, Provost of Rovero represents the applicant Paul R. Lehto. This is an expansion of a project the Commission approved in October of 2018. The project never went forward. This application includes an expansion to the south and to the east towards the Dick Regis property and Town of Brooklyn property bordering the Quinebaug River. The delineation done on the original plans were done by Joe Theroux in 2016. There is 175-ft. regulated area from edge of actual wetlands. There is a watercourse runs through wetlands system. They are proposing substantial topsoil area, a proposed paved and curved equipment area. Phase 1 southerly area is 4.1 acres with 63,000 cubic yards removed of sand and gravel. On the northerly edge a permanent sedimentation basin is proposed throughout the project. Proposed cuts in Phase 1 area maximum depth 25-feet with Phase 1 hillside re-sloping and regrading. The entire work area drains inward with little concern for E and S down gradient. Phase 2 area is essentially the same limits of what was previously approved. There will be clearing 8 to 10 ft. from the delineated wetlands edge. The excavation will maintain a 50-ft. buffer which will remain undisturbed. No additional disturbance is proposed. Phase 2 area 2.6 acres with 27,000 cubic yards removed. There is a valid wetlands permit for the Phase 1 area, looking to add in the expansion. All excavated material transported off site is on existing haul road referred to Riverwalk Drive. This is a private drive which serves condominiums and apartments. This intersects with Allen Hill

Road. There will be no processing of material on site, no sales to the public to material on site. The intention is to sell material in place, and this would be relatively short-term project to who he is selling to and get restoration accomplished.

Zoning regulation changes since 2018 - a few upgrades to the plans were made to keep up with the new zoning regulations. A fueling pad was added outside the regulated area. Hay bales added for restoration, and quantities and qualities of topsoil used, and vegetative seeding requirements were added. As the respective phases are completed the restoration would be undertaken under the first available growing season following excavation. Due to the limited size of the project both phases 1 and 2 will be bonded.

The applicant is looking for an acceptance of the application and a determination of no significant activity.

Mr. Sorrentino asked about woody debris on the slope. Mr. Held stated there is additional clearing there on the easterly edge, within existing clearing limits. Mr. Held addresses Mr. Sorrentino's concerns.

Ms. Washburn commented there were earlier complaints received from Riverwalk Drive residents with regards to 3 to 4 truckloads coming out. Mr. Lehto removed some big boulders for restoration. Ms. Washburn commented there has been no complaints for several months now. Mr. Lehto had never paid the PZC required bond for the last approved project. Discussion held.

A motion was made by Demian Sorrentino to receive application 060920A Paul R. Lehto, Allen Hill Road, Map 32, Lot 148, RA Zone, Excavation of sand and gravel and continue to next regularly scheduled monthly meeting for consideration. Jim Paquin seconds the motion. No discussion held. All in favor. The motion passes unanimously.

The commission determines there is no significant activity, no public hearing will be required.

5. 060920B VBL Properties, LLC Beecher Road, Map 22, Lot 38, RA Zone; 5-Lot Subdivision.

Paul Archer, Archer Surveying represents the applicant. This is a 14-acre parcel on the south side of Beecher Road. A free split has been done and a house was built on the westerly end of the road. The main concern is Blackwell's Brook runs through the easterly side of the project. There is one proposed lot on the westerly side in the upland review area. Two proposed lots in the middle are not in upland review, one lot on the west side of Blackwell's Brook has little in upland review area and one lot on Rukstela Road which goes to the landfill is where work will be done in the upland review area. Two of the five lots have non-engineered septic systems. They are awaiting NDDH approval. The applicant is in the beginning phase, looking for acceptance to return next month to discuss.

A motion was made by Jim Paquin to receive application 060920B VBL Properties, LLC Beecher Road, Map 22, Lot 38, RA Zone; 5-Lot Subdivision. Demian Sorrentino seconds this motion. Discussion held.

Demian Sorrentino commented there are no wetland flag numbers on the conceptual development plan, a report submitted from soil scientist is required. Mr. Archer agrees. Mr. Sorrentino also asked to be sure the Commission has plans stamped by the PE.

All in favor. The motion passes unanimously.

6. 060920C A. Kausch & Sons, Tripp Hollow Road, Map 15, Lot 4, RA Zone; 2-Lot Subdivision; single family homes, driveways, septic, well and minor grading.

Paul Archer, Archer Surveying represents the applicant. This is a 4-acre lot on the westerly side of Tripp Hollow Road. The wetland flags are on the development plan. This is a simple 2-lot subdivision with no work in the wetlands but in the upland review area.

Mr. Sorrentino questions the proximity of the septic systems to the wetlands. Soil scientist to submit a report. Mr. Sorrentino asked if there is standing water in wetland? Mr. Archer stated no, there is not.

Mr. Archer commented the septic systems are 40 plus feet away from wetlands. Mr. Sorrentino feels they are very close. Mr. Archer commented the wetland flags are new, Joe Theroux did them back in February 2020. The wetlands were delineated after the test pits were done.

Jim Paquin commented that the primary system for Lot 4A-1 be moved closer to the driveway turn around, move the house closer to the right. Mr. Archer commented the setbacks are tight. Discussion held.

Mr. Archer will get permission from the property owner for Commission members to visit the site.

A motion was made by Demian Sorrentino to receive application 060920C A. Kausch & Sons, Tripp Hollow Road, Map 15, Lot 4, RA Zone; 2-Lot Subdivision; single family homes, driveways, septic, well and minor grading and table discussion to next regularly scheduled meeting. Richard Oliverson seconds the motion. Discussion held. All in favor. The motion passes unanimously.

Communications:

1. Budget Update: Commission Members Reviewed the Budget.

Mr. Sorrentino asked if any advertising has been done to recruit new Commission Members. Ms. Washburn commented that Ms. Diamen has had health issues and not pursuing joining the Commission at the present time. No advertising has not been done at this time.

2. Wetlands Agent Monthly Report:

Complaint Map 18, Lot 28 Woodward Road, William and Kathy Perron. Excavating gravel, mine and cutting hard wood close to Blackwell's Brook. There is no approved residence located at this site, there are several sheds/out-buildings.

Ms. Washburn is going to send out a wetlands violation letter and request him to attend July meeting. She will send out the letter 10 days prior to the meeting as required by law.

Mr. Paquin asked if she has tried to contact him. Ms. Washburn has had a hard time locating the Perron's whereabouts.

Mr. Paquin suggests duct taping the violation to his machine on site, send letter by certified mail to last known address.

Ms. Washburn will send out order to stop work now and send out violation letter 10 days prior to next month's meeting.

Public Commentary: None

Adjourn: A motion was made by Jim Paquin to adjourn the meeting at 7:21 p.m. Richard Oliverson seconds this motion. No discussion held. All in favor. The motion passes unanimously.

Audrey Cross-Lussier, Recording Secretary

Killingly Engineering Associates

Civil Engineering & Surveying



P.O. Box 421 Killingly, CT 06241
Phone: 860-779-7299
www.killinglengineering.com

July 28, 2020

Proposed Parking Expansion

Vachon Brooklyn, LLC
Vachon Chevrolet
Providence Road (Route 6)
Brooklyn, CT



APPLICATION PACKAGE CONTENTS – Special Permit Modification

1. Application fee:

\$300.00 (Site Plan Review Fee)
\$100.00 (Special Permit Fee)
\$ 60.00 (State Fee)
\$460.00 Total Fee

2. 4- full sized sets of plans– Dated: 1/07/2020 – Revised to: 3/31/2020
3. Special Permit Application
4. Site Plan Review Application
5. List of adjacent land owners including across the street
6. Environmental Impact Statement (Soil Scientist Wetlands Impact Report)
7. IWWC Approval minutes

Note: Drainage Calculations & Report previously submitted and approved by Town Engineer

Town of Brooklyn

General Ledger - On Demand Report

Fiscal Year: 2019-2020

From Date: 7/1/2019

To Date: 6/30/2020

Account Mask: 100500000020213

Account Type: All

Print Detail Include PreEncumbrance

Print accounts with zero balance

Include Inactive Accounts

Filter Encumbrance Detail by Date Range

Budget Balance

Account Number / Description

Budget

Range To Date

YTD

Balance

Encumbrance

% Remaining Bud

1005.00.0000.20213

\$0.00

(\$20,980.00)

(\$63,787.47)

\$63,787.47

\$0.00

\$63,787.47

Development Applications

0.00%

Transaction Detail

Date	Entry	Check Number	Deposit No.	Invoice Number	PO Number	Voucher	Group ID	Memo	Vendor	Amount	Journal
09/12/2019	343	0	1056					Development Applications		-\$1,370.00	DP
09/30/2019	436	0	1094					Development Applications		-\$760.00	DP
10/28/2019	563	0	1158					Development Applications		-\$11,220.00	DP
11/13/2019	638	0	1200					Development Applications		-\$260.00	DP
12/12/2019	766	60132	0	12/04/2019	20200907	1061		Reimburse overpayment for plan	David Cameron Ford	\$250.00	AP
01/24/2020	993	0	1370					Development Applications		-\$760.00	DP
05/22/2020	1555	0	1640					Development Applications		-\$460.00	DP
06/05/2020	1634	0	1688					Development Applications		-\$2,220.00	DP
06/12/2020	1651	0	1696					Development Applications		-\$1,070.00	DP
06/29/2020	1734	0	1735					Development Applications		-\$3,110.00	DP
Detail Total:										-\$20,980.00	

FUND: 1005

\$0.00

(\$20,980.00)

(\$63,787.47)

\$63,787.47

\$0.00

\$63,787.47

Town of Brooklyn

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Filter Encumbrance Detail by Date Range

Budget Balance

Account Number / Description

Budget

Range To Date

YTD

Balance

Encumbrance

% Remaining Bud

Grand Total:

\$0.00

(\$20,980.00)

(\$63,787.47)

\$63,787.47

\$0.00

\$63,787.47

End of Report

Margaret's Report 8/3/2020

Final Certificates of Zoning Compliance issued:

61 Lockwood Street Extension – John Gollsneider. New single-family dwelling with a rear deck and a garage in the basement.

307 Day Street – Jeffrey Weaver. New single-family dwelling 1400 sf, with basement garage and a rear deck.

68 Prince Hill Road – Randy Vitalis. New 27-foot above-ground swimming pool.

49 Pheasant Lane – Wendy Baker and Craig Dumas. Interior renovations to the first floor and interior renovations to the second floor with an in-law apartment.

Zoning Permits issued:

46 Bailey Street – Malvina Gibson. Replace and expand existing deck.

47 Fairway Drive – Josh Webster. New 16 ft x 30 ft above ground swimming pool with decking.

315 South Street – Manuel and Amanda Rocha. New 50 ft x 40 ft detached garage.

87 Christian Hill Road – Robert and Carol Hamilton. New 24 ft round above ground swimming pool.

116 South Main Street – Tracy Panteleakos and Sean Ray. A new 5 ft x 10 ft deck to access a single service hair salon.

31 Canterbury Road – Bernard and Gale Norman. Roof-mounted solar panels not visible from the road in the VC zone.

321 South Street – John and Laura McVeigh. New 27 ft above-ground swimming pool.

441 Allen Hill Road – Neil Durand. New 15 ft x 24 ft above-ground swimming pool.

146 Grand View Terrace Ext. – Keith Pasay. New single-family dwelling with attached garage, porch and deck.

151 Grand View Terrace Ext. – Keith Pasay. New single-family dwelling with attached garage, porch and deck.

58 Wolf Den Road – Louise Trahan. New roof shingles on front of house and both front and rear of ell. Williamsburg slate architectural shingles to be used to match garage roof.

48 Allen Hill Road – Mark Hunton. New 24 ft x 30 ft garage with a new 6' 8" x 15 ft breezeway.

337 South Street – Barry Builders, Inc. New residential dwelling.

Sign Permits issued:

409 Providence Road – Mobil gas station. Two wall signs, 36" x 100" = 25 sq. ft. each. Two wall signs for fascia in the canopy over gas pumps, facing north and west. The western canopy is 25 ft. long. The northern canopy is 100 ft. long. One square foot of sign per linear foot of canopy is allowed. The canopy fits the definition of a building.

Home Office Permits Issued:

116 South Main Street – Tracy Panteleakos and Sean Ray. Single service hair salon, considered a home office under Section 6.A.2. Home offices are an as-of-right use in any zone.

Zoning and Blight Complaints:

68 Prince Hill Road – Randy and Jennifer Vitalis. On 6/4, I inspected and took photos for a swimming pool permit. I also photographed 8 unregistered vehicles. Mr. Vitalis expressed agreement to come back into zoning compliance by reducing the number of unregistered vehicles to four by June 30, and by constructing a metal building to garage the remaining unregistered vehicles by the end of summer this year. A Notice of Zoning Violation was issued on June 9, requiring him to reduce the number of unregistered vehicles to four within 21 days of receipt of the Notice of Zoning Violation. I called and left him a message on 6/30 requesting an update as to the number of unregistered vehicles. On 7/1 Randy called to say that the 2002 Lincoln LS white sedan had been removed. A 1934 LaSalle, cream color, had been removed. All the spare parts beside the LaSalle and a truck cap had been removed. Randy has been paid for a second 1934 LaSalle which will be removed by 7/21. Randy agreed to call me by 7/21 with another update as he works toward outdoor storage of only one unregistered vehicle.

On 7/27 I inspected and took photos. All the unregistered vehicles that were stored outdoors had been removed, except for the bucket truck. There are no longer junkyard conditions at this site. This zoning violation has been resolved. I issued a closed Notice of Zoning Violation on 7/27/2020.

Map 18 Lot 28 Woodward Road – William and Kathie Perron. Zoning Violation. I received 2 complaint forms. On 6/11, I sent a Cease and Desist Order (C&DO) to William Perron via State Marshal Joseph Rijs for blight conditions and junkyard conditions. On 6/17, the same

C&DO was sent to Kathie Perron via State Marshal Joseph Rijs for blight conditions and junkyard conditions. The owners are estranged.

On 7/1/2020, I inspected and took photographs with IWWC Chairman, Jeff Arends. Mr. Perron had removed some debris. There were two unregistered vehicles, a 1937 Chevy under a tarp, and a black Chevy pickup truck; Mr. Perron said that the black pickup truck would be removed from the property by 7/4/2020. Scaffolding was set up beside the 2-story building to replace the roof. The roof on the small wooden trailer would also have a new roof put on, Mr. Perron said. Mr. Perron agreed to call me by 7/21 with another update as he works toward outdoor storage of only one unregistered vehicle and to reduce blight conditions. Mr. Perron called me as required and told me that only one unregistered vehicle remained on site.

O, 7/30, I inspected and took photographs with our Resident State Trooper. There were 2 unregistered vehicles, the 1937 Chevy and a Dodge Ram with 2 license plates on it that are registered to a silver Dodge Dakota pickup truck, according to the State Trooper. This constitutes junkyard conditions. Many photos were taken of debris. The blight conditions observed during previous inspections have not been corrected. This is an on-going zoning violation.

209 Providence Road – Lisa Burbank. I received a complaint about chickens, roosters, ducks and blight conditions (debris) in the RB Zone. On 6/15, I sent a Notice of Violation, requiring Ms. Burbank to contact me for an inspection. Ms. Burbank has left me a voice message to the effect that she disputes the fact that poultry cannot be housed in the RB Zone. On 6/30 I left a message requesting an inspection by 7/2/2020. Ms. Burbank called on 7/1. On 7/2, I met Ms. Burbank, inspected and took photographs. There were 7 ducks, 16 chickens, 4 roosters, and 3 goats present. Ms. Burbank agreed to relocate the roosters by 7/23. Ms. Burbank did not want to relocate the other livestock and poultry. She seemed to understand that agriculture is not allowed in the RB zone, except for farm stands. She signed an inspection form that I prepared that stated “After 7/23/2020, enforcement actions may have to be taken.”

Lisa Burbank called me on 7/22 to say that 2 of the roosters would be re-located by 7/26. She said that the other 2 roosters are so old she was having trouble finding homes for them. She is actively seeking new homes for all the rest of the livestock and poultry. She said that she will board them at a friend’s house if she has to. I gave her a phone number for a contact who has helped to find homes for local livestock in the recent past. I scheduled a re-inspection for 8/24/2020, by which date all the livestock and poultry must be removed from the premises. If they are not all gone by 8/24, an Enforcement Order will be issued.

77 South Main Street – Steven Mailloux. I inspected and took photos for junkyard and blight conditions on 7/2. On 7/7, CT State Marshal Joseph Rijs served Mr. Mailloux a Cease and Desist Order (C&DO) that I prepared for junkyard conditions, blight conditions and operating an illegal automotive service station. The C&DO required Mr. Mailloux to 1) clean up the junkyard and blight conditions, 2) cease and desist from operating an illegal automotive service station and 3) contact me by 7/28 to schedule an inspection of the corrective actions taken. As of 8/3, Mr. Mailloux had not cleaned up the junkyard conditions, nor had he called me for a follow-up inspection, as required. This violation will be referred to the State of CT Housing Prosecutor.

On 7/8, DMV Inspector Edwin Bailey inspected the premises at my request, and gave Mr. Mailloux until 8/28 to clean up the junkyard conditions. Inspector Bailey will re-inspect after 8/28.

209 Providence Road – Jason Donahey/Aisling Crossfit. On 7/7/2020, I sent Mr. Donahey a letter regarding the following noncompliance issues:

They never paid the fee for the sign permit, although they submitted the form and already put up the sign.

They never applied for or paid for zoning permit.

Please refer to the attached page 3 from the Brooklyn Zoning Regulations, Section 1.D.2.4., which states that **“It shall be unlawful to alter the use of land, to commence construction or alteration of any building or structure, or to excavate for any building or structure or use until the application and plans therefore have been approved by the Zoning Enforcement Officer, and a building permit issued by the Building Official.”**

They never applied for or paid for a B100 letter from the Northeast District Department of Health (NDDH). I cannot issue the Zoning Permit without the B100. Sherry McGann of NDDH has confirmed that they would need to complete a B100a application for a change in use.

They never applied for or paid for a Change of Use permit from the Building Department. The Building Official as not conducted an inspection despite the fact that they have already opened. Because they have not applied for the Change of Use permit, the Fire Marshal has not inspected or issued his approval. We have no documentation that they comply with the Fire Code.

I sent emails to Mr. Donahey on 7/14 to follow up on the letter I mailed to him on 7/7/. He has not responded.

I will follow up with a Notice of Violation.

20 Tiffany Street – Phoumano Somviengxay. I received a complaint from the highway department foreman about someone living in a trailer at this address. The highway department workers who were supposed to clean out the catch basin in front of the trailer noticed the smell of sewage coming from the catch basin. I inspected and took photos on 7/29. The smell of sewage in the catch basin at 11:00 am on a very hot day was overwhelming, although no one has apparently witnessed anyone dumping sewage into the catch basin. I immediately contacted NDDH and I am in the process of issuing a Notice of Violation for use of the unregistered trailer as a dwelling, which is not allowed in the R10 Zone where the property is located.

SPG 20-001 – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148) in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres.

- A Wetlands Permit has been granted for this proposal.
- Do you want to have a site walk?

History of the parcel

- Gravel Permits for this site going back to 1989. Recently renewed in 2018 but never recorded. The 2018 approval included bonding for repairs to the gravel access road as well as Riverwalk Dr.
- Riverwalk Condos Subdivision approved in 2005. Riverwalk Drive is not a town road.

Discussion items

- There has been no reclamation of previous gravel operations, approximately 18 acres disturbed since at least 2005, vegetation is sporadic, and there has been dumping of construction debris and unidentified fill.
- The proposed bond amount would only cover the new proposal = 6.7 acres.

Sample Motion

Move to approve the Special Permit application of Paul Lehto for an excavation operation located on the east side of Allen Hill Road, Assessor’s Map 32, Lot 148, identified in the files of the Brooklyn Land Use Office as SPG 20-001, in accordance with all final plans, documents and testimony submitted with the renewal application with the finding that it is a permitted use in the zone and that potential impacts can be mitigated with the following conditions:

- Excavation is limited to the volume and area shown on the submitted plans dated 6/2/2020 and prepared by Provost & Rovero.
- Prior to the commencement of any work, the limit of disturbance shall be flagged in the field by a surveyor and such flags shall be posted high above grade on trees or on construction fence so as not to be disturbed by clearing or excavation activities. Such flagging shall be checked quarterly by the operator to ensure they are in place.
- Property lines within 300’ of the area of disturbance shall be flagged prior to the commencement of work.
- Any importation of fill to backfill the excavation area shall be clean as defined by the CT DEEP Regulations of State Agencies Sec. 22a-209-1 and the source of the imported fill shall be identified in writing to the town.

- Dust shall be controlled throughout the year using water or calcium chloride as appropriate for conditions.
- Within ## days, a performance bond in the amount of \$##,000 will be submitted by the applicant to Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by town staff prior to commencement of any activities.
- The Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions shall be included on the final recorded special permit plans.
- Draft final approved plans shall be printed on paper and submitted to town staff for checking prior to printing on archival material.
- The final approved plans bearing the seal and signature of the appropriate professionals and the expiration date and shall be printed on archival material, signed by Commission Chairs, and recorded along with the Special Permit in the office of the Town Clerk.

SD 20-002 – 3-lot Subdivision, Applicant: David and Nancy Bell, 25.65 acres on the east side of Church St. (Map 35, Lot 4) in the RA Zone; Proposed creation of 3 residential buildings lots on a common driveway.

- Wetlands has not yet taken action on this proposal.
- Consider the need for a site walk or public hearing.

SD 20-003 – 3-lot Subdivision, Applicant: David and Nancy Bell, 6 acres on the east side of Prince Hill Road (131 Prince Hill Road, Map 34, Lot 52) in the RA Zone; Proposed creation of 3 residential buildings lots, two sharing a common driveway.

- Wetlands has not yet taken action on this proposal.
- Consider the need for a site walk or public hearing.

ZC 20-002 – Zone Boundary Change from R-30 to RA, Applicant: Keith Crossman, 340 Christian Hill Road, proposed adjustment to 6.75 acres on east side of Christian Hill Road.

Move to schedule a public hearing for ZC 20-002 – Zone Boundary Change from R-30 to RA, Applicant: Keith Crossman, 340 Christian Hill Road, proposed adjustment to 6.75 acres on east side of Christian Hill Road to be held at a regular meeting of the Planning and Zoning Commission to be held on September 2, 2020 at 6:30 p.m., access via web and phone to be provided on the meeting agenda to be posted on the Town of Brooklyn, CT website.

SP 20-002 – Special Permit for additional vehicle storage, Applicant: Vachon Brooklyn, LLC, 512 Providence Road, Proposed construction of two 16’ wide access drives to proposed new vehicle storage lots.

Move to schedule a public hearing for SP 20-002 – Special Permit for additional vehicle storage, Applicant: Vachon Brooklyn, LLC, 512 Providence Road, Proposed construction of two 16’ wide access drives to proposed new vehicle storage lots to be held at a regular meeting of the Planning and Zoning Commission to be held on September 2, 2020 at 6:30 p.m., access via web and phone to be provided on the meeting agenda to be posted on the Town of Brooklyn, CT website.