

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Special Meeting Agenda  
Wednesday, August 2, 2023 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>MEETING LOCATION:</b> <b>Tiffany St. Community Center, 31 Tiffany Street, Brooklyn, CT</b>	
Click link below: <a href="https://us06web.zoom.us/j/87925438541">https://us06web.zoom.us/j/87925438541</a>	or Go to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a> Enter meeting ID: 879 2543 8541
Dial: 1-646-558-8656 Enter meeting number: 879 2543 8541, then press #, Press # again to enter meeting	

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Meeting July 18, 2023
- V. Public Commentary**
- VI. Unfinished Business:**
  - a. **Reading of Legal Notices: None.**
  - b. **Continued Public Hearings: None.**
  - c. **New Public Hearings: None.**
  - d. **Other Unfinished Business:**
    - 1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC. **\*Awaiting Aug. 15 public hearing\***
    - 2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp. **\*Awaiting Aug. 15 public hearing\***
    - 3. **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC. **\*Awaiting Aug. 15 public hearing\***
- VII. New Business:**
  - a. **Applications:**
    - 1. **SP 23-003:** Special Permit for 5,955 s.f. building addition and related parking modifications for online grocery pick-up at 450 Providence Road, Applicant: Walmart.
    - 2. **SD 23-001:** Two-lot subdivision including 3 acres on Day Street (Map 43/Lot 6), Applicant: Jeff Weaver.
  - b. **Other New Business:**
    - 1. Discussion of potential subdivision on Wauregan Road.
- VIII. Reports of Officers and Committees**
  - a. Staff Reports
  - b. Budget Update
  - c. Correspondence
  - d. Chairman's Report
- IX. Public Commentary**
- X. Adjourn**

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Special Meeting  
Tuesday, July 18, 2023 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>MEETING LOCATION:</b>	
Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT	
Click link below: <a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a>	or Go to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a> Enter meeting ID: 847 6556 4828
Dial: 1-646-558-8656	
Enter meeting number: 847 6556 4828, then press #, Press # again to enter meeting	

**MINUTES**

- I. **Call to Order** – Carlene Kelleher, Acting Chair, called the meeting to order at 6:32 p.m.
- II. **Roll Call** – Carlene Kelleher, Allen Fitzgerald, John Haefele, Lisa Herring, Seth Pember, Gil Maiato (all present in person).  
Brian Simmons was absent with notice.  
Michelle Sigfridson and Karl Avanecean were absent.

**Staff Present (in person):** Jana Roberson, Town Planner and Director of Community Development; Austin Tanner, First Selectman.

**Also Present in Person:** David Held, Provost & Rovero, Inc.; Andrew Sholes; Sam Sholes; J.S. Perreault, Recording Secretary.

There was one additional person present in the audience.

**Present via Zoom online:** None.

- III. **Seating of Alternates** – None.
- IV. **Adoption of Minutes:** Meeting May 7, 2023

Motion was made by A. Fitzgerald to accept the Minutes of the Regular Meeting of May 7, 2023, as presented.

Second by J. Haefele. No discussion.

Motion carried unanimously by voice vote (6-0-0).

- V. **Public Commentary** – None.
- VI. **Unfinished Business:**
  - a. **Reading of Legal Notices:** None.
  - b. **Continued Public Hearings:** None.
  - c. **New Public Hearings:** None.
  - d. **Other Unfinished Business:** None.
- VII. **New Business:**
  - a. **Applications:**
    - 1. **SP 15-006 mod:** Special Permit modification for Self-Storage Facility and Commercial Space (35,460 s.f. in three buildings) at 538 Providence Road, Applicant: Townsend Development Associates, LLC.

Motion was made by S. Pember to schedule the public hearing for **SP 15-006 mod** – Special Permit modification for 16,100 s.f. self-storage facility in two buildings and 19,360 s.f. commercial building, 538 Providence Road, Planned Commercial Zone, Applicant: Townsend Development Associates, LLC for the special meeting of the Planning and Zoning Commission to be held on **August 15, 2023** at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom.  
Second by J. Haefele. No discussion.  
Motion carried unanimously by voice vote (6-0-0).

J. Roberson stated, for the Record, that the Applicant had requested an extension which was granted. Therefore, it goes a little beyond the 65 days to open the public hearing. They are currently before the IWWC.

2. **SP 22-006:** Special Permit for State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp.

Motion was made by L. Herring to schedule the public hearing for **SP 22-006** – State Route Business Enterprise for Craftsperson at 481 Pomfret Road, Applicant: Mindy Delp for the special meeting of the Planning and Zoning Commission to be held on **August 15, 2023** at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom.

Second by S. Pember.

There was discussion regarding the Cease & Desist Order that had been issued by the ZEO for land clearing:

- Ms. Roberson explained that they had been clearing land in preparation for solar panels to be installed. The land clearing has stopped. Ms. Roberson explained that this special permit application may be modified to include the land clearing and other site work. They are no longer planning to install solar panels.

Motion carried unanimously by voice vote (6-0-0).

3. **SPR 99-12 mod:** Site Plan Review modification for site plan changes at 490 Providence Road, Applicant: Jewett City Savings Bank.

J. Roberson explained that the original Permit, in 1999, was a Site Plan Review, so this is a modification to it with a modified Site Plan. She explained that the waiver of the Special Permit would be applicable. She explained that the net increase in structure is approximately 300 s.f. which is below the threshold for special permit. She stated that she feels that the proper way to handle this is as a modification to their initial Site Plan.

C. Kelleher asked the Commission Members if there were any objections to Ms. Roberson's suggestion. No objections were voiced.

David Held, Professional Engineer and Land Surveyor with Provost & Rovero, represented the Applicant and gave an overview (posterboard presentation):

- Mr. Held provided five copies of the revised plans to Ms. Roberson. Plans were displayed as discussed.

- Mr. Held orientated the property and explained the Existing Conditions Plan (sheet 1).
- Mr. Held explained the Demolition Plan (sheet 2), indicating the existing canopy, ATM and island structure in the back, the parking island on the westerly side of the building, and a large concrete parking island in the front parking area that are proposed to be removed.
- Mr. Held explained the Proposed Site Plan (sheet 3), showing the modifications. He indicated that the new canopy will be on the westerly side of the building (similar in size to the existing canopy) which will be visible from Route 6.
- The Applicant is in the process of re-branding their Branches. Mr. Held explained about the interior changes. He also explained about the ATM being moved from the back of the building to the front of the building being safer as it will be more visible.
- Mr. Held referred to the Parking Table on the Site Plan and explained that they comply with the Zoning requirements for minimum parking spaces (13 total spaces). Currently, there are 26 regular spaces and two handicap spaces. They are proposing 20 regular spaces and three handicap spaces, which is still in excess of what is required.
- Mr. Held referred to the Dimensional Table and explained that they are within all dimensional requirements (setbacks, coverage, etc.).
- Mr. Held explained that they are changing the traffic pattern slightly. He explained how they are fitting in some diagonal parking with a fifteen-foot, one-way isle, outside of the island for the drive-up windows (which he said is in compliance with what the Zoning Regulations require).  
He explained that, in the back, there is a 17-foot isle where 15 feet is required, and angled parking. They added proposed pavement arrows and text on pavement to indicate that it is a one-way traffic pattern there and also indicating what all of the drive-thru lanes are for (tube transactions or ATM).  
He explained that they added signage indicating “ONE WAY” and a pair of “DO NOT ENTER” signs.
- Mr. Held explained that they would be removing a portion of existing pavement in the back and would be installing a landscaped island. They would also install a landscaped island in the front to control the traffic patterns there. Regarding compliance with the landscape requirements, Mr. Held explained that he had provided a dimensional breakdown to Ms. Roberson showing that they are well in excess of the square footage required for the parking spaces that they are showing.
- Mr. Held displayed and explained Architectural Drawings (elevations and changes to the building inside and outside), which he said had been submitted as part of the Application package. Ms. Roberson stated that she did not have those. Mr. Held provided



copies of a rendering, to Staff and Commission Members, showing what it is to look like after completion.

- Mr. Held explained that there are to be two lanes for the drive-thru and one for the ATM exclusively. He explained that there is an aisle, with no service, for free traffic flow.

#### **QUESTIONS/COMMENTS FROM COMMISSION MEMBERS:**

- L. Herring asked about changes to handicapped accessibility. Mr. Held explained that there are two existing accessible spaces in front of the building and how they would be removing the concrete island in the front and would be installing two new accessible spaces (that would both comply with dimensions for van-accessible space) with an accessible ramp. He explained that they would also be providing an accessible space in the rear of the building because there is a new entry door proposed there. No need for a ramp there due to only minor grading is needed there to match.
- C. Kelleher expressed concern about parking on the side of the building and people walking from there to the bank safely. Mr. Held explained that those four spaces would likely not be used by customers and that employees would likely use those spaces, if needed.
- J. Haefele asked about a crosswalk. Mr. Held stated that the level of traffic does not warrant it and he explained about how it would be a lower speed, safer situation than you would have in a WalMart parking lot.

#### **COMMENTS FROM STAFF:**

- J. Roberson explained that the Application had been approved by the Wetlands Agent. No changes to pervious area.
- Syl Pauley has reviewed the Application and had some very minor comments which have already been addressed by Mr. Held.

There were no comments from the public.

Motion was made by A. Fitzgerald to approve the Site Plan Review Application **SPR 99-12 mod**: Site Plan Review modification for site plan changes at 490 Providence Road, Applicant: Jewett City Savings Bank in accordance with all final documents and testimony submitted with the application with the finding that the proposal complies with the Route 6 Corridor Design Guidelines and Section 9.C Site Plan Objectives of the Brooklyn Zoning Regulations.

Second by J. Haefele.

Discussion:

- S. Pember indicated to Mr. Held that some arrows on the plans are backwards. Mr. Held agreed and stated that it would be corrected.

Motion carried unanimously by voice vote (6-0-0).

4. **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC.

J. Roberson explained that the Zoning Regulations, Map, and Subdivision Regulations need to be changed to update to match the new NFIP flood-zone boundaries and requirements which is a mandate. The deadline for adoption is September 7, 2023. The Map was included in the digital packets to Commission Members.

Ms. Roberson explained that, currently, the Floodplain Zoning is a Town Ordinance which states that Planning and Zoning is the responsible party authorized to enforce those Regulations. She explained that the ZEO has been enforcing this and that this is an opportunity to take it out of an Ordinance and put it exclusively in the Zoning Regulations and the Subdivision Regulations. Ms. Roberson reached out to Glen Chalder, who was the Consultant for the re-write of the Zoning Regulations, and he gave her some tips on how to incorporate the very technical language into an appendix of the Zoning Regulations and refer to it on the map and on the page for the Floodplain Overlay Zone.

There was discussion and A. Fitzgerald asked about how people would be informed if they need to get flood insurance. Ms. Roberson will contact the State Floodplain Coordinator.

Motion was made by J. Haefele to schedule the public hearing for **ZRC 23-005/ZC 23-002/SRC 23-001:** Floodplain Overlay Zoning Regulation and Map Update, Subdivision Regulation Update (FEMA/NFIP), Applicant: PZC for the special meeting of the Planning and Zoning Commission to be held on **August 15, 2023** at 6:30 p.m. at the Tiffany Street Community Center, 31 Tiffany Street, Brooklyn, CT and via Zoom.

Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (6-0-0).

**b. Other New Business:**

1. Preliminary discussion with Sholes Ace Hardware, 564 Providence Road.

A Site Plan showing a proposed location for a propane tank, as well as a Draft Store Lay-out / Fixture Plan were included in packets to Commission Members.

Andrew Sholes and Sam Sholes were present to discuss their plans to put an Ace Hardware Store in the former Salvation Army space (approximately 14,000 square feet):

- A lot of construction will be needed to bring it up to Code.
- They would want to be able to sell bulk propane gas as opposed to a tank exchange program. They want to put the 1,000-gallon, bulk propane tank (22' to 26' long including the area with the pump), in the rear of the building. They would bollard and fence it off so it is protected/secured and not visible from the street.

- They would want to be able to store and display product on the sidewalk outdoors (as Job Lot does).
- They would discuss signage at a later time.

Ms. Roberson explained that the large, unused area in the rear would be an appropriate place for a propane tank as well as for storage. Discussion ensued.

Andrew Sholes stated that the plans are ready and that they had applied for a Building Permit. Ms. Roberson explained that the change of use would be under the Zoning Permit, but the outdoor display and the propane tank need to come before the PZC. There was discussion regarding Special Permit/public hearing vs. Site Plan Review. Ms. Roberson will research how it had been handled in the past.

### **VIII. Reports of Officers and Committees**

1. ZEO Report – Margaret Washburn’s Report dated 7/3/2023 was included in packets to Commission Members. No discussion.

### **IX. Public Commentary – None.**

### **X. Adjourn**

C. Kelleher adjourned the meeting at 7:24 p.m.

Respectfully submitted,

J.S. Perreault  
Recording Secretary

Attachment

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date JUL 20 2023

Application #SP 23-003  
Check # 024

APPLICATION FOR SPECIAL PERMIT

Name of Applicant Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR, 72716 Phone \_\_\_\_\_

Name of Engineer/Surveyor Bohler Engineering  
Address 65 Lasalle Road, West Hartford, CT 06107  
Contact Person Jeff Bord Phone (860)333-8900 Fax (508)480-9080

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 450 Providence Road, Brooklyn, CT  
Map# 41 Lot# 10 Zone PC Total Acres 25.48  
Sewage Disposal: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_

Proposed Activity Online grocery pick up addition with parking modifications

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? No

The following shall accompany the application when required:

- Fee \$ 610.00 State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: \_\_\_\_\_ Date \_\_\_\_\_

Owner: Mike Rutherford (Signed on behalf of Wal-Mart Real Estate Business Trust) Date July 18, 2023 | 14:17 CDT

\*Note: All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_  
Action Date \_\_\_\_\_

Application #SP# 23-003  
Check# 024

**APPLICATION FOR SITE PLAN REVIEW**

Name of Applicant Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR 72716 Phone \_\_\_\_\_

Name of Owner Wal-Mart Real Estate Business Trust Phone (479)270-7024  
Mailing Address 2608 SE J Street, Bentonville, AR 72716 Phone \_\_\_\_\_

Name of Engineer/Surveyor Bohler Engineering  
Address 65 Lasalle Road, West Hartford, CT 06107  
Contact Person Jeff Bord Phone (860)333-8900 Fax (508)480-9080

Property location/address 450 Providence Road, Brooklyn, CT  
Map # 41 Lot # 10 Zone PC Total Acres 25.48

Proposed Activity Online grocery pick up addition with parking modifications

Change of Use: Yes \_\_\_\_\_ No X If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion 5,955 SF

Utilities - Septic: On Site \_\_\_\_\_ Municipal \_\_\_\_\_ Existing X Proposed \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_ Existing X Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

Fee\$ \$610.00 State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_  
4.5.5 Application/ Report of Decision from the Inland Wetlands Commission  
4.5.5 Applications filed with other Agencies  
12.1 Erosion and Sediment Control Plans  
See also Site Plan Review Worksheet

Variances obtained \_\_\_\_\_ Date \_\_\_\_\_

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: \_\_\_\_\_ Date \_\_\_\_\_

Owner: Mike Rutherford (Signed on behalf of wal-mart Real Estate Business Trust) Date July 18, 2023 | 14:17 CDT

\*Note: Any consulting fees will be paid by the applicant



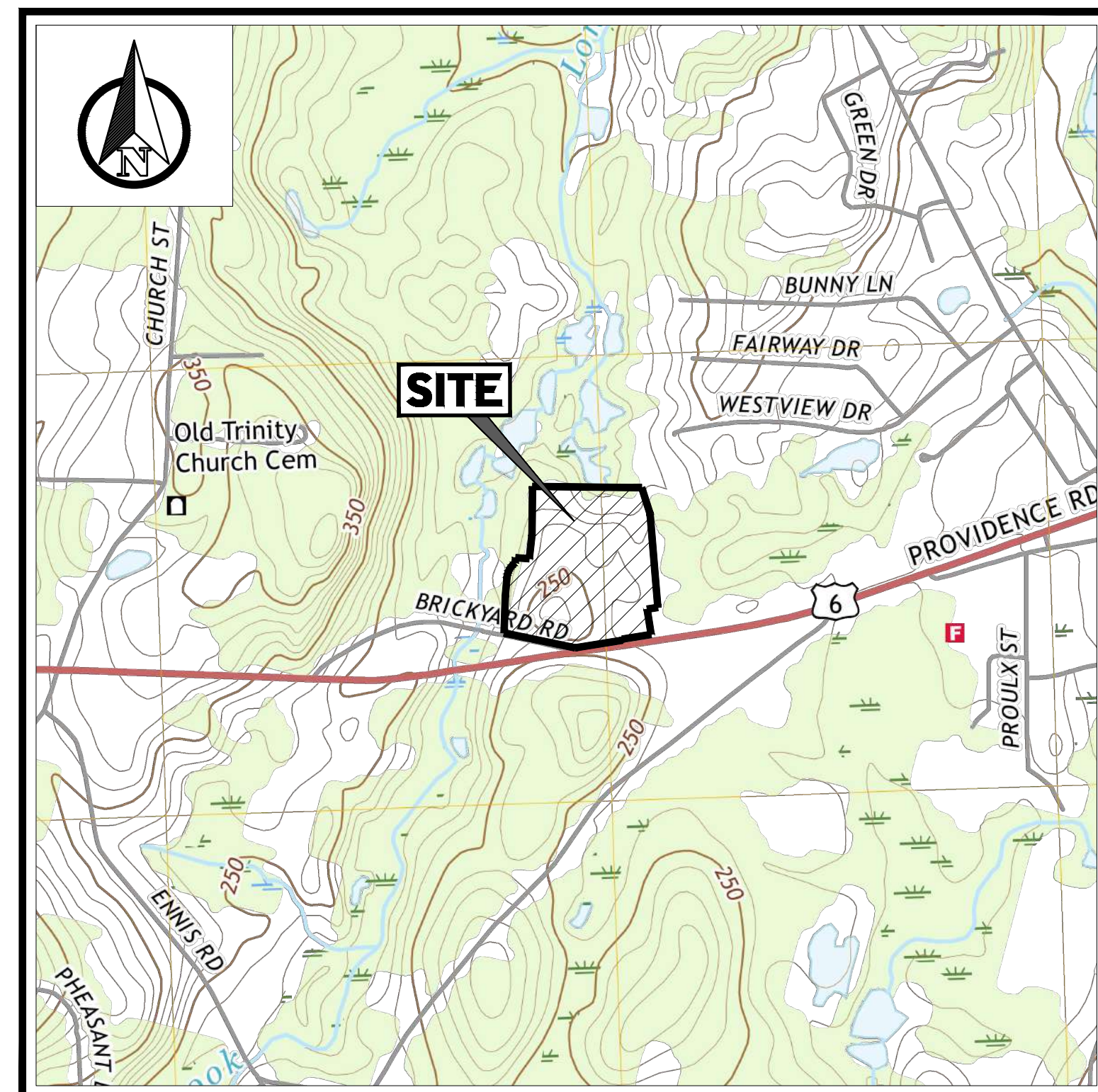
# PROPOSED SITE PLAN DOCUMENTS

FOR



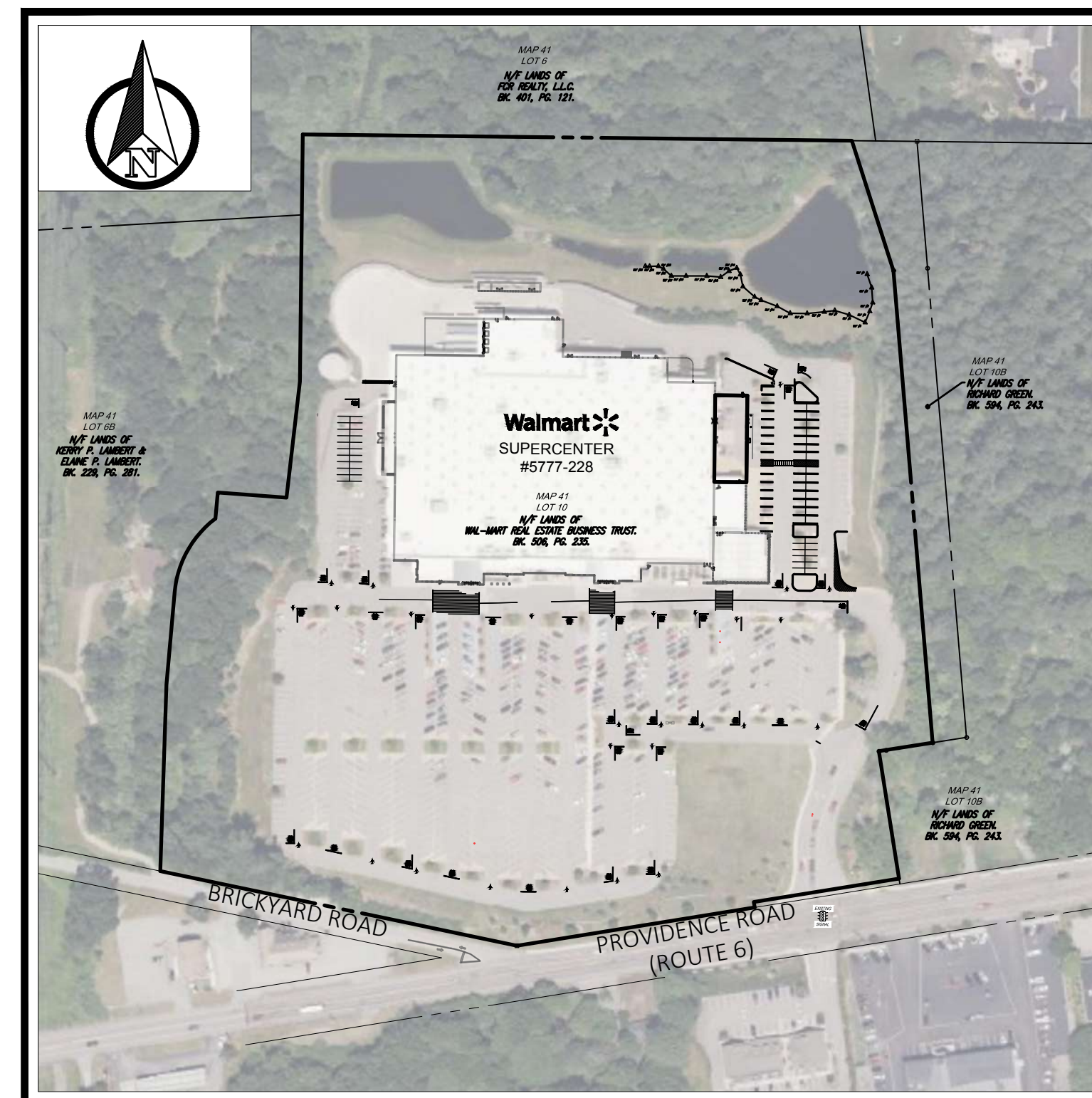
## STORE #5777-228 PROPOSED PICKUP AND SIGNAGE / STRIPING IMPROVEMENTS AND BUILDING EXPANSION

LOCATION OF SITE:  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN  
WINDHAM COUNTY, CONNECTICUT



**USGS MAP**

SCALE: 1" = 1,000'  
SOURCE: DANIELSON CONNECTICUT USGS QUADRANGLE



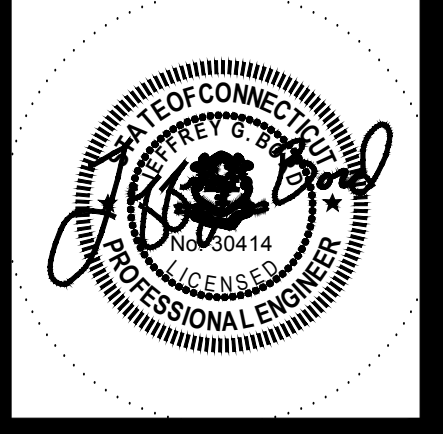
**SITE MAP**

SCALE: 1" = 200'  
SOURCE: 2023 MICROSOFT CORPORATION

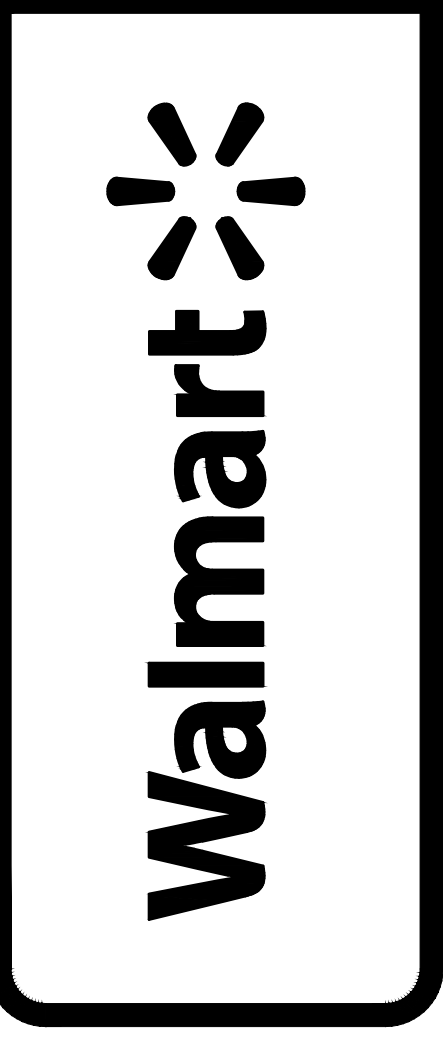
**DRAWING SHEET INDEX**

SHEET TITLE	SHEET NUMBER
COVER SHEET	COV-1
GENERAL NOTES SHEET	NS-1
EXISTING CONDITIONS PLAN	EC-1
OVERALL SITE PLAN - STOP SIGNS AND MARKINGS PLAN	SSM-1
DEMOLITION AND SITE CONSTRUCTION PLAN	SECP-1
DEMOLITION AND EROSION CONTROL PLAN	DM-1
SITE PLAN	SP-1
GRADING, DRAINAGE, & UTILITY PLAN	GD-1
SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET	SECP/SSM DETAILS
DETAIL SHEET	DTL-1
DETAIL SHEET	DTL-2
DETAIL SHEET	DTL-3
SPECIFICATIONS SHEET	CSS-1
SPECIFICATIONS SHEET 2	CSS-2
LIGHTING PLAN (BY OTHERS)	1 SHEET
ARCHITECT PLAN (BY OTHERS)	2 SHEETS
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	2 SHEETS

REVISIONS	BY



SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



DRAWN	BTJ/TJN
CHECKED	JJC/SB
DATE	06/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

**COV-1**

PREPARED BY

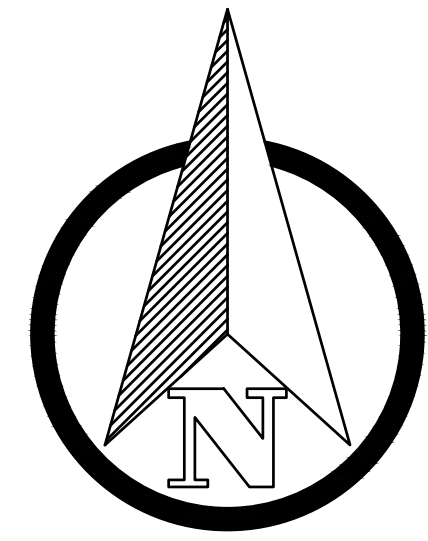


**COVER SHEET**









MAP 41  
LOT 6  
N/4 LANDS OF  
FOR REALTY, L.L.C.  
BK. 401, PG. 121.

**Walmart**  
**SUPERCENTER**  
**#5777-228**  
EXISTING BUILDING: 152,124 SF±  
GARDEN CENTER: 9,269 SF±  
TOTAL: 161,394 SF±  
728 TOTAL SPACES

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

MAP 41  
LOT 10  
N/4 LANDS OF  
WAL-MART REAL ESTATE BUSINESS TRUST,  
BK. 506, PG. 235.

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

MAP 41  
LOT 10B  
N/4 LANDS OF  
RICHARD GREEN,  
BK. 594, PG. 243.

APPROX. LOC. OF  
LIMITS OF ZONE "A"  
(PER REF. #2)

FLOOD ZONE "A"

N05°28'08"E  
39.29'  
R=152.60'  
Δ=047°42'52"  
L=127.08'  
CHB=N28°53'48"E  
CHD=123.44'

APPROX. LOC. OF  
CLAP EASEMENT  
(PER REF. #3)

N05°02'22"E  
135.76'

N01°54'41"E  
272.49'

FLOOD ZONE "A"

FLOOD ZONE "A"

**BRICKYARD ROAD**  
(PUBLIC - 40' WIDE R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

**PROVIDENCE ROAD**  
(AKA - US ROUTE 6)  
(PUBLIC - 80' WIDE R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

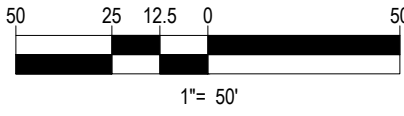
**REFER TO GENERAL NOTES SHEET  
FOR ADDITIONAL INFORMATION  
(SHEET NS-1)**



**Know what's below.  
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTE: THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSIPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 09/20/2023.

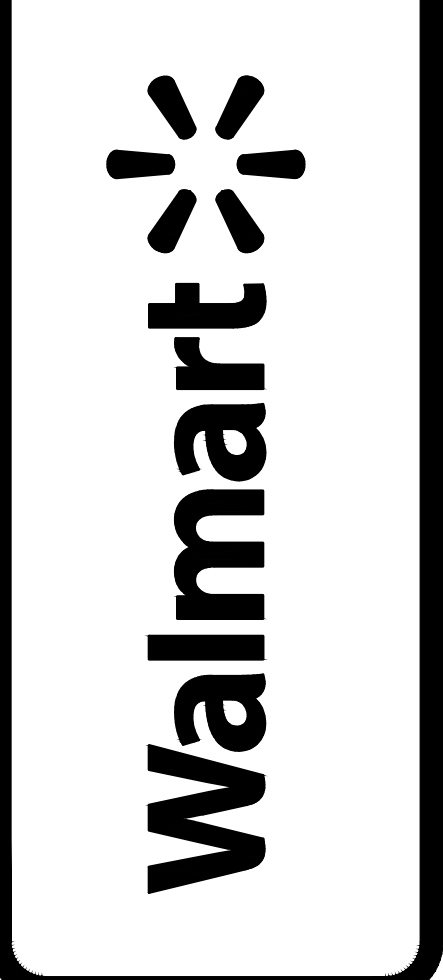


# EXISTING CONDITIONS PLAN

REVISIONS	BY



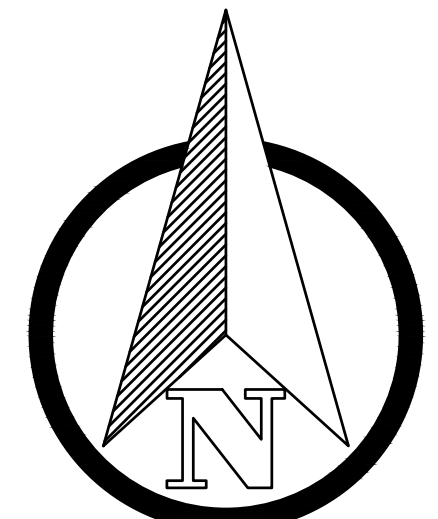
SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



DRAWN	BTJ/TJN
CHECKED	JJC/JSB
DATE	08/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

**EC-1**

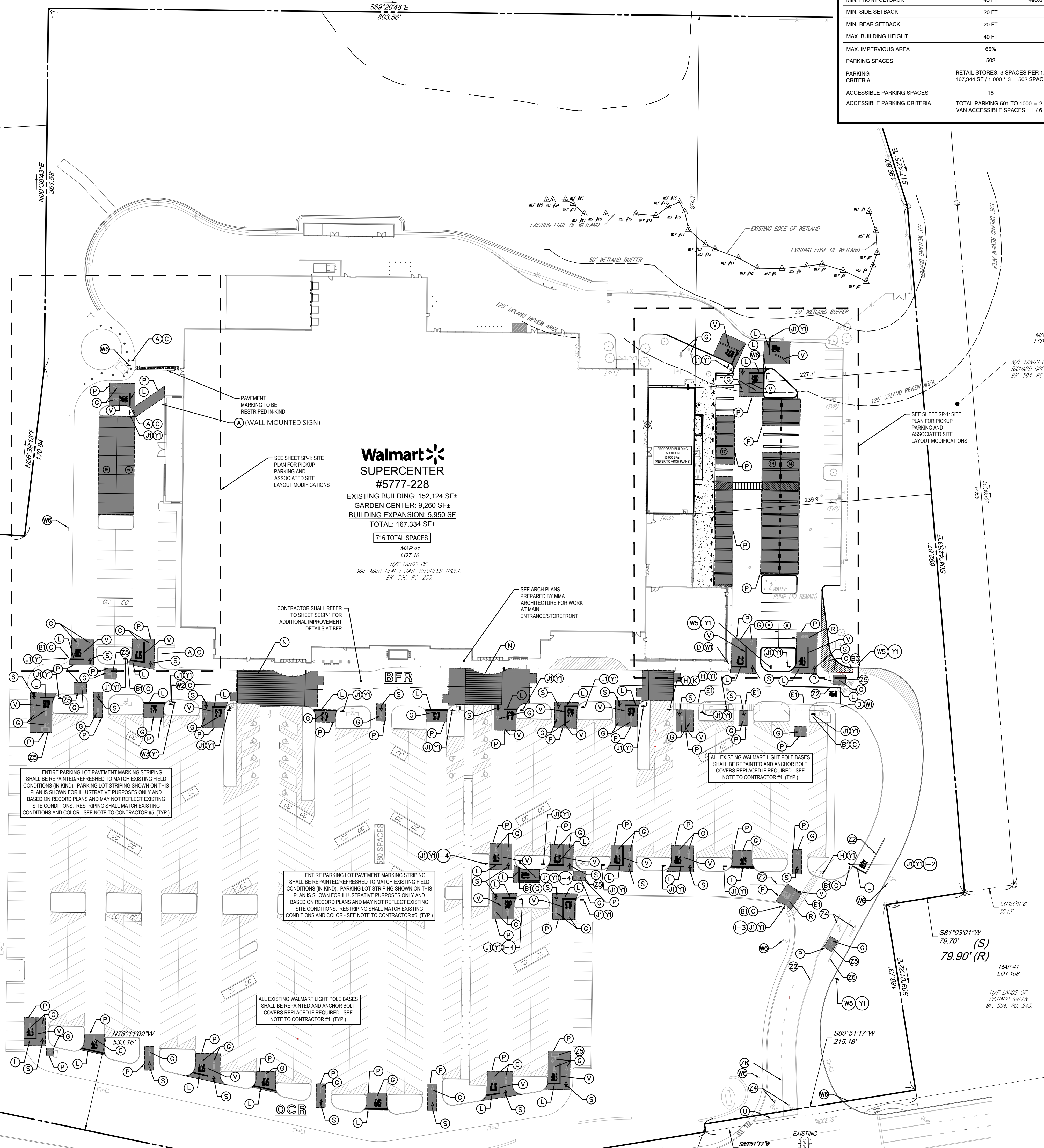




ZONING INFORMATION			
ZONING DISTRICT:	PLANNED COMMERCIAL		
ZONE CRITERIA	REQUIRED	EXISTING (1)	PROPOSED
MINIMUM LOT AREA	30,000 SF	1,109,787 SF (25.5± Ac.)	NO CHANGE
MIN. LOT FRONTAGE	100 FT	533.16 FT (BRICKYARD RD.)	NO CHANGE
MIN. FRONT SETBACK	45 FT	490.6 FT (BRICKYARD RD.)	NO CHANGE
MIN. SIDE SETBACK	20 FT	140.1 FT	NO CHANGE
MIN. REAR SETBACK	20 FT	213.0 FT	NO CHANGE
MAX. BUILDING HEIGHT	40 FT	< 40'	NO CHANGE
MAX. IMPERVIOUS AREA	65%	55.7%	55.5%
PARKING SPACES	502	728	719
PARKING CRITERIA	RETAIL STORES: 3 SPACES PER 1,000 SF GFA 167,344 SF / 1,000' ± = 502 SPACES REQUIRED UNDER CURRENT ZONING		
ACCESSIBLE PARKING SPACES	15	18	NO CHANGE
ACCESSIBLE PARKING CRITERIA	TOTAL PARKING 901 TO 1000 = 2 PERCENT OF TOTAL ACCESSIBLE SPACES VAN ACCESSIBLE SPACES = 1 / 8 SPACES		

**STOP SIGNS AND MARKING PLAN LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B1) EXISTING STOP SIGN TO BE REMOVED.
  - (B2) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
  - (B3) EXISTING "NO TRUCK" SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN. EXISTING BOLLARD SHALL BE REPAINTED TRAFFIC YELLOW (SEE DETAIL).
  - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
  - (F) EXISTING CROSSWALK STRIPING TO REMAIN AND SHALL BE REFRESHED/RESTRIPED.
  - (G) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (H) EXISTING DIRECTIONAL ARROW PAVEMENT MARKING TO BE REMOVED.
  - (I) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (J1) NEW W4-4A "TRAFFIC FROM LEFT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J2) NEW W4-4B "ONCOMING TRAFFIC DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J3) NEW W4-4A "TRAFFIC FROM RIGHT DOES NOT STOP" PLACARD. SEE DETAIL.
  - (J4) NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL.
  - (K1) NEW 30"x30" STOP SIGN.
  - (K2) NEW 36"x36" STOP SIGN.
  - (L) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (M) NEW STOP TEXT AND STOP BAR.
  - (N) 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2' 0" O.C.
  - (O) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2' 0" O.C. AND (18" WIDE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
  - (P) NEW "CROSS TRAFFIC DOES NOT STOP" (W4-4P) SIGN MOUNTED BELOW STOP SIGN.
  - (Q) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
  - (R) 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
  - (S) EXISTING STOP BAR AND STRIPING TO BE REMOVED.
  - (T) NEW OPEN ARROW PAVEMENT MARKINGS.
  - (U) NEW 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED WITH "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' SPACING. SEE DETAIL.
  - (V) NEW FIRE LANE STRIPING TO MATCH EXISTING.
  - (W) NEW STOP BAR.
  - (X) 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (Y) EXISTING STOP SIGN TO REMAIN.
  - (Z1) EXISTING "NO PARKING FIRE LANE" SIGN TO BE REMOVED.
  - (Z2) NEW "NO PARKING FIRE LANE" SIGN.
  - (Z3) PEDESTRIAN CROSSING SIGN TO REMAIN.
  - (Z4) NEW PICKUP DIRECTIONAL SIGN.
  - (Z5) EXISTING MISC TRUCK/PARKING/ASLE SIGN TO REMAIN.
  - (Z6) EXISTING SIGN MOUNTING BASE WITH BOLLARD TO BE REMOVED.
  - (Z7) NEW SIGN MOUNTING BASE WITH BREAK AWAY POST.
  - (Z8) NEW SOLID ARROW PAVEMENT MARKINGS.
  - (Z9) EXISTING DOUBLE YELLOW PAVEMENT STRIPE TO BE RESTRIPE.
  - (Z10) EXISTING STOP TEXT PAVEMENT MARKING TO BE REMOVED.
  - (Z11) EXISTING FORWARD/LEFT OR RIGHT TURN ONLY PAVEMENT MARKING TO BE RESTRIPE.
  - (Z12) EXISTING PICKUP PAVEMENT GRAPHIC TO BE REMOVED.
  - (Z13) EXISTING SINGLE WHITE LINE TO BE RESTRIPE.



- NOTES TO CONTRACTOR:**
- BFR (BUILDING FRONTAGE ROAD)  
OCR (OUTER CIRCULATION ROAD)
  - CONTRACTOR SHALL INSTALL 'NEW' STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
  - CONTRACTOR TO REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVING. REPLACE COVER FOR ANCHOR BOLTS IF DAMAGED/MISSING.
  - CONTRACTOR TO REFRESH ALL PARKING LOT STRIPING TO MATCH EXISTING, EXCEPT WHERE SPECIFIED IN SSM OR SECP SHEETS.

**REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)**



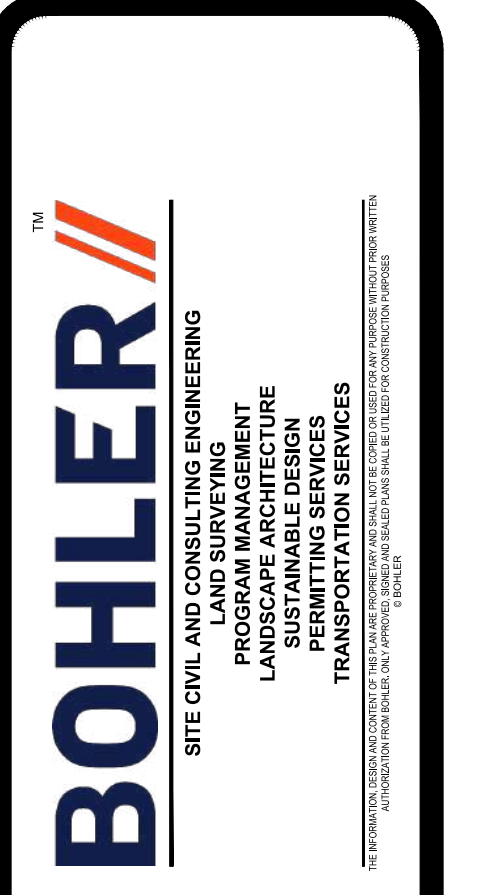
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**SEALCOAT NOTE:**  
CONTRACTOR SHALL INSTALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK FOR EXISTING CONCRETE SURFACES. GO TO TO PREPARE THE SURFACE FOR PAINT ONLY.

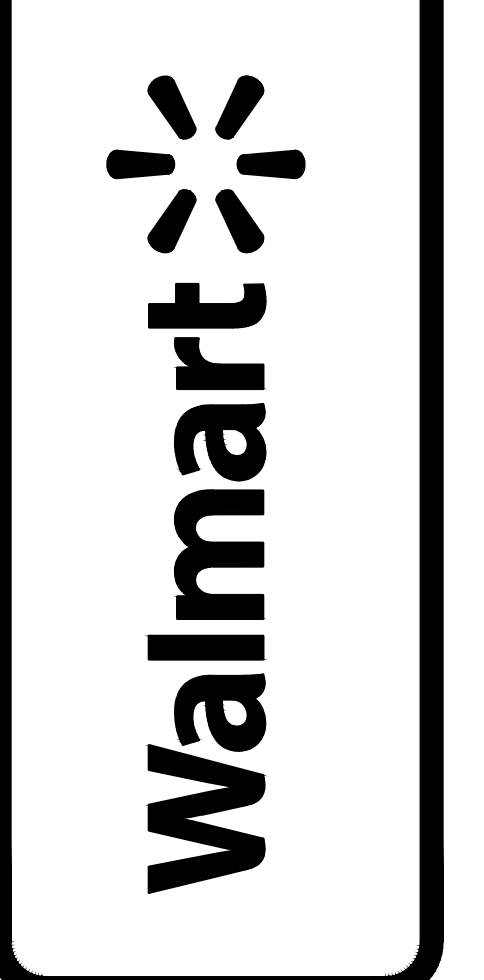
**NOTE:**  
THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/30/2023.

**OVERALL SITE PLAN - STOP SIGNS AND MARKINGS PLAN**

REVISIONS	BY



SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



DRAWN: BTJ/TJN  
CHECKED: JJC/JSB  
DATE: 06/29/2023  
SCALE: AS NOTED  
JOB NO: MA230031.00  
SHEET

**SSM-1**





**Walmart**  
SUPERCENTER

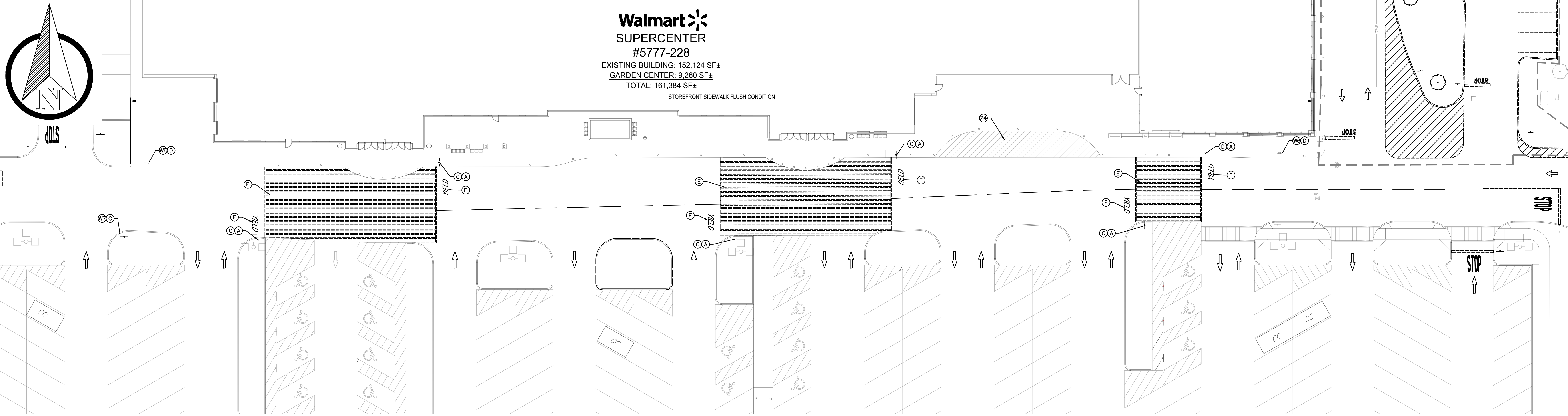
#5777-228

EXISTING BUILDING: 152,124 SF±

GARDEN CENTER: 9,260 SF±

TOTAL: 161,384 SF±

STOREFRONT SIDEWALK FLUSH CONDITION



**DEMOLITION PLAN**



**Walmart**  
SUPERCENTER

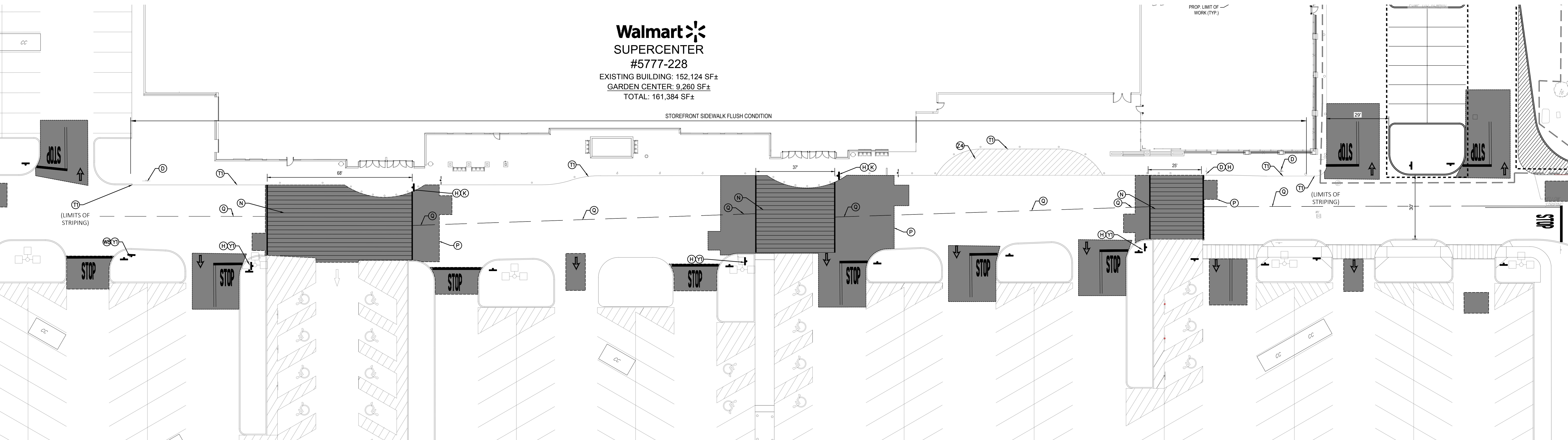
#5777-228

EXISTING BUILDING: 152,124 SF±

GARDEN CENTER: 9,260 SF±

TOTAL: 161,384 SF±

STOREFRONT SIDEWALK FLUSH CONDITION



**SITE CONSTRUCTION PLAN**

**STOP SIGNS AND MARKING PLAN LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B1) EXISTING STOP SIGN TO BE REMOVED.
- (B2) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. EXISTING BOLLARD SHALL BE REPAINTED TRAFFIC YELLOW (SEE DETAIL).
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING DIRECTIONAL ARROW PAVEMENT MARKING TO BE REMOVED.
- (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
- (I) NEW W4-4A "TRAFFIC FROM LEFT DOES NOT STOP" PLACARD. SEE DETAIL.
- (J) NEW W4-4B "ONCOMING TRAFFIC DOES NOT STOP" PLACARD. SEE DETAIL.
- (K) NEW W4-4A "TRAFFIC FROM RIGHT DOES NOT STOP" PLACARD. SEE DETAIL.
- (L) NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL/NEW R31-3P "ALL WAY" PLACARD. SEE DETAIL.
- (M) NEW 30"x30" STOP SIGN.
- (N) NEW 36"x36" STOP SIGN.

**STOP SIGNS AND MARKING PLAN LEGEND - CONT.**

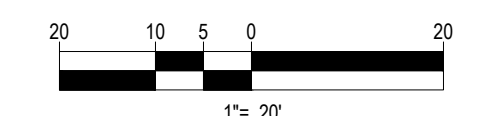
- (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (L) NEW STOP TEXT AND STOP BAR.
- (M) EXISTING BOLLARD (TO BE REMOVED).
- (N) EXISTING BOLLARD TO REMAIN AND BE PAINTED TRAFFIC YELLOW.
- (O) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (P) NEW "CROSS TRAFFIC DOES NOT STOP" (W4-4P) SIGN MOUNTED BELOW STOP SIGN
- (Q) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (R) 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
- (S) EXISTING STOP BAR AND STRIPING TO BE REMOVED.
- (T) NEW OPEN ARROW PAVEMENT MARKINGS.
- (U) NEW 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED WITH "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' SPACING. SEE DETAIL.
- (V) NEW FIRE LANE STRIPING TO MATCH EXISTING.
- (W) NEW STOP BAR
- (X) 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (Y) EXISTING STOP SIGN TO REMAIN.

**STOP SIGNS AND MARKING PLAN LEGEND - CONT.**

- (W2) EXISTING "DO NOT ENTER" SIGN TO REMAIN.
- (W3) EXISTING AISLE / ROW INDICATOR SIGN TO REMAIN.
- (W4) PEDESTRIAN CROSSING SIGN TO REMAIN.
- (W5) EXISTING PICKUP DIRECTIONAL SIGN TO REMAIN.
- (W6) EXISTING "NO PARKING FIRE LANE SIGN" TO REMAIN.
- (W7) EXISTING "NO PARKING FIRE LANE SIGN" TO BE REMOVED.
- (W8) NEW "NO PARKING FIRE LANE SIGN" TO REMAIN
- (X) EXISTING CROSSWALK STRIPING TO REMAIN
- (Y1) NEW SIGN MOUNTING BASE WITH BREAK AWAY POST.
- (Z1) NEW SOLID ARROW PAVEMENT MARKINGS.
- (Z2) EXISTING "NO PARKING FIRE LANE" SIGN TO BE REMOVED
- (Z3) NEW SOLID YELLOW PAVEMENT MARKING. SEE DETAIL.
- (Z4) EXISTING PAVEMENT STRIPING TO BE REFRESHED.

**NOTES TO CONTRACTOR:**

1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. CONTRACTOR SHALL REMOVE THE PAVEMENT MARKINGS IN THEIR ENTIRETY PRIOR TO SEAL COAT. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
5. CONTRACTOR TO PROVIDE AND INSTALL YELLOW PLASTIC LIGHT POLE BASE COVERS AND YELLOW PLASTIC BOLLARD COVERS. ONLY LIGHT POLE BASES OVER 80" IN CIRCUMFERENCE TO BE PAINTED. REMOVE PREVIOUS OVERSPRAY ON PAVING. REPLACE COVER FOR ANCHOR BOLTS IF DAMAGED/MISSING.
6. CONTRACTOR TO REFRESH ALL PARKING LOT STRIPING TO MATCH EXISTING, EXCEPT WHERE SPECIFIED IN SSM OR SECP SHEETS.
7. CONTRACTOR TO POWER WASH EXISTING SIDEWALK ALONG THE BFR, AUTO CARE CENTER, AND ONLINE PICKUP AREA.



**DEMOLITION AND SITE CONSTRUCTION PLAN**

REVISIONS	BY



SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



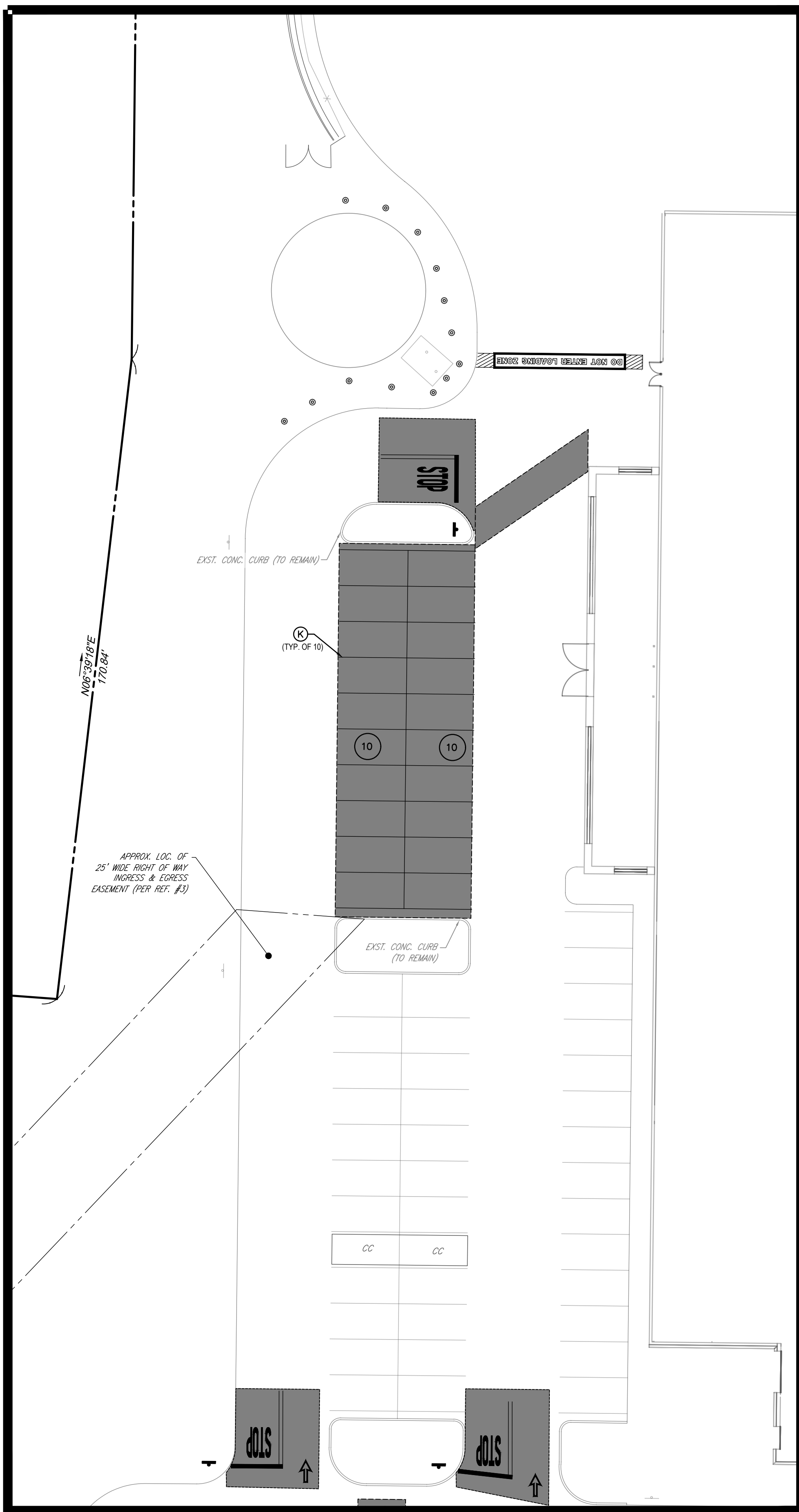
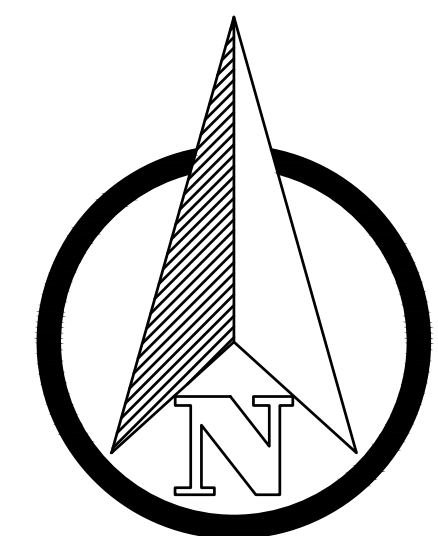
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CHECKED: JUC/SJB  
DATE: 06/29/2023  
SCALE: AS NOTED  
JOB No.: MA230031.00  
SHEET

**SECP-1**

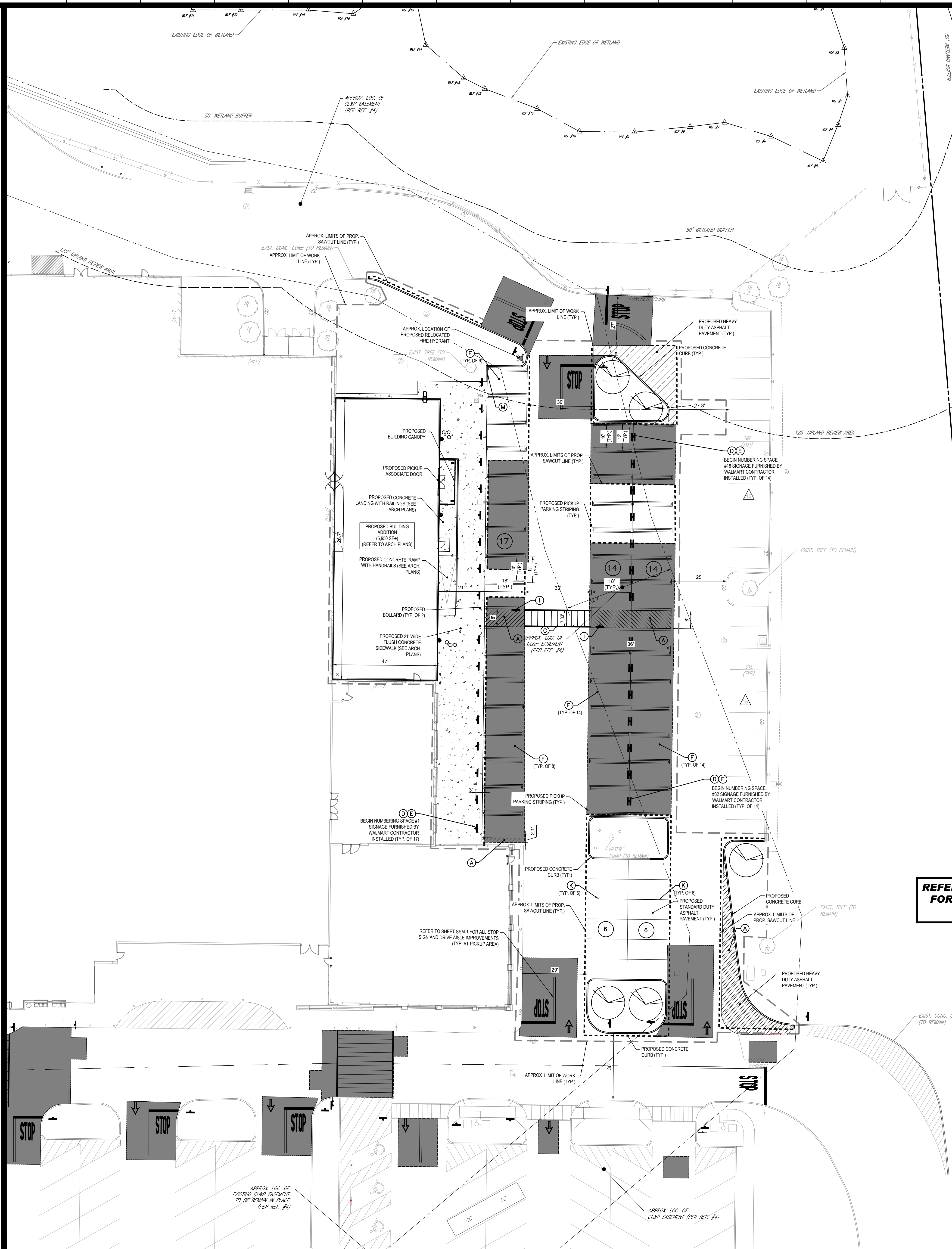








EXISTING PICKUP SITE CONSTRUCTION PLAN



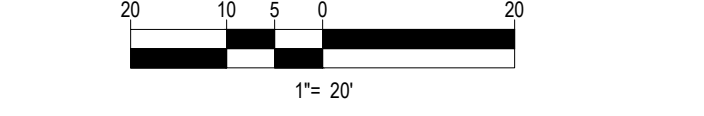
- SITE LEGEND**  
ALL DETAIL REFERENCES ON SHEET DTL-1
- (A) 4" WIDE YELLOW PAVEMENT MARKING @ 2' O.C. @ 45°. SEE DETAIL.
  - (B) PICKUP BREAKAWAY SIGN MOUNTING AND BASE (WITHIN CURBED ISLAND). SEE DETAIL.
  - (C) ASSOCIATE PATH CROSSWALK STRIPING. SEE DETAIL.
  - (D) PICKUP PARKING SIGNAGE. SEE DETAIL.
  - (E) PICKUP PARKING SIGN MOUNTING AND BASE IN PROTECTIVE BOLLARD. SEE DETAIL.
  - (F) PICKUP PARKING STALL WITH YELLOW PAVEMENT MARKINGS. SEE DETAIL.
  - (G) PICKUP SIGN PANEL AND SIGN POST TO BE REMOVED.
  - (H) PICKUP SIGN PANEL TO BE REMOVED.
  - (I) PROP. "STOP HERE FOR PEDESTRIANS" SIGN MOUNTED IN PROP. BOLLARD. REFER TO SIGN MOUNTING DETAIL.
  - (J) NEW PICKUP BANNER SIGN MOUNTED TO EXISTING LIGHT POLE. TOP OF SIGN SHALL BE SET 18 FT. ABOVE FINISHED GRADE. SEE DETAIL.
  - (K) PROP. STANDARD PARKING STALL WITH YELLOW PAVEMENT MARKINGS.
  - (L) PROP. 30"x30" STOP SIGN MOUNTED IN PROP. BOLLARD. SEE DETAIL.
  - (M) PROP. TRANSITION CURB. SEE DETAIL.

- LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT
  - STANDARD DUTY ASPHALT PAVEMENT
  - PAVEMENT SEAL COAT

**REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)**

**SEALCOAT NOTE:**  
CONTRACTOR SHALL INSTALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK AND ADDITIONAL ASSOCIATED PARKING SPACES REQUIRED TO BE STRIPED AS SHOWN ON THESE PLANS. FOR EXISTING CONCRETE SURFACES, CC IS TO PREPARE THE SURFACE FOR PAINT ONLY.

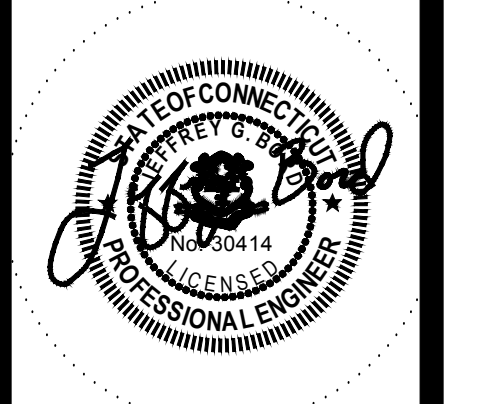
ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS



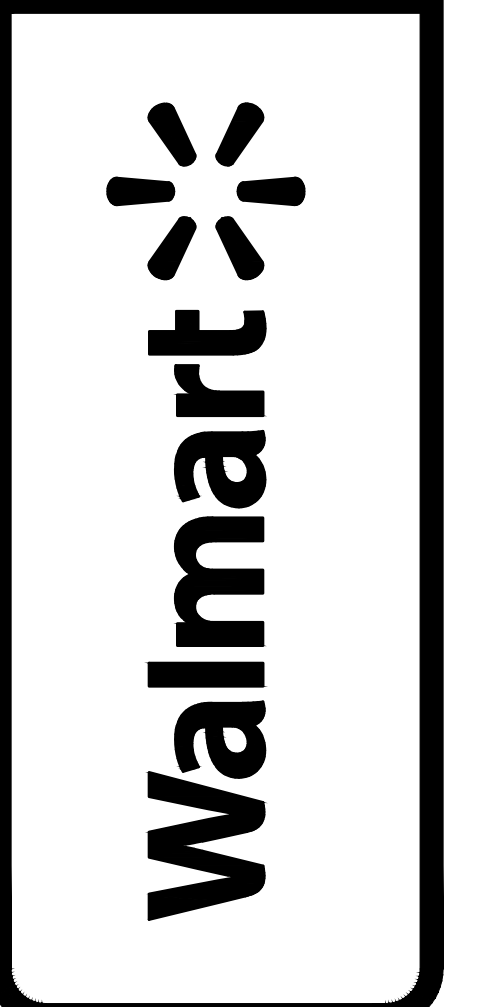
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

# SITE PLAN

REVISIONS	BY



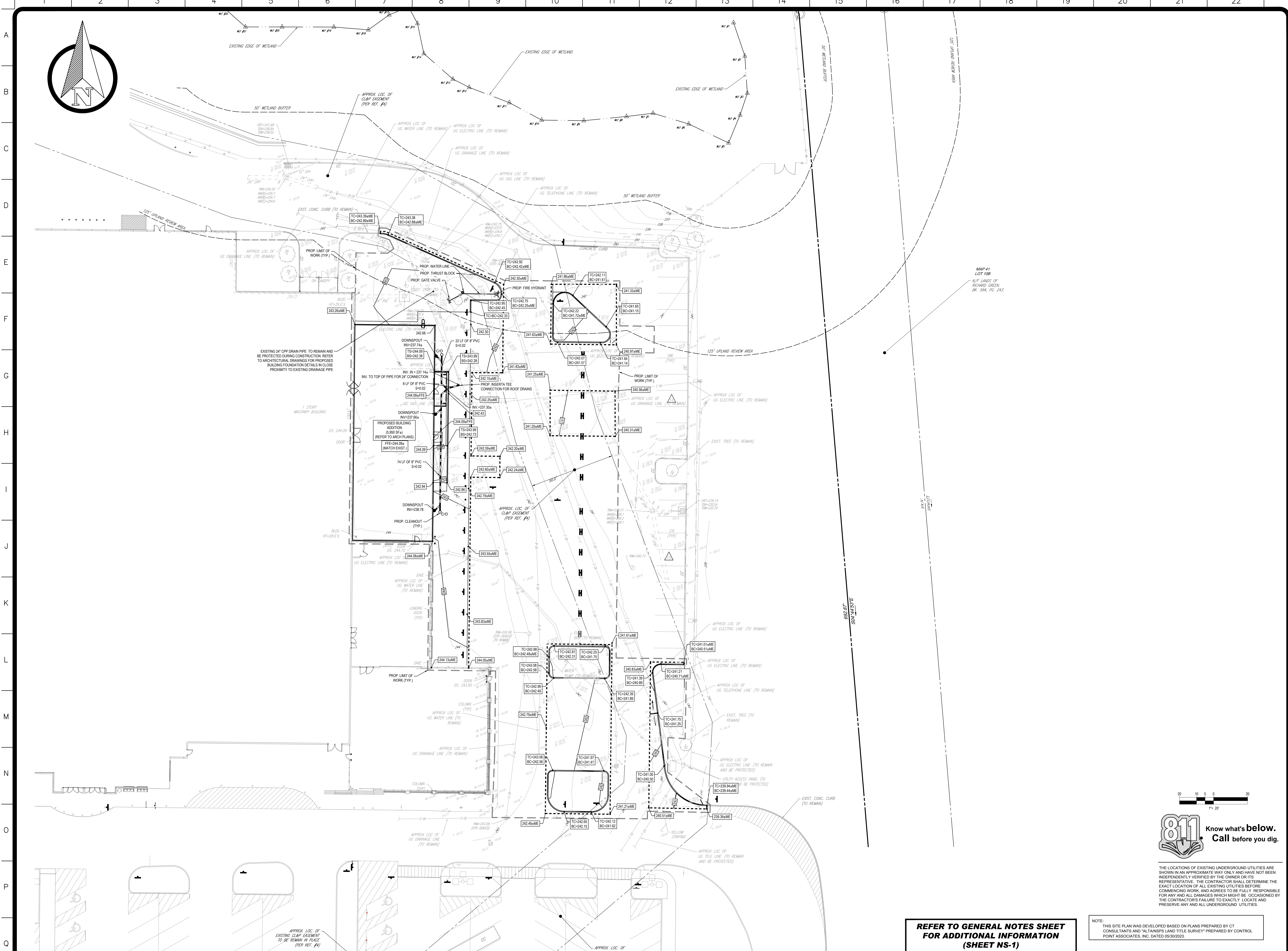
SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



DRAWN	BTJ/TJN
CHECKED	JJC/GB
DATE	06/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

## SP-1



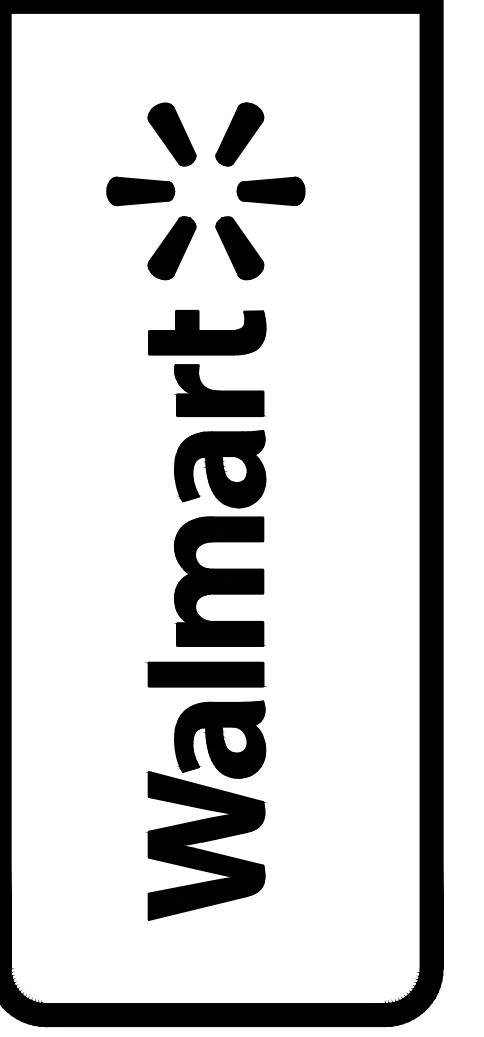


REVISIONS	BY

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LEADERSHIP DESIGN  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES



SUPERCENTER #5777-228  
 450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



DRAWN	BTJ/TJN
CHECKED	JJC/SJB
DATE	06/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

**GD-1**

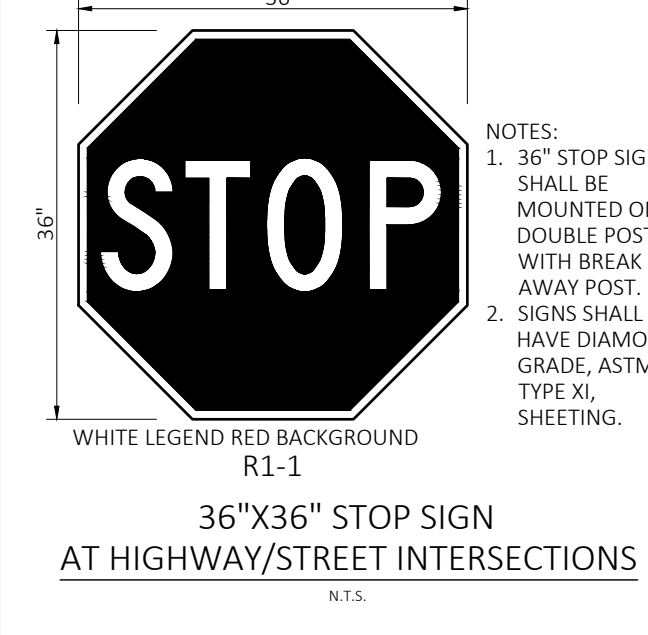
**REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION (SHEET NS-1)**

NOTE: THIS SITE PLAN WAS DEVELOPED BASED ON PLANS PREPARED BY CT CONSULTANTS AND "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/30/2023.



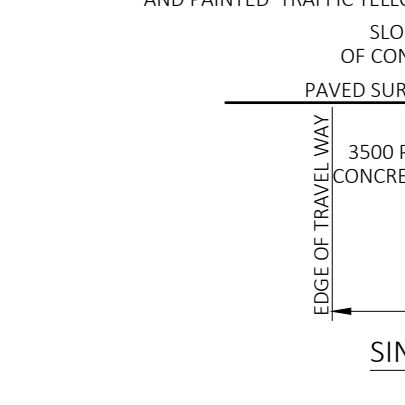
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.





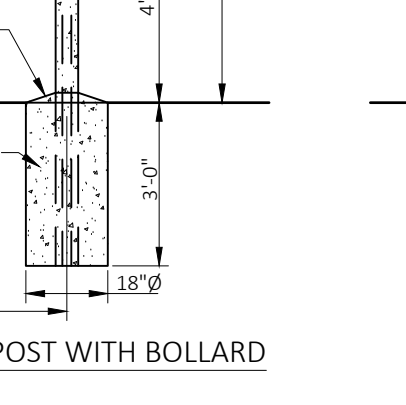
**NOTES FOR SINGLE POST WITH BOLLARD:**

- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- USE 4" SCH. 40 STEEL PIPE FILLED W/ CONCRETE WITH TOP ROUNDED AND PAINTED TRAFFIC YELLOW. SLOPE TOP OF CONCRETE TO PAVED SURFACE.



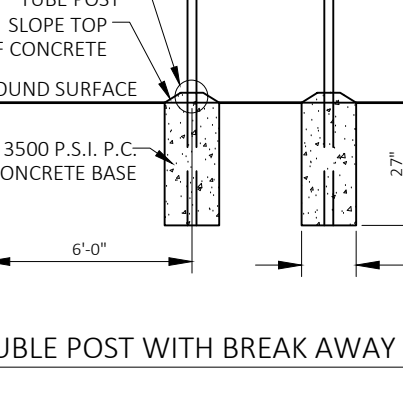
**NOTES FOR DOUBLE POST WITH BREAK AWAY POSTS:**

- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- USE 4" SCH. 40 STEEL PIPE FILLED W/ CONCRETE WITH TOP ROUNDED AND PAINTED TRAFFIC YELLOW. SLOPE TOP OF CONCRETE TO PAVED SURFACE.



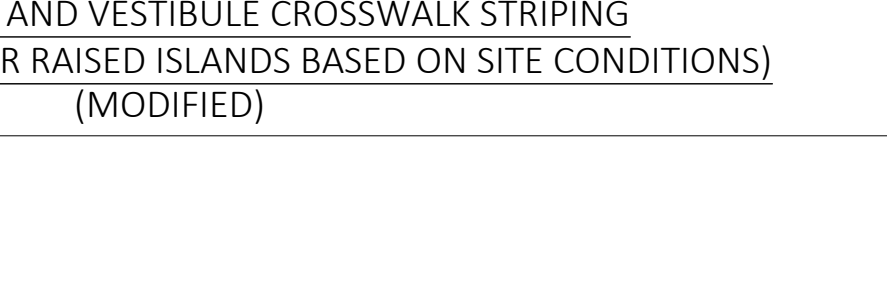
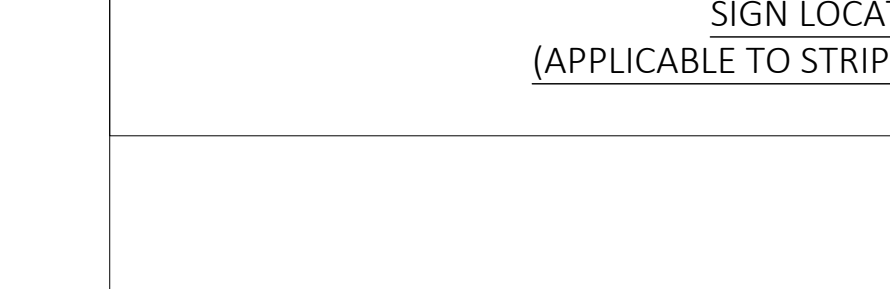
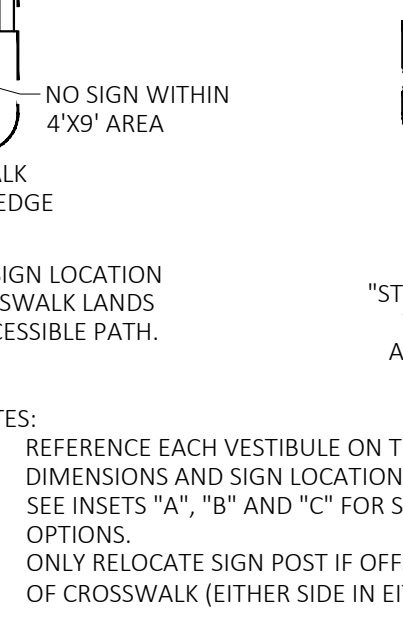
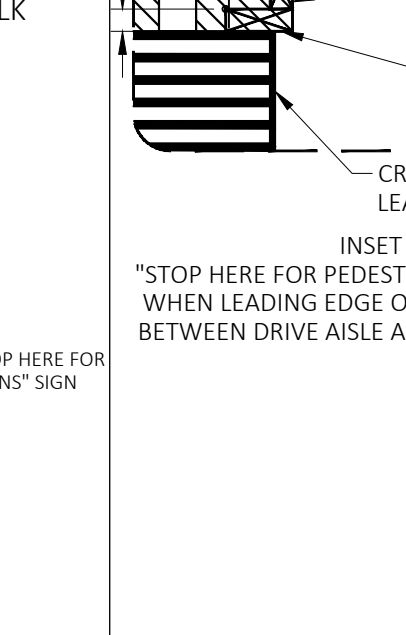
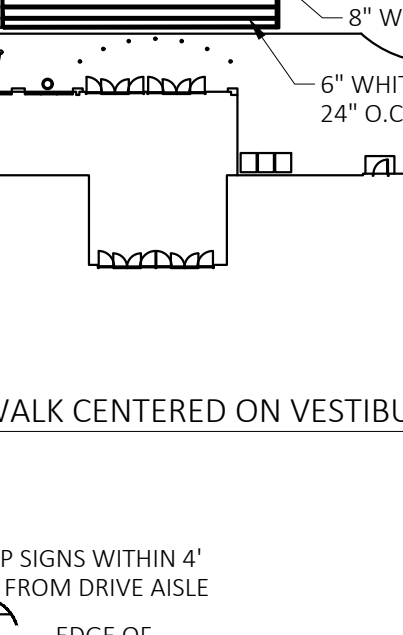
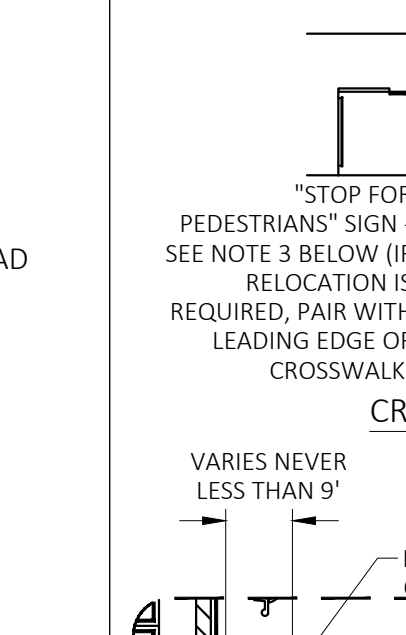
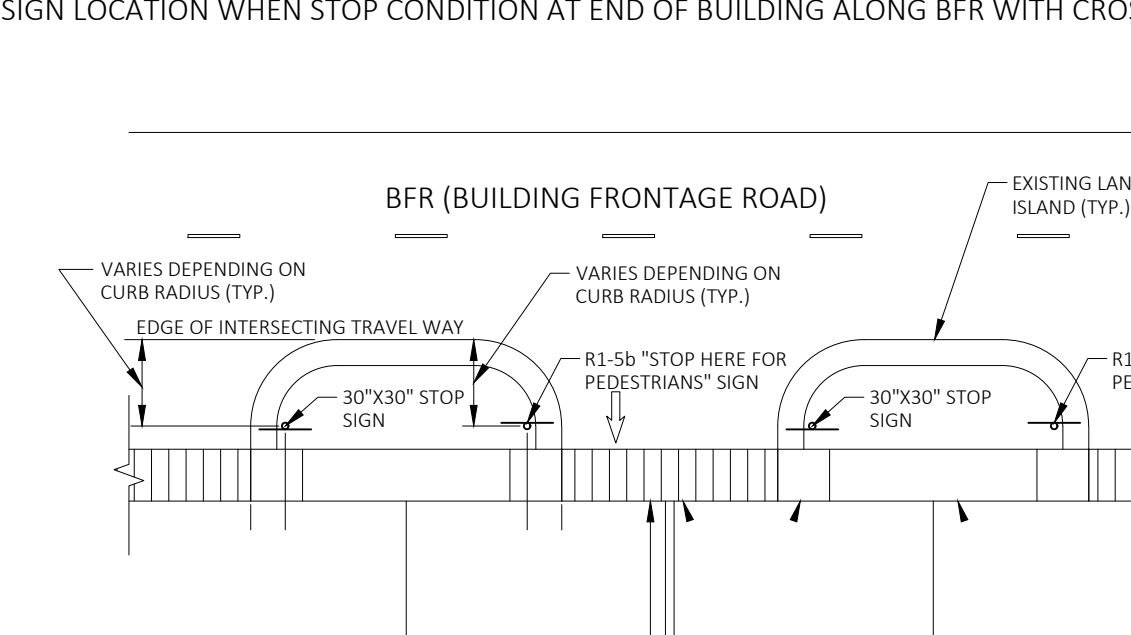
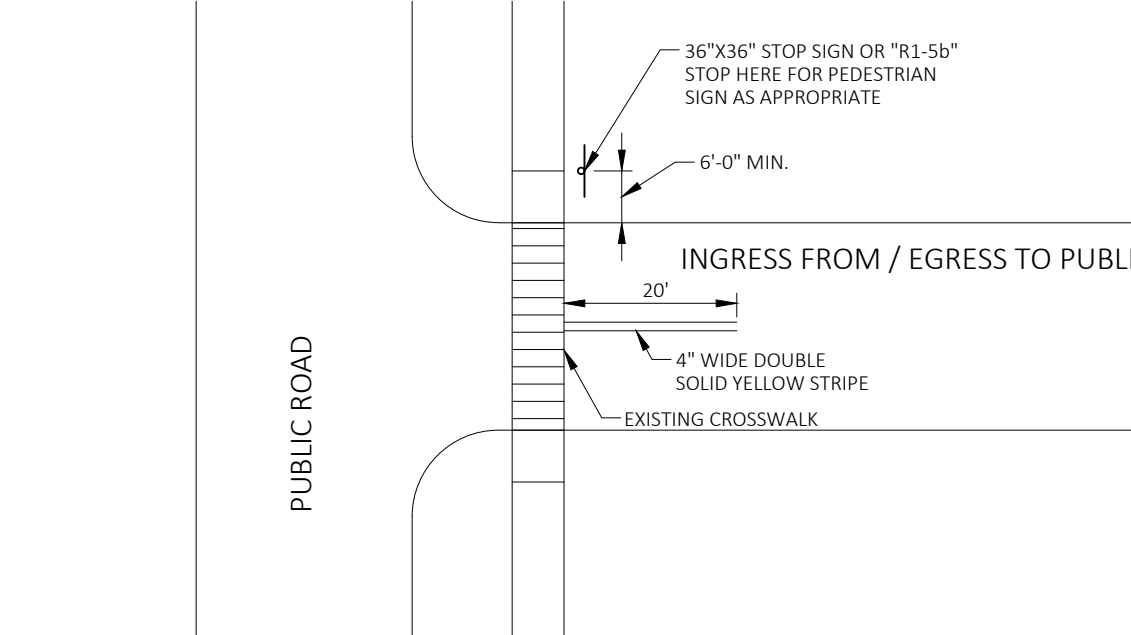
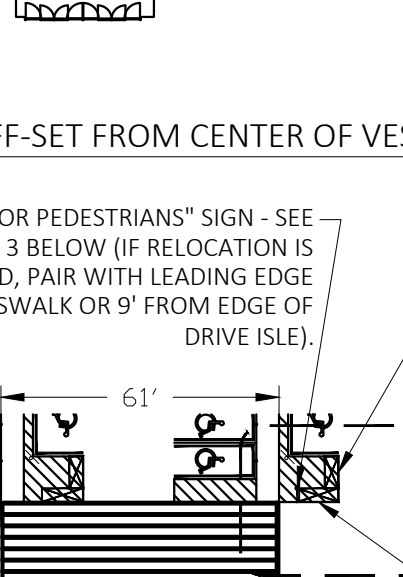
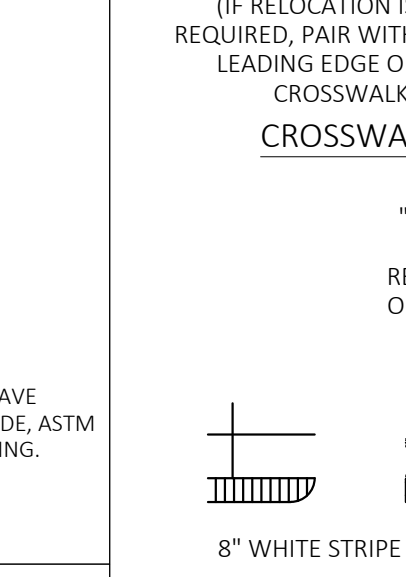
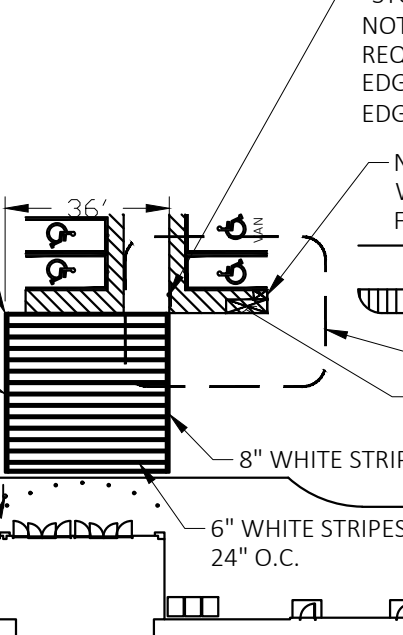
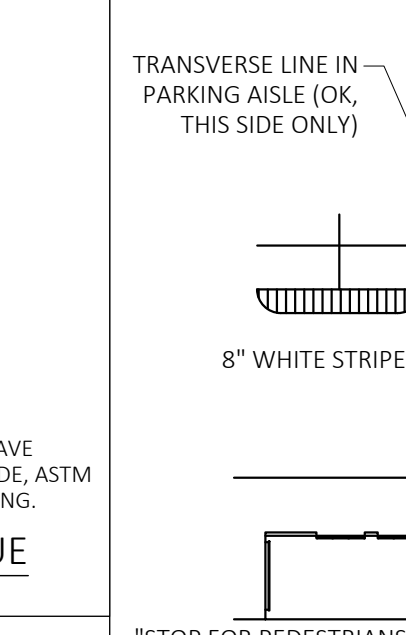
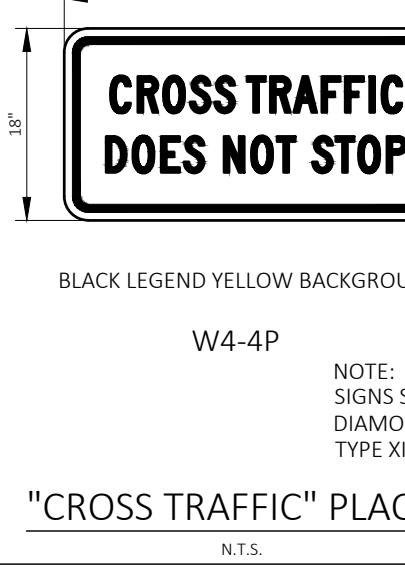
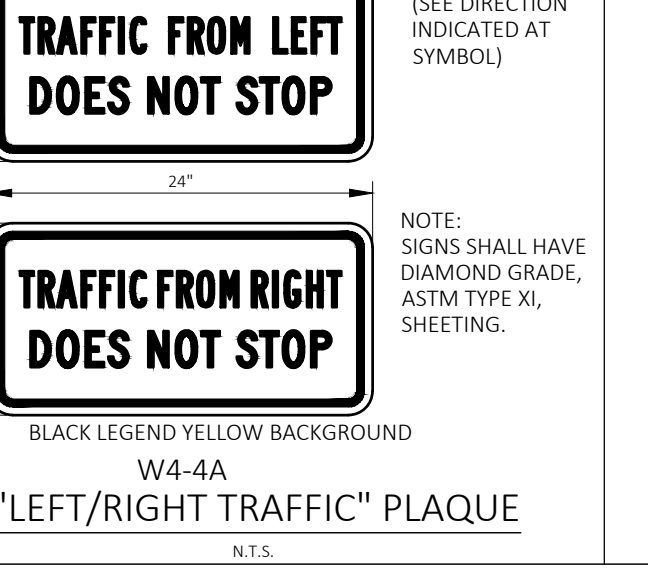
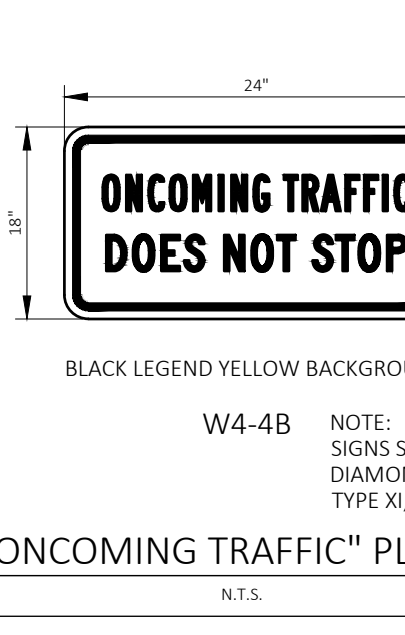
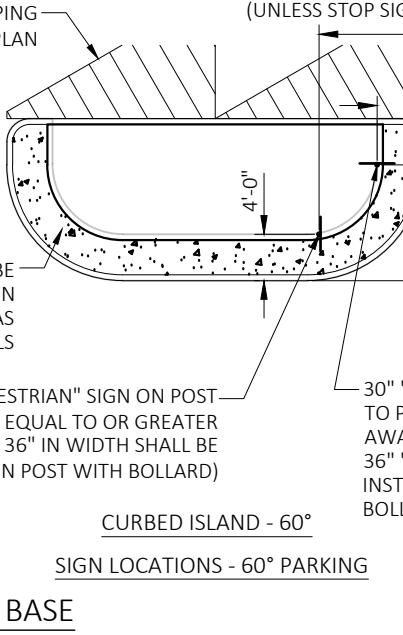
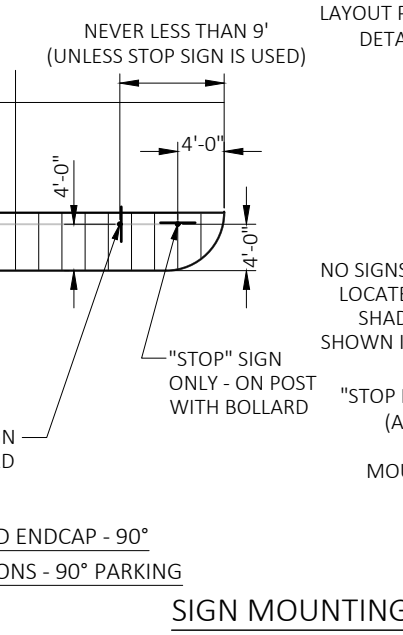
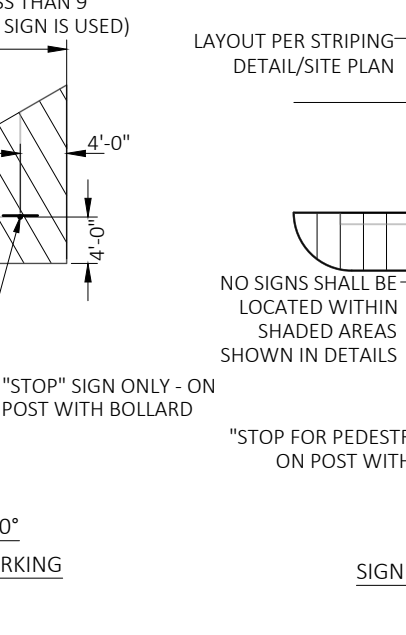
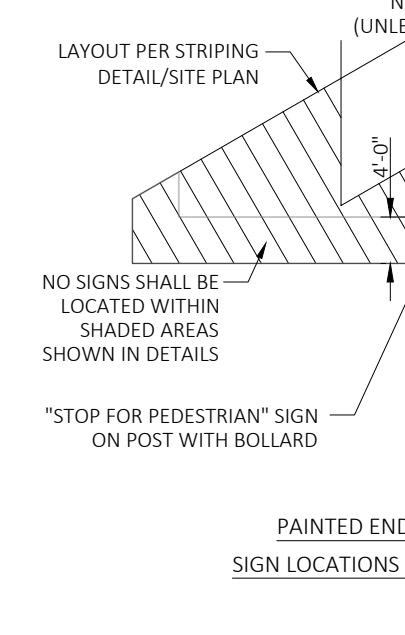
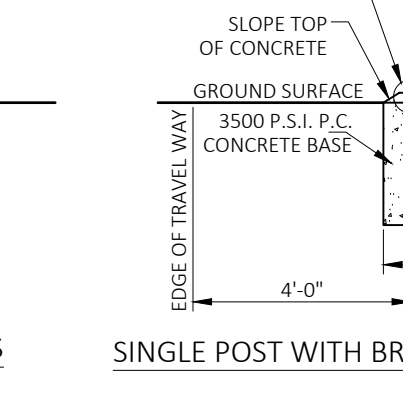
**NOTES FOR SINGLE POST WITH BREAK AWAY POST:**

- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- USE 4" SCH. 40 STEEL PIPE FILLED W/ CONCRETE WITH TOP ROUNDED AND PAINTED TRAFFIC YELLOW. SLOPE TOP OF CONCRETE TO PAVED SURFACE.



**NOTES FOR SQUARE TUBE BREAK AWAY POST:**

- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- USE 4" SCH. 40 STEEL PIPE FILLED W/ CONCRETE WITH TOP ROUNDED AND PAINTED TRAFFIC YELLOW. SLOPE TOP OF CONCRETE TO PAVED SURFACE.

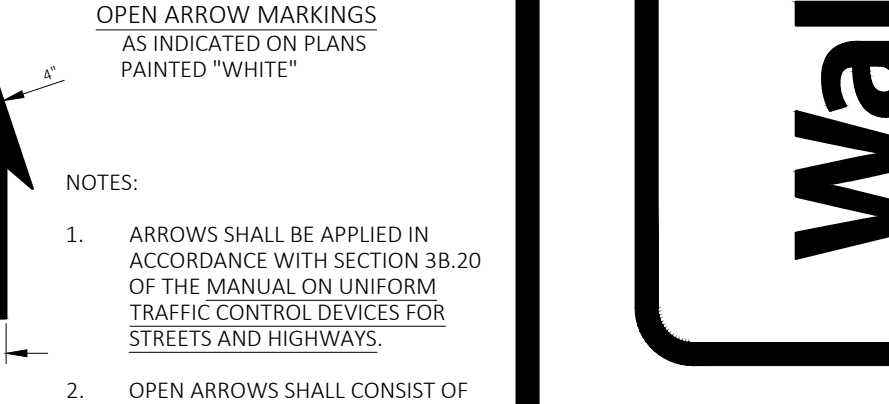
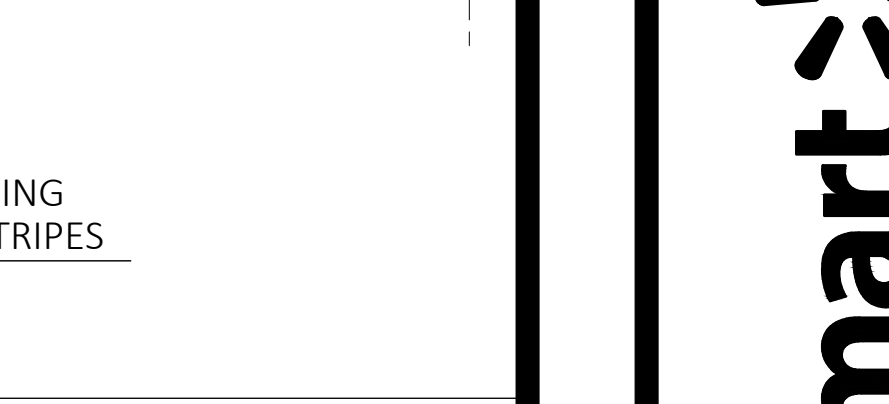
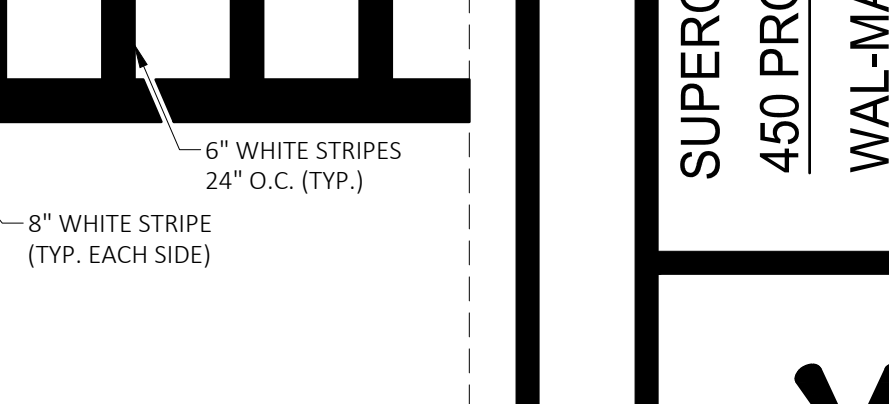
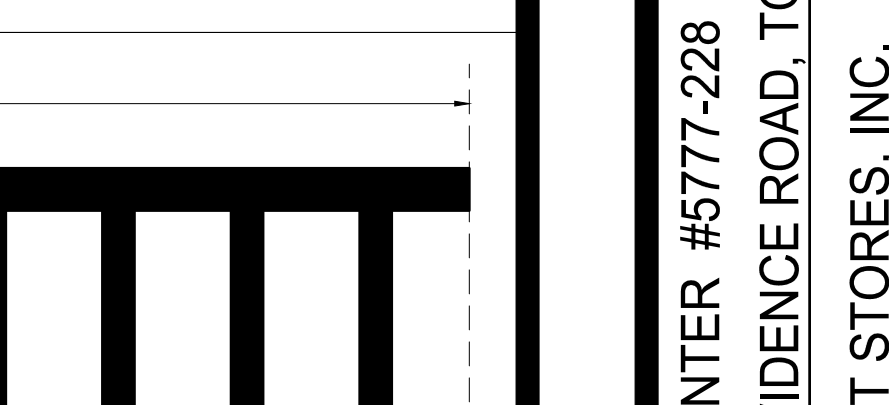
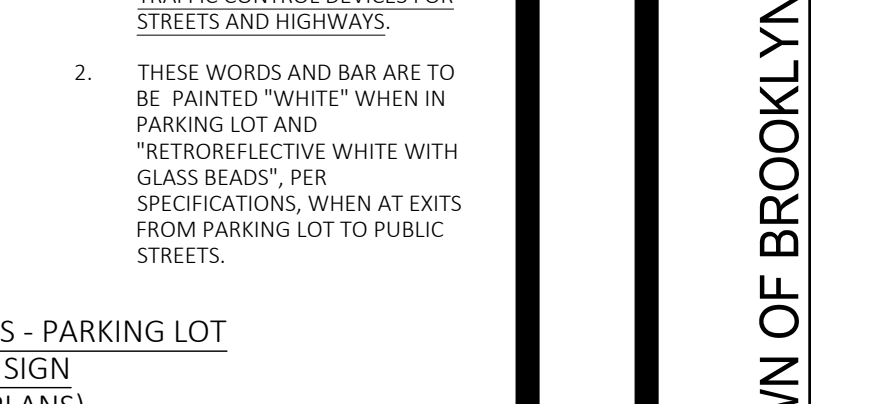
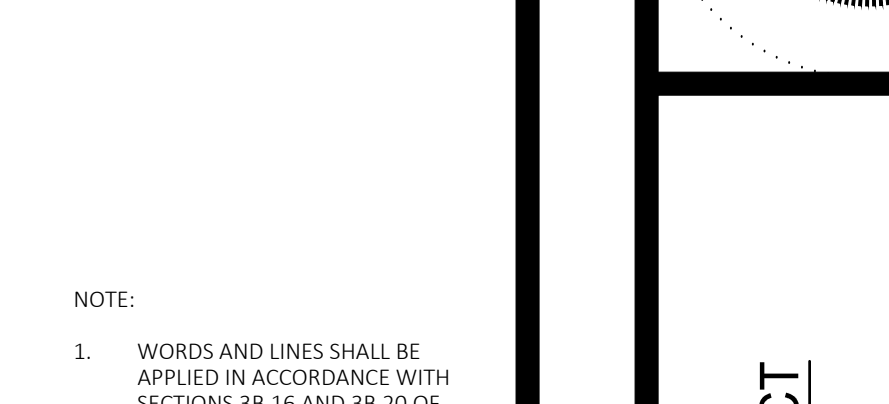
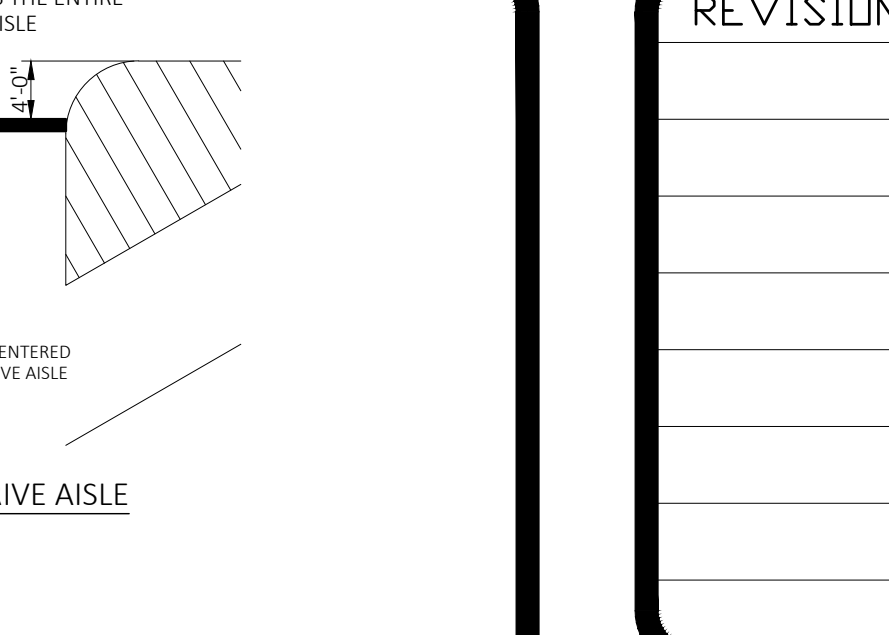
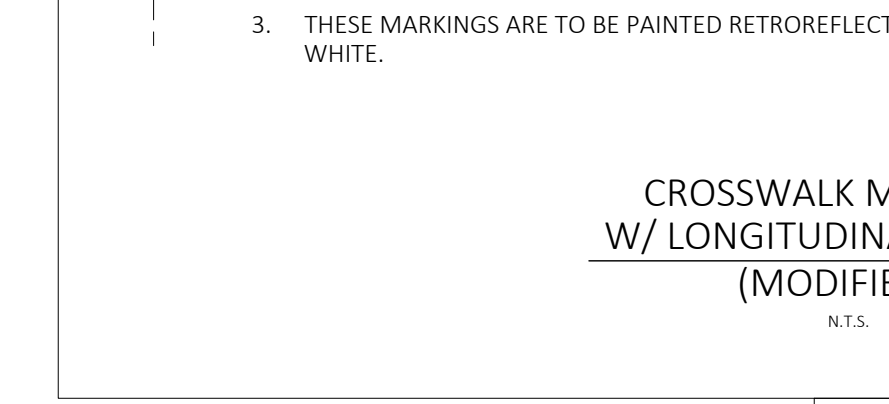
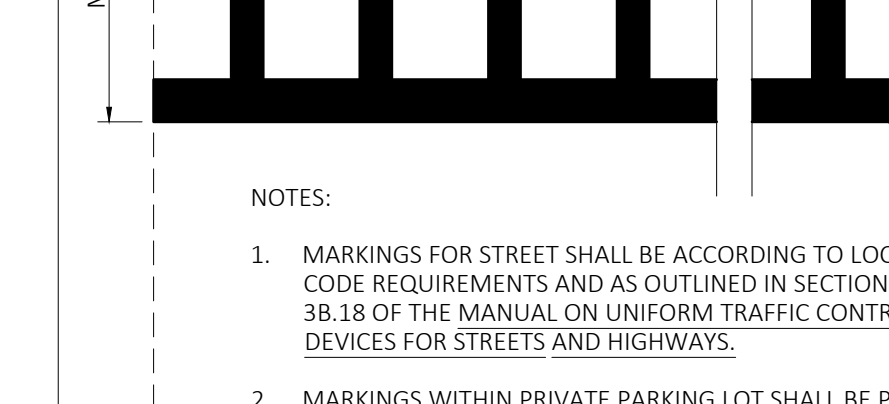
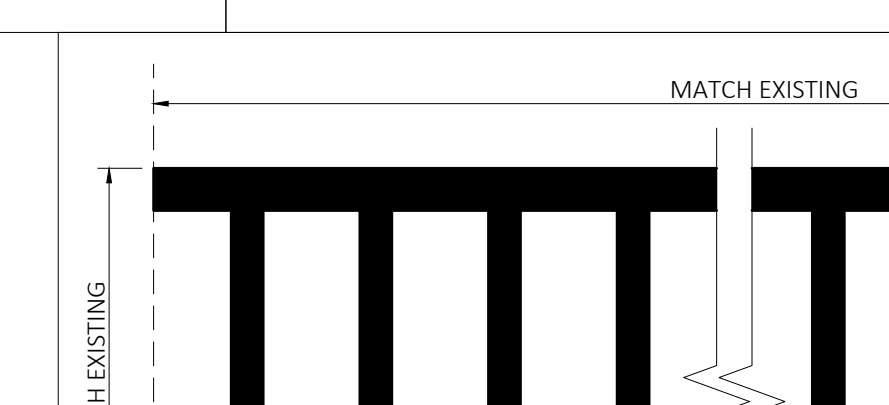
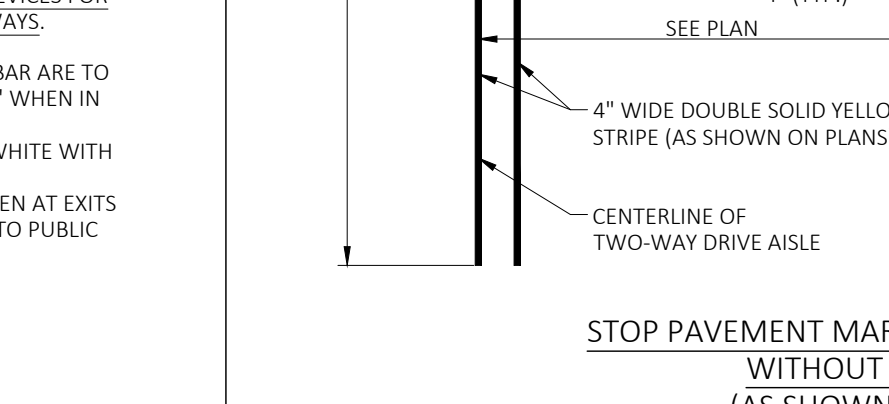
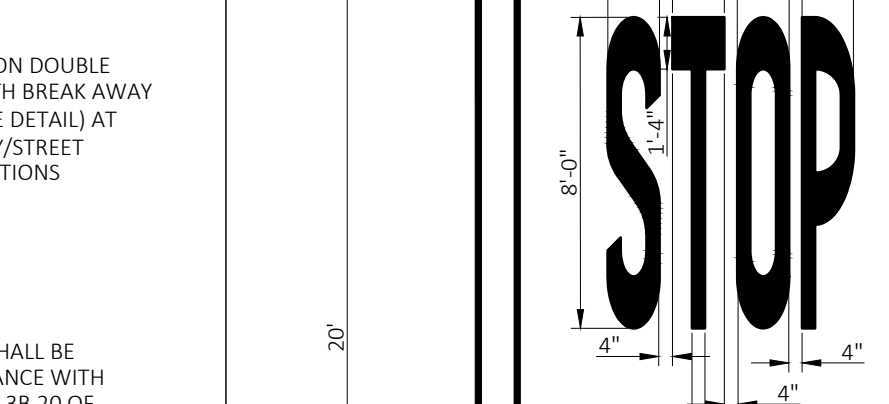
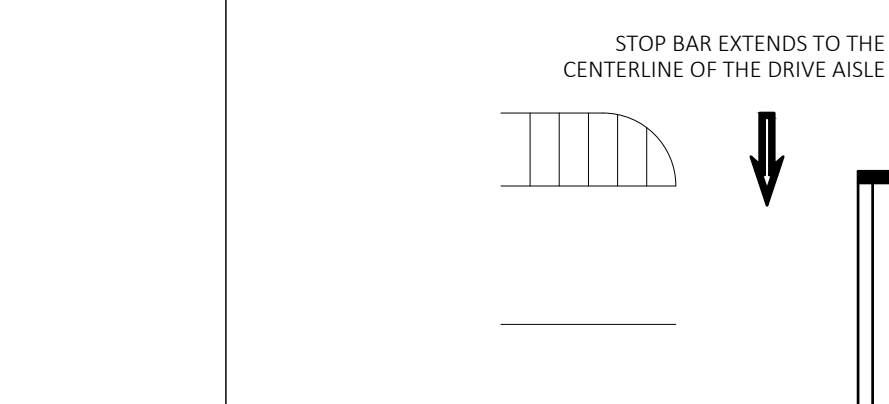
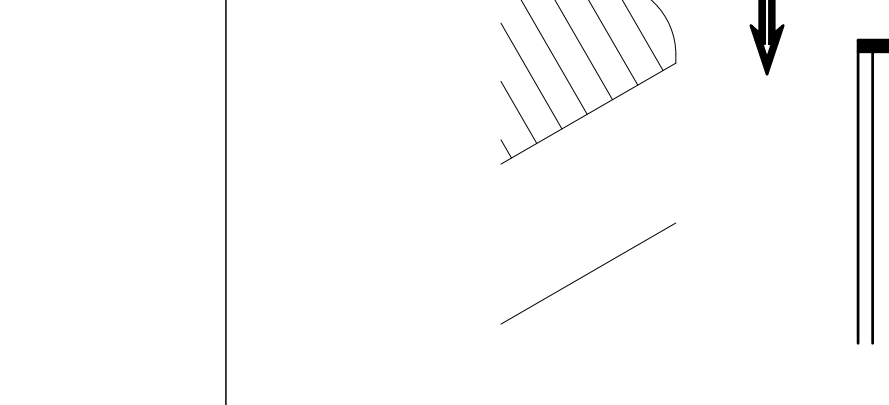
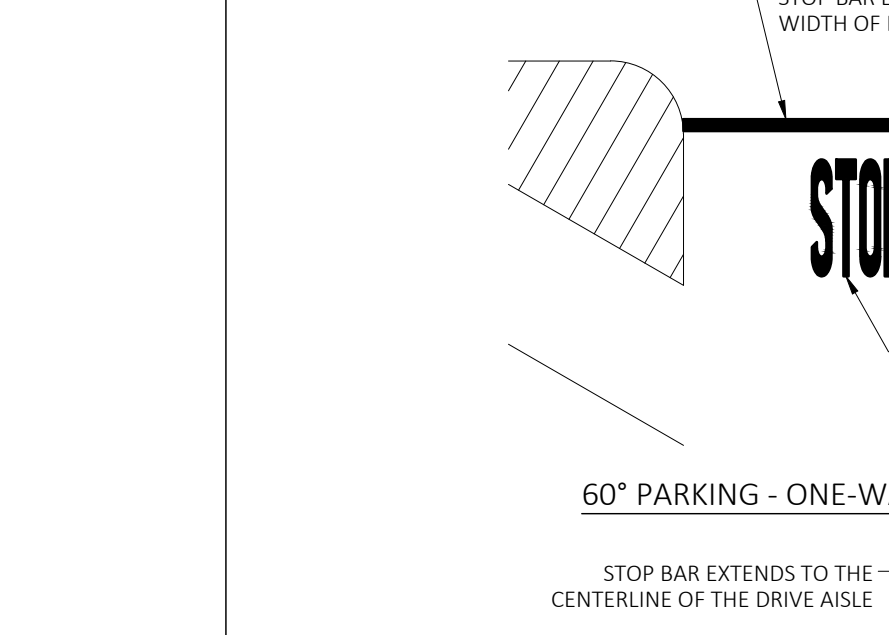
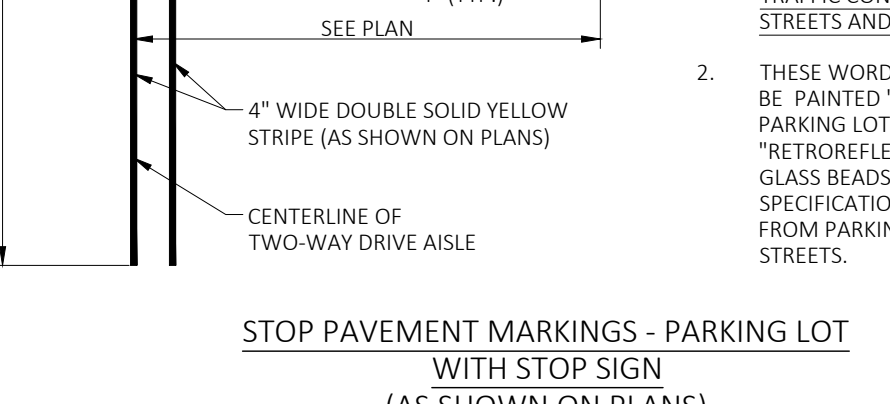
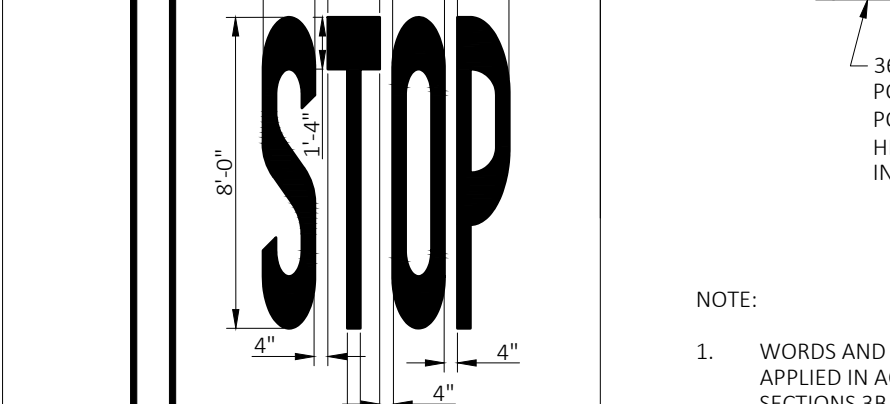
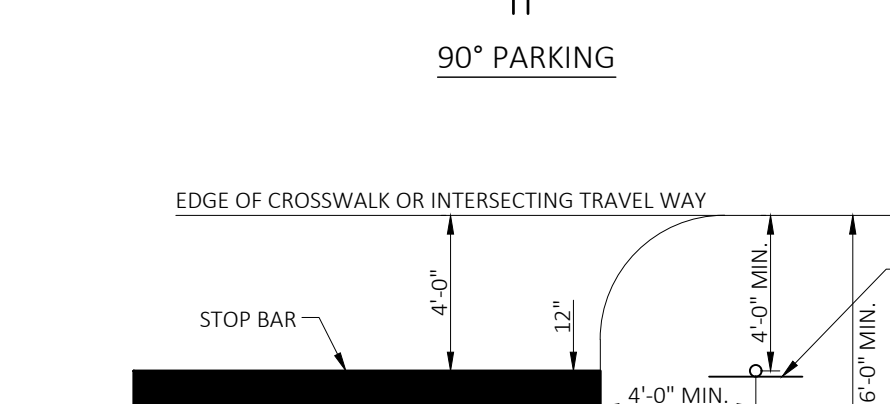
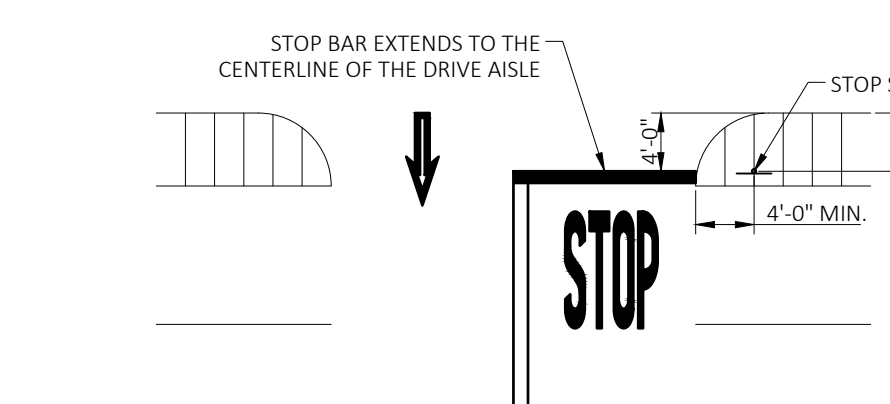
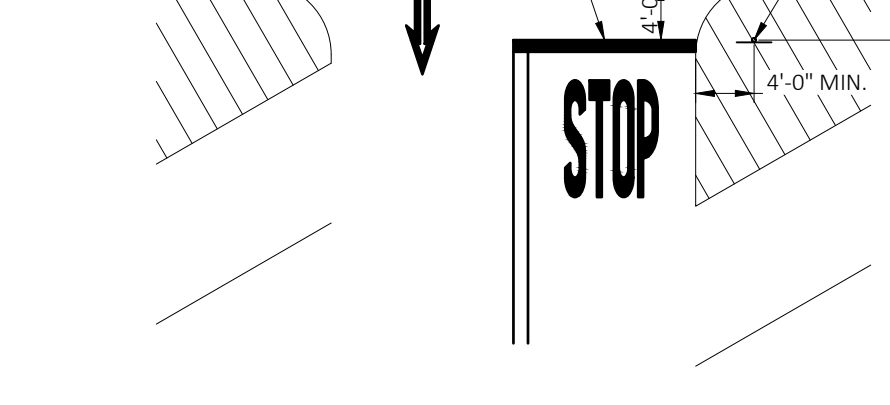
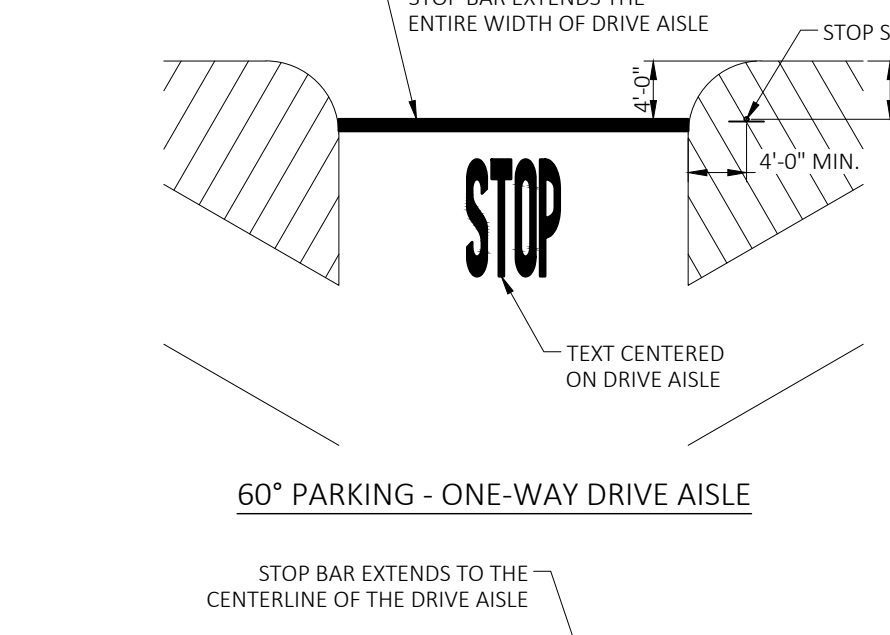


**NOTES:**

- REFER TO EACH VESTIBULE ON THE SITE PLAN FOR FINAL LAYOUT, DIMENSIONS AND SIGN LOCATION.
- SEE INSETS "A", "B" AND "C" FOR SIGN LOCATION FOR EACH OF THE THREE OPTIONS.
- ONLY RELOCATE SIGN POST IF OFFSET MORE THAN 9' FROM LEADING EDGE OF CROSSWALK (EITHER SIDE IN EITHER DIRECTION) ALONG FRONT DRIVE.

**ADDITIONAL NOTES FOR INSET "C":**

- IF CROSSWALK LEADING EDGE IS LESS THAN HALF WAY ACROSS THE DRIVE AISLE, THE CROSSWALK SIGN WILL LAG THE LEADING EDGE.
- IF CROSSWALK LEADING EDGE IS BEYOND HALF WAY ACROSS THE DRIVE AISLE, THE CROSSWALK SIGN WILL LEAD THE LEADING EDGE.

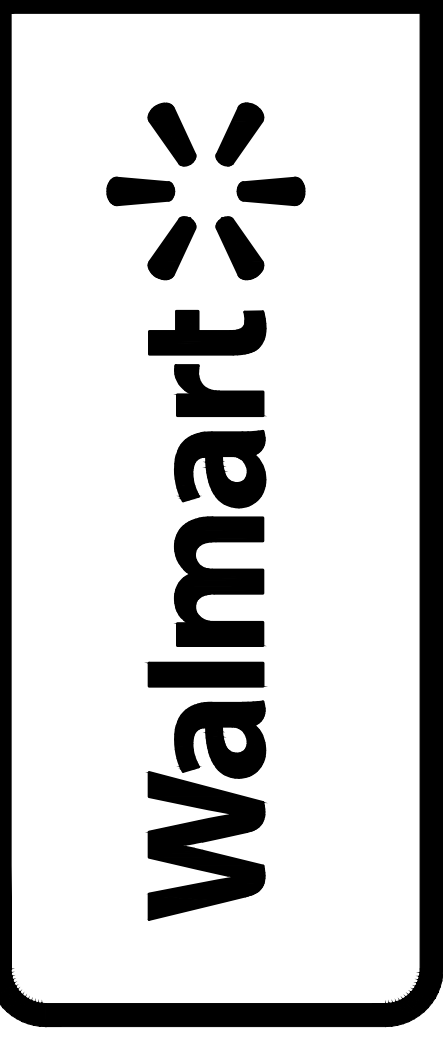


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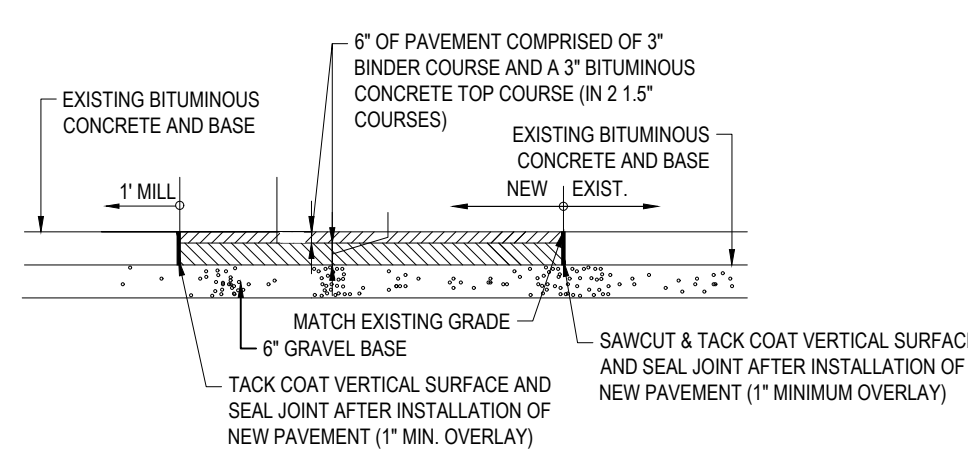
SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



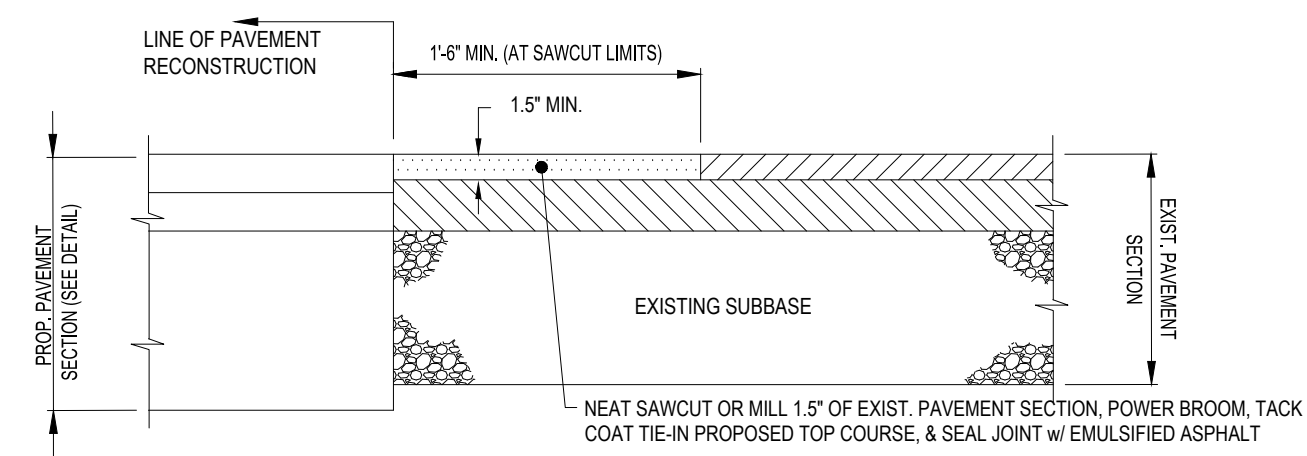
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CHECKED: JUC/SB  
DATE: 08/29/2023  
SCALE: AS NOTED  
JOB No: MAA230031.00  
SHEET: **SECP/SSM**  
**DETAILS**

# SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

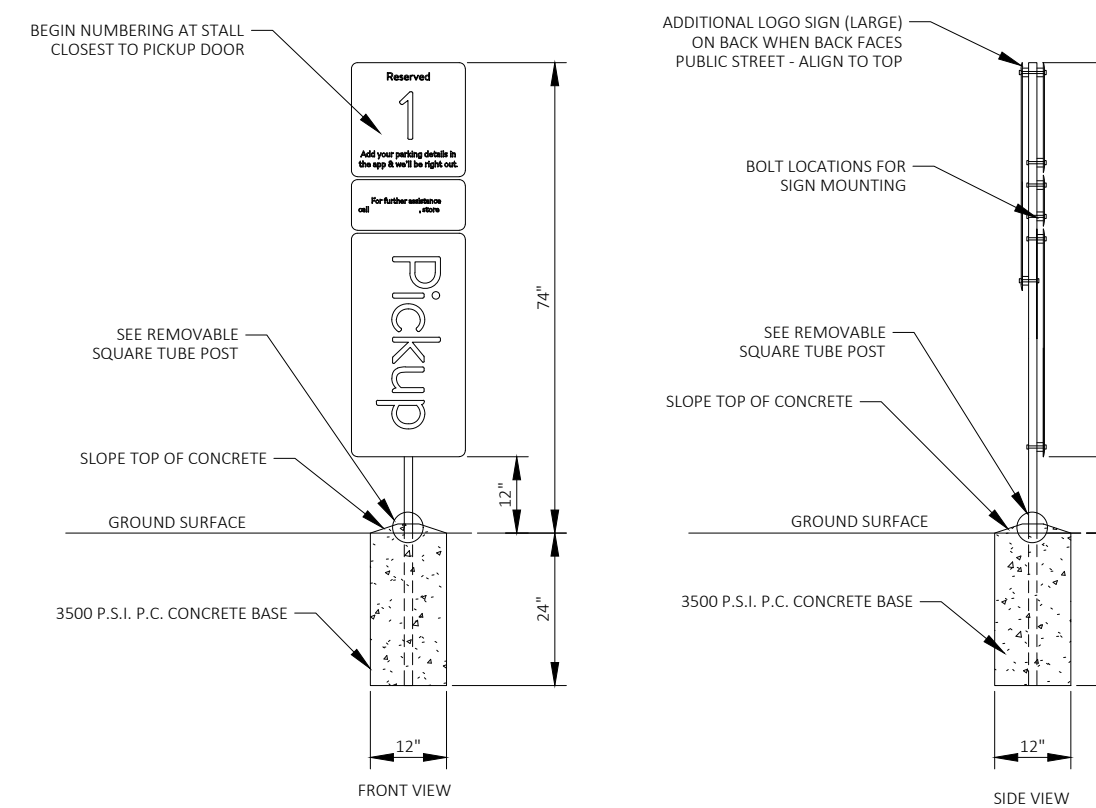




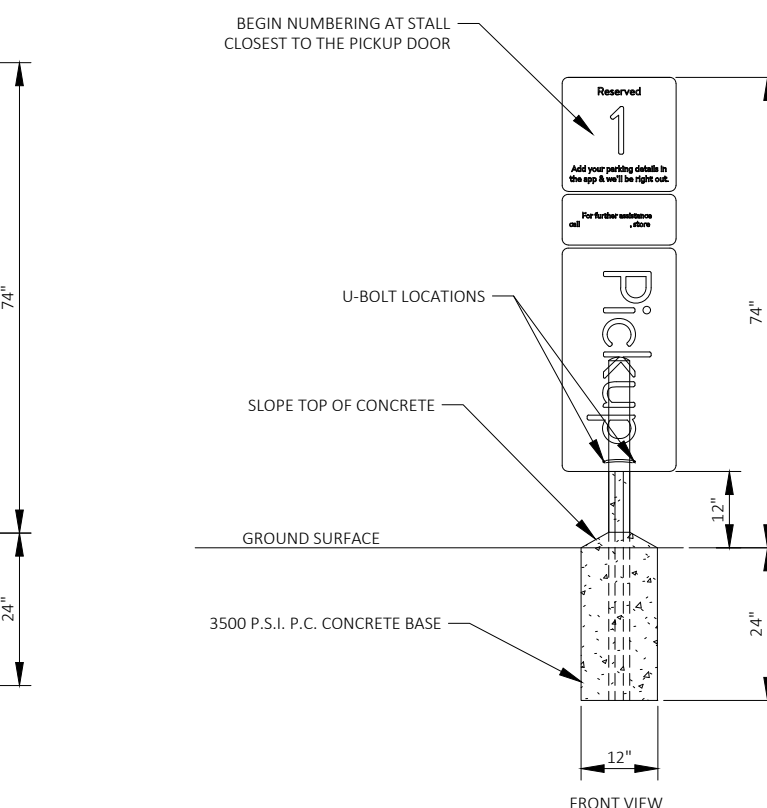
**1 DRIVEWAY PATCHING**  
N.T.S.



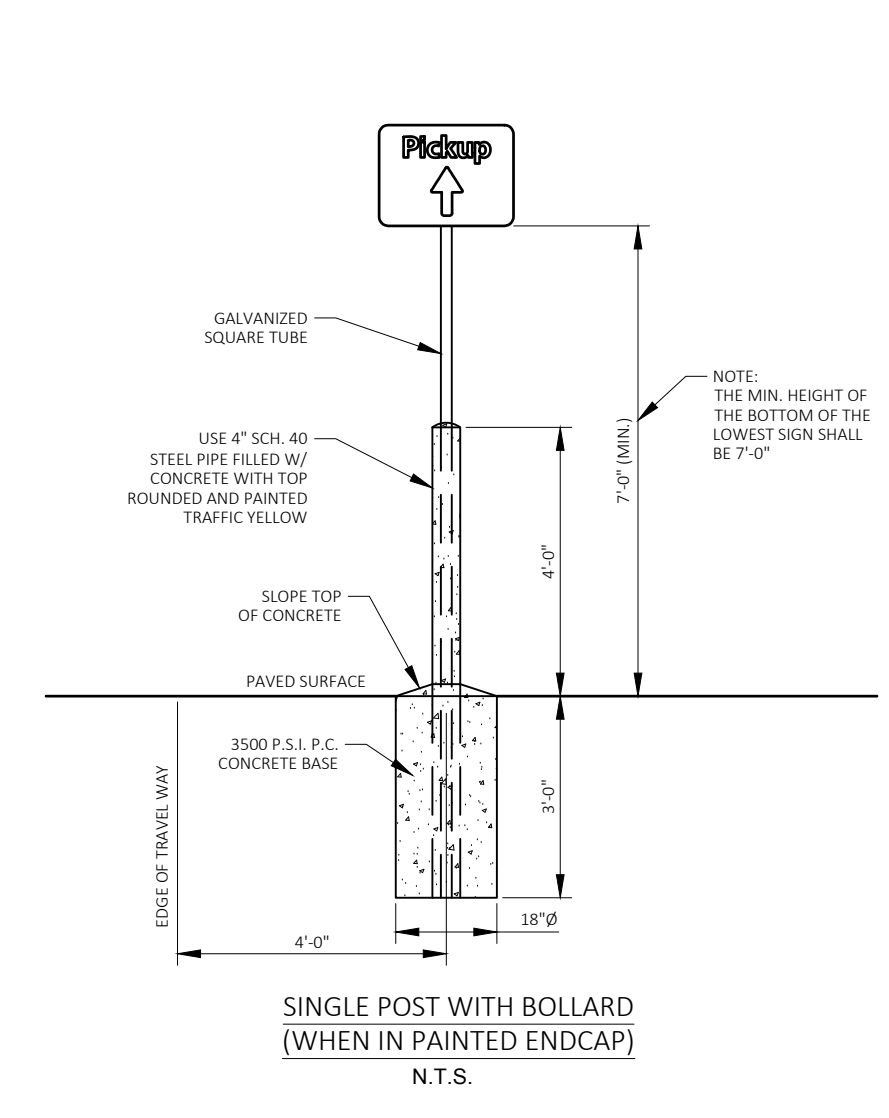
**2 PAVEMENT MILLING BITUMINOUS CONCRETE PAVEMENT TIE-IN**  
N.T.S.



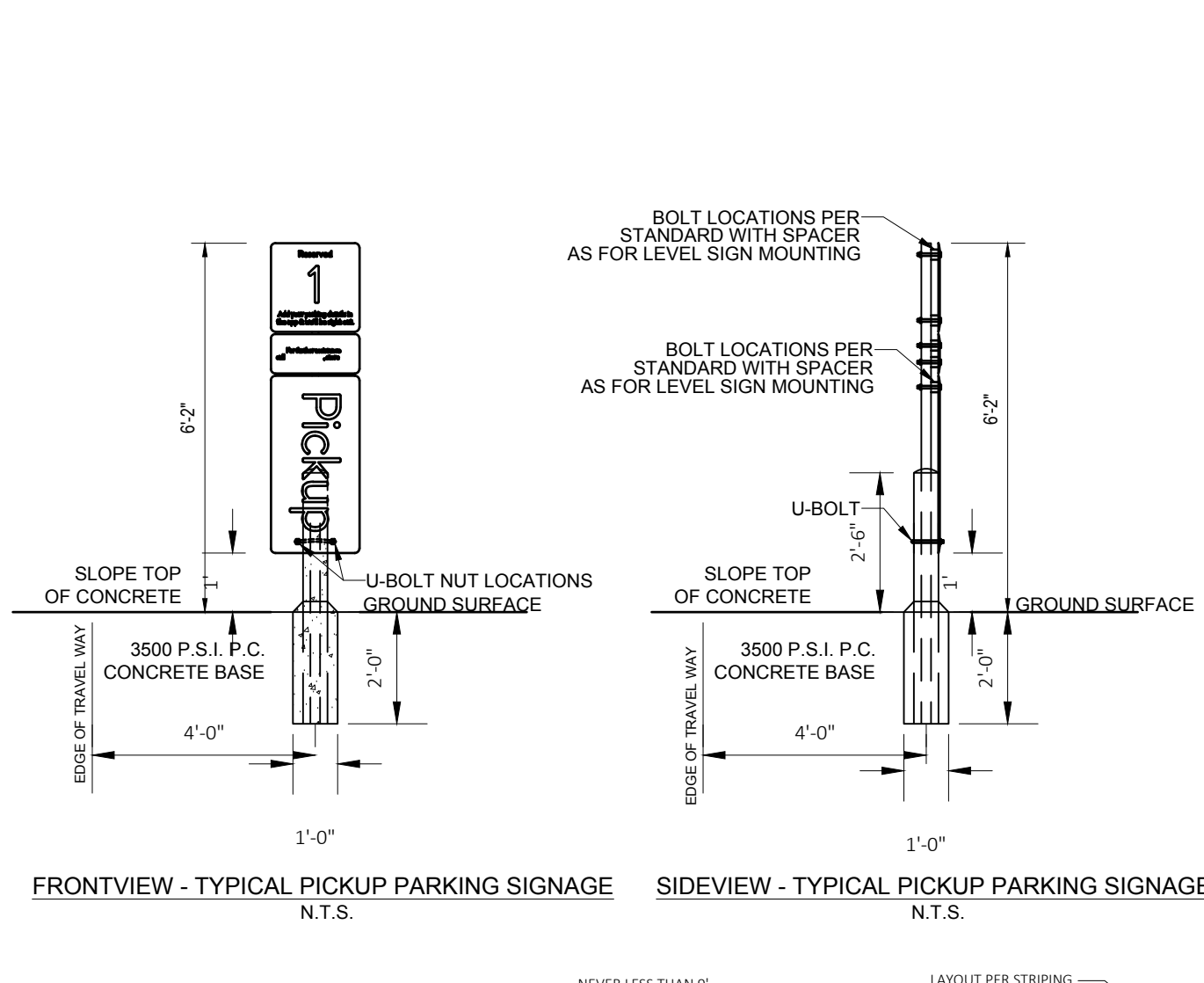
**TYPICAL PARKING SIGNAGE IN CURBED ISLAND**



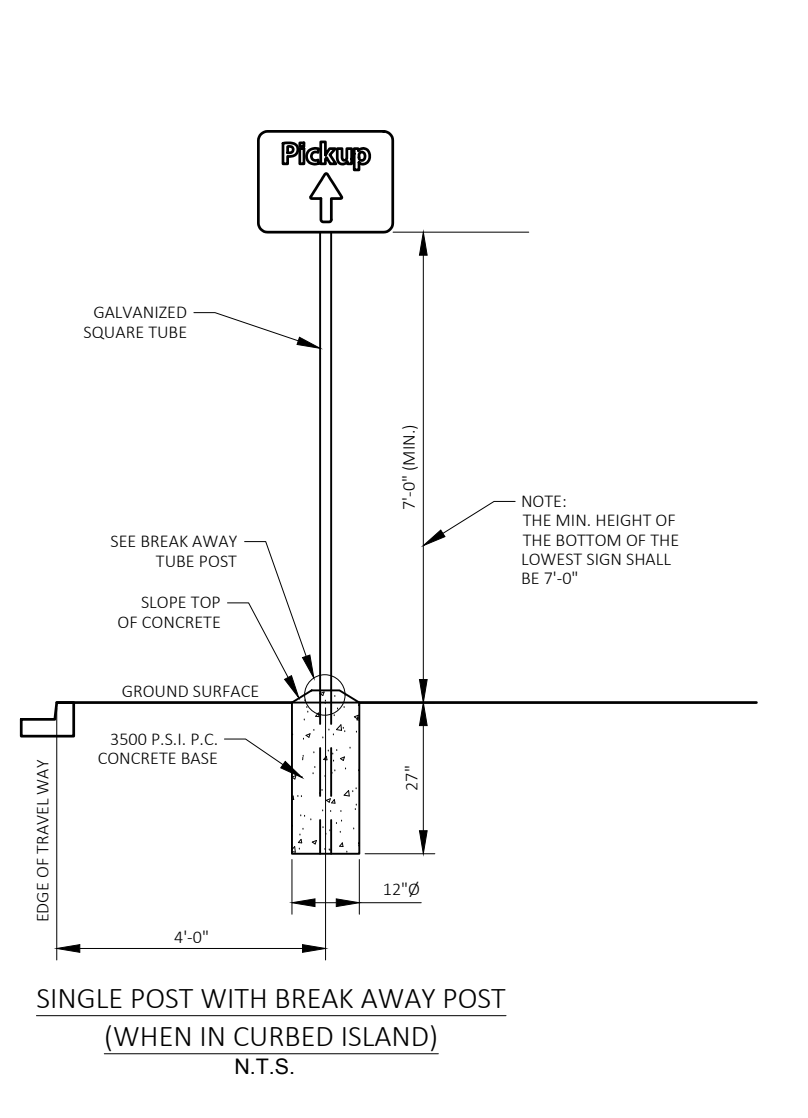
**TYPICAL PARKING SIGNAGE IN PAVEMENT**



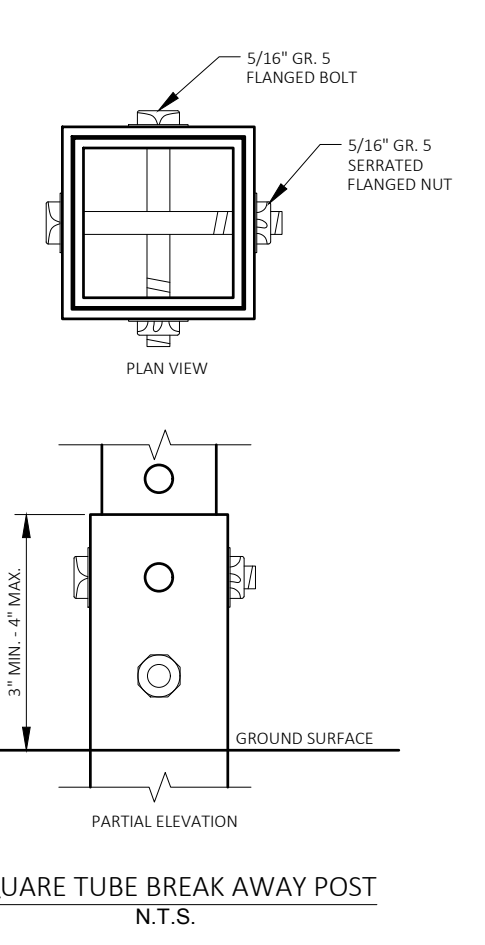
**SINGLE POST WITH BOLLARD (WHEN IN PAINTED ENDCAP)**  
N.T.S.



**FRONTVIEW - TYPICAL PICKUP PARKING SIGNAGE**  
**SIDEVIEW - TYPICAL PICKUP PARKING SIGNAGE**  
N.T.S.



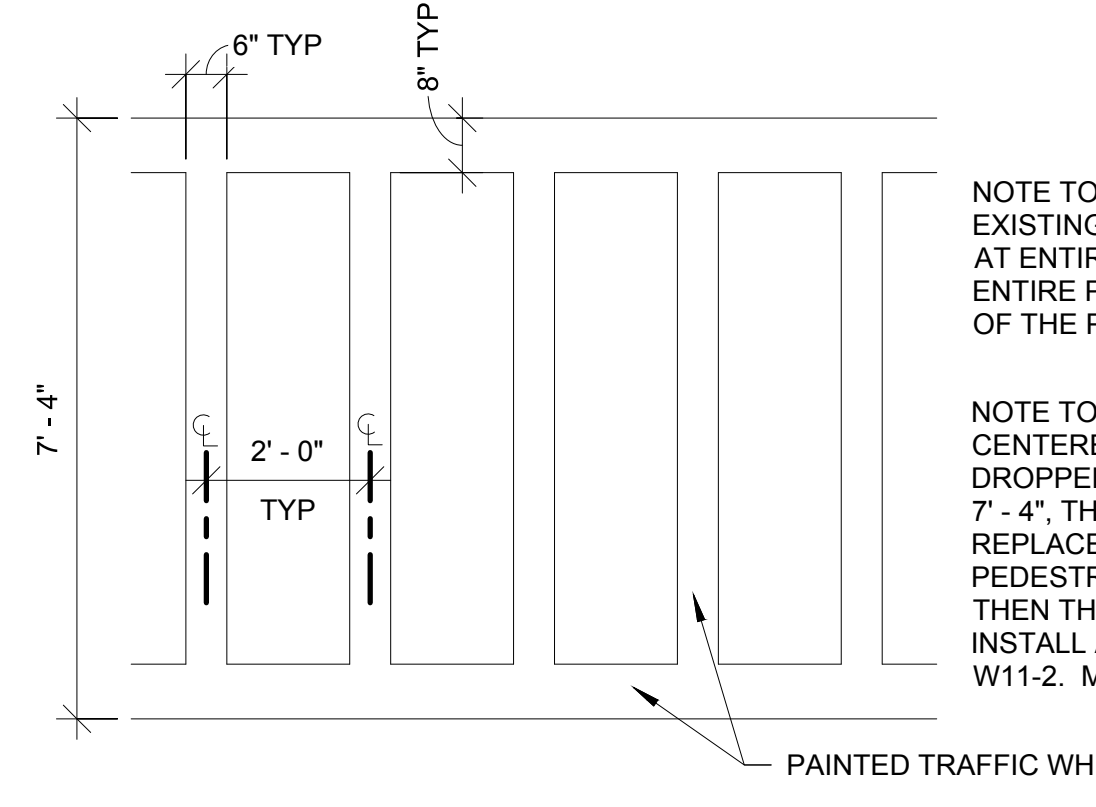
**SINGLE POST WITH BREAK AWAY POST (WHEN IN CURBED ISLAND)**  
N.T.S.



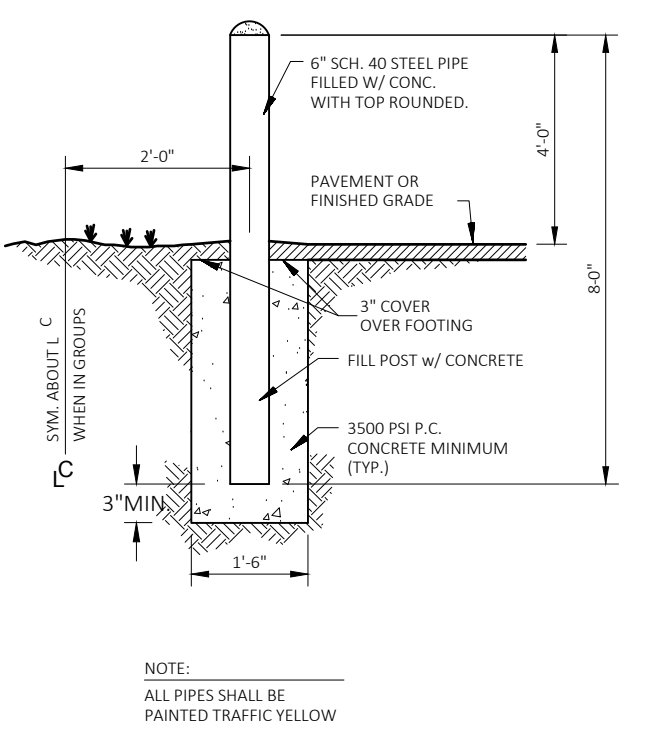
**SQUARE TUBE BREAK AWAY POST**  
N.T.S.

**3 PICKUP PARKING SIGN MOUNTING AND BASE**  
N.T.S.

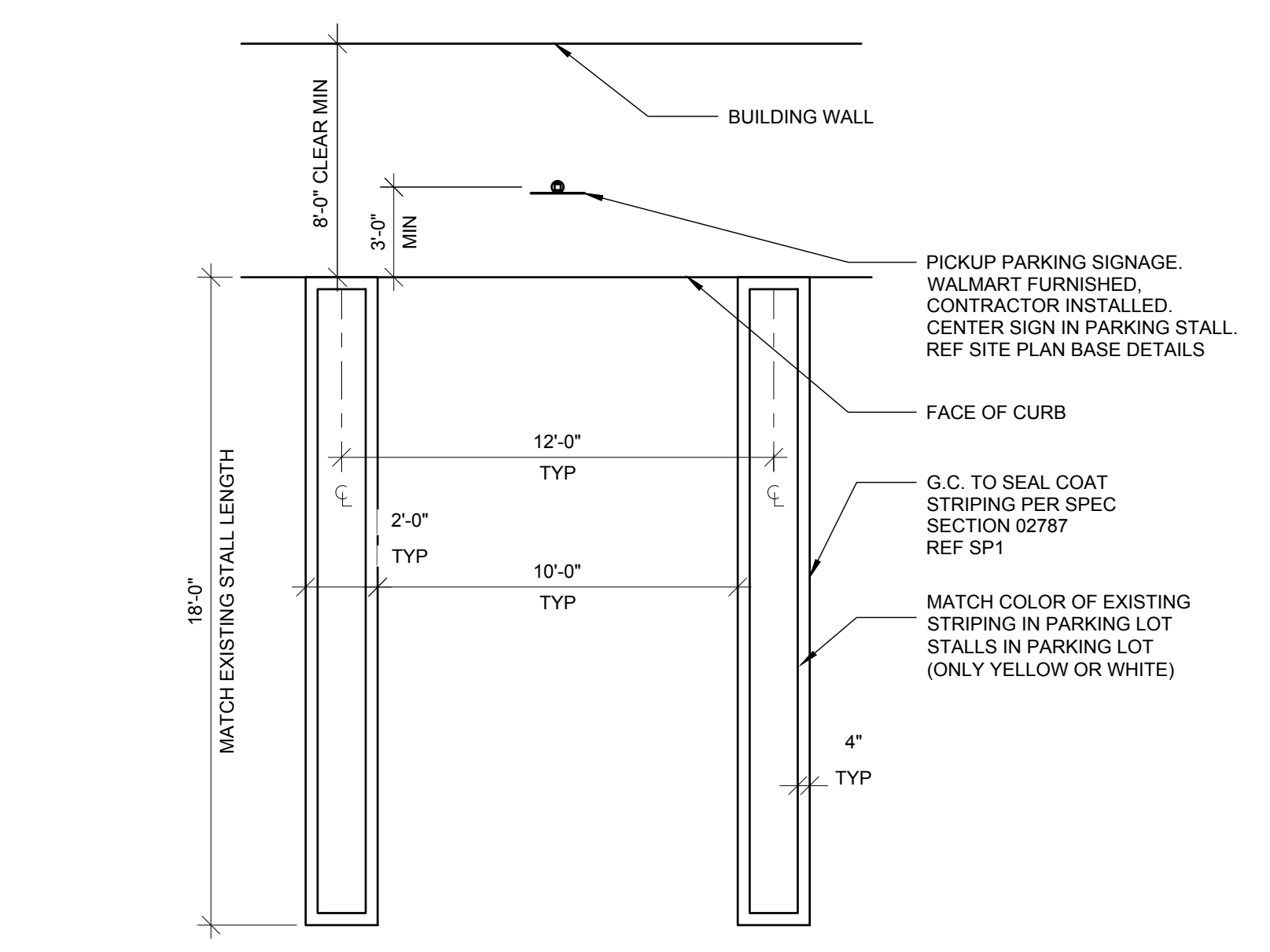
**4 SIGNAGE DIRECTIONAL SIGN MOUNTING AND BASE**  
N.T.S.



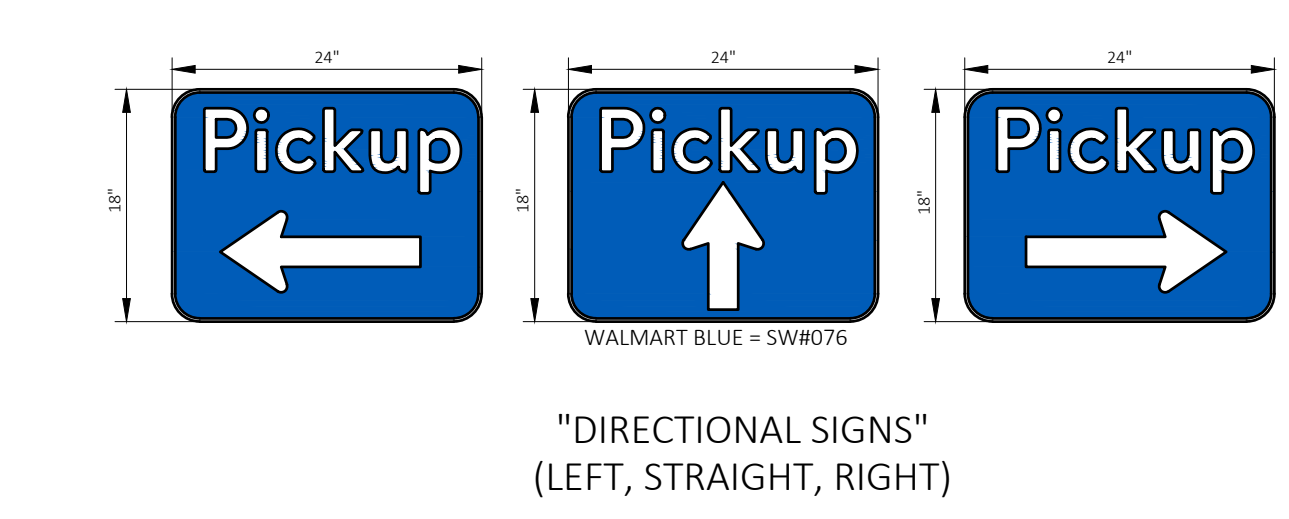
**5 CROSSWALK DETAIL**  
N.T.S.



**6 PIPE BOLLARD DETAIL**  
N.T.S.



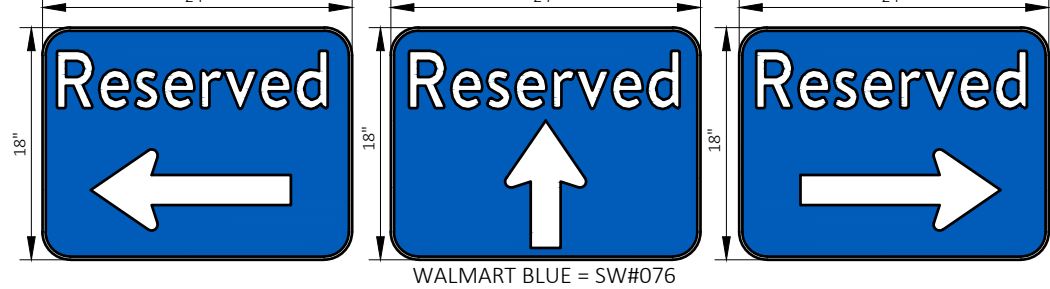
**PICKUP PARKING SIGNAGE MOUNTING**  
N.T.S.



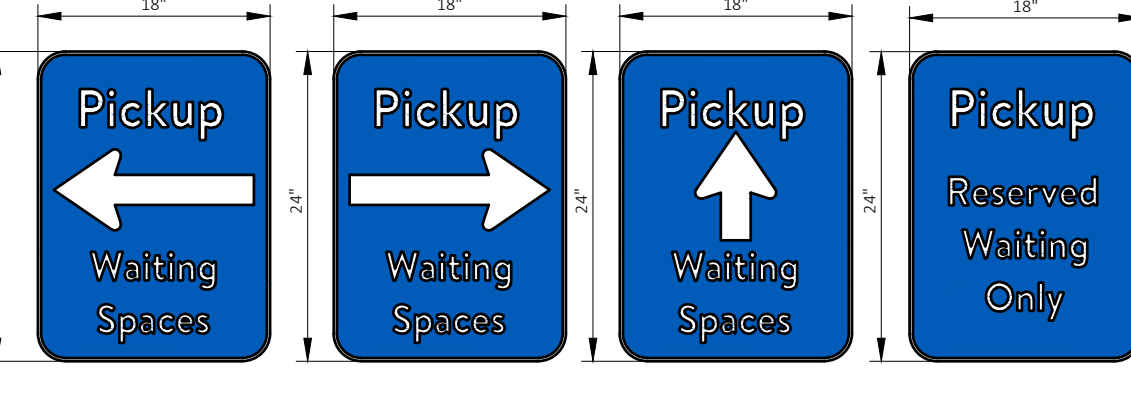
**"DIRECTIONAL SIGNS" (LEFT, STRAIGHT, RIGHT)**  
N.T.S.



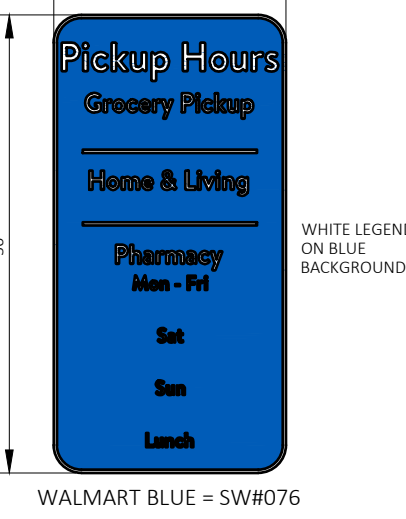
**"LOGO SIGN" (LARGE)**  
N.T.S.



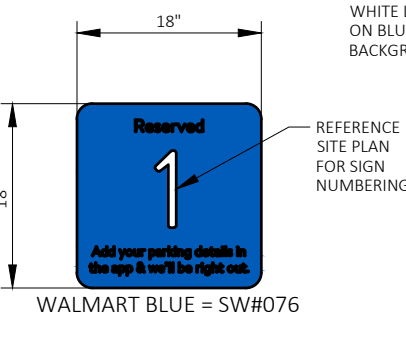
**"DIRECTIONAL RESERVED SIGNS" (LEFT, STRAIGHT, RIGHT)**  
N.T.S.



**"PICKUP" SIGNAGE**  
N.T.S.



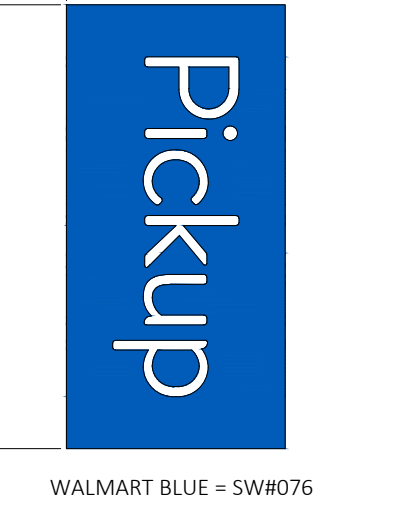
**"INFORMATIONAL SIGN"**  
N.T.S.



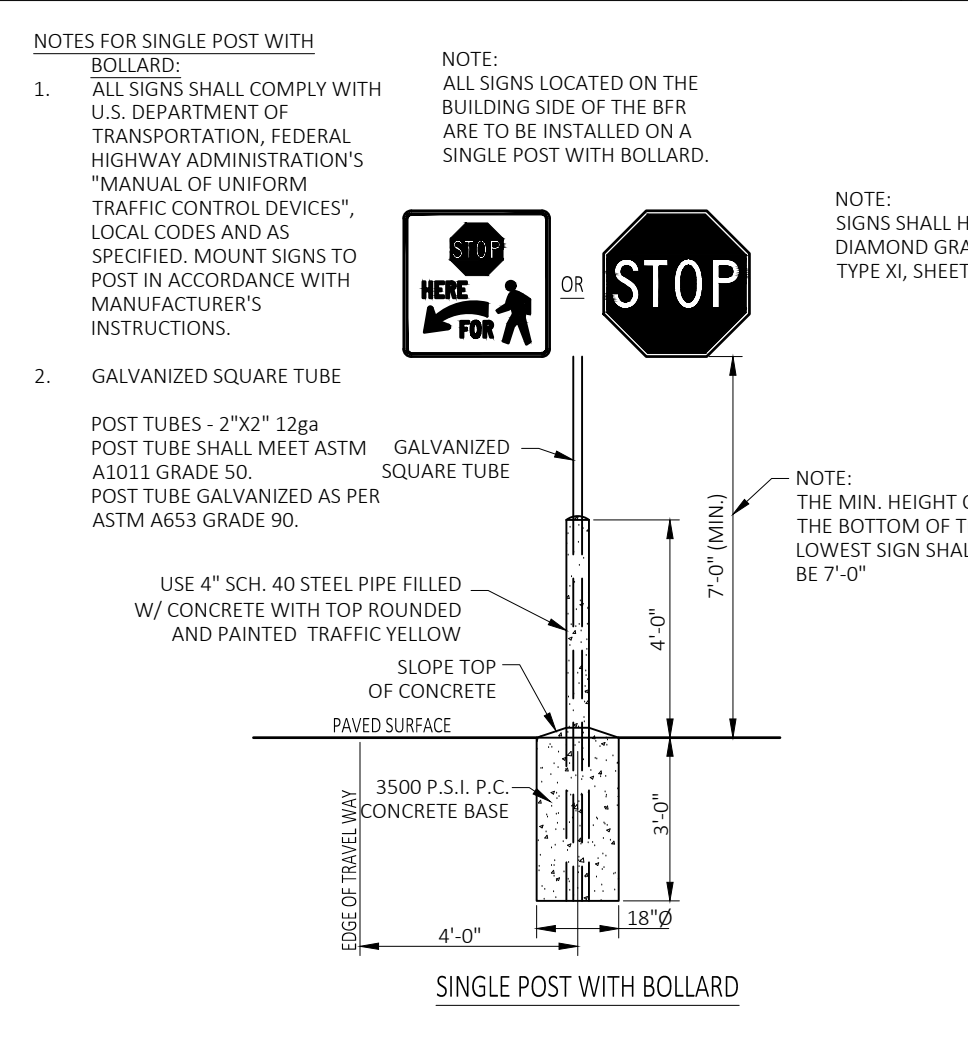
**"STALL DESIGNATION SIGN"**  
N.T.S.



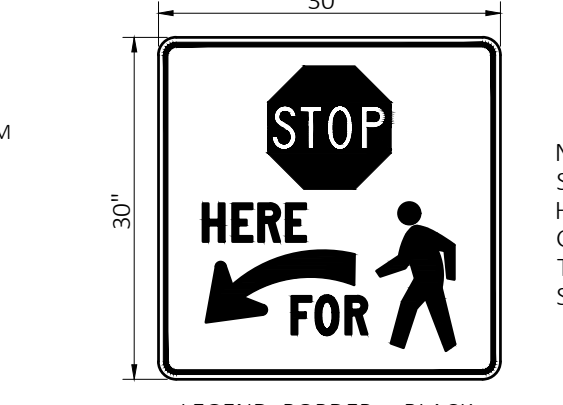
**"LOGO SIGN" (SMALL)**  
N.T.S.



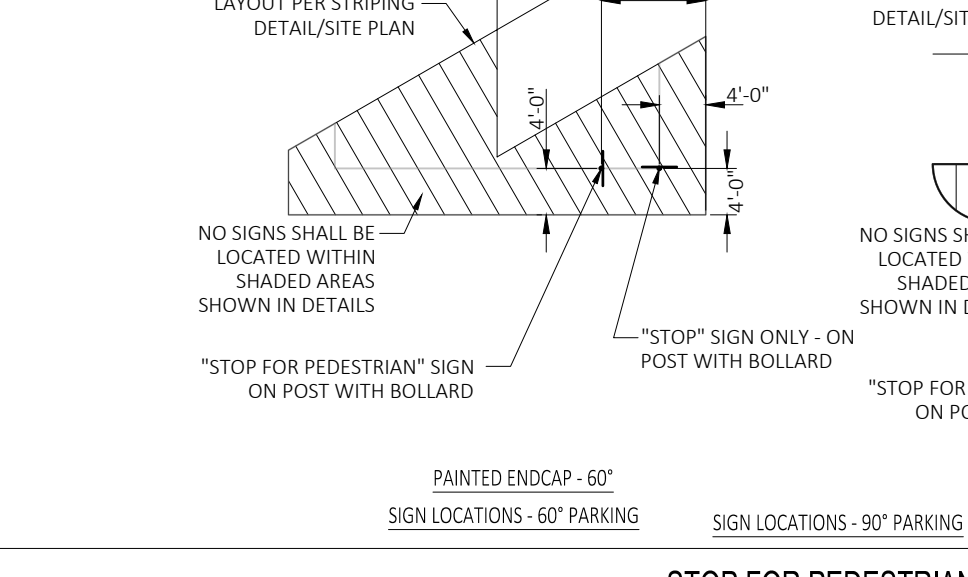
**"PICKUP BANNER"**  
N.T.S.



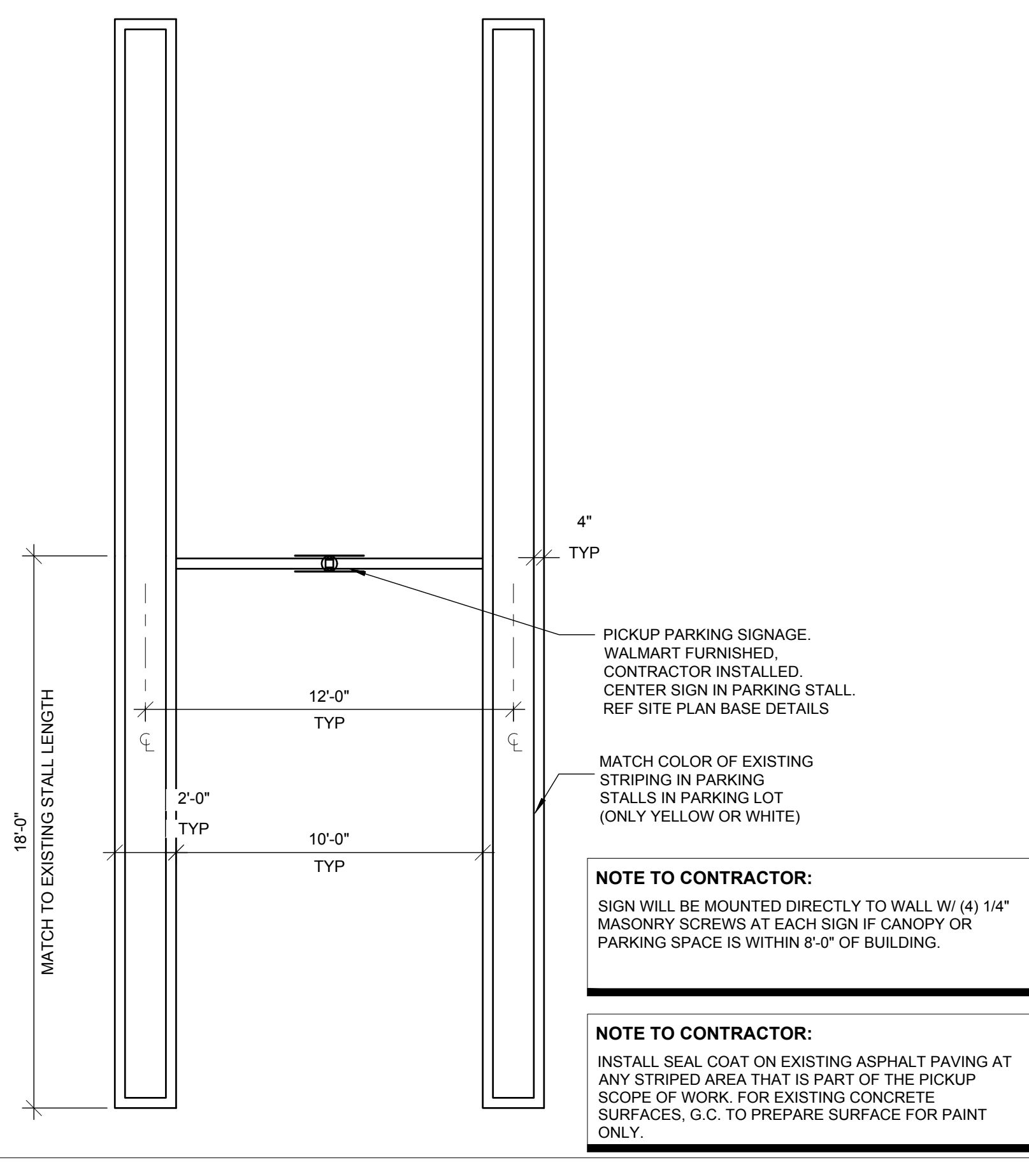
**SINGLE POST WITH BOLLARD**  
N.T.S.



**STOP FOR PEDESTRIANS**  
N.T.S.



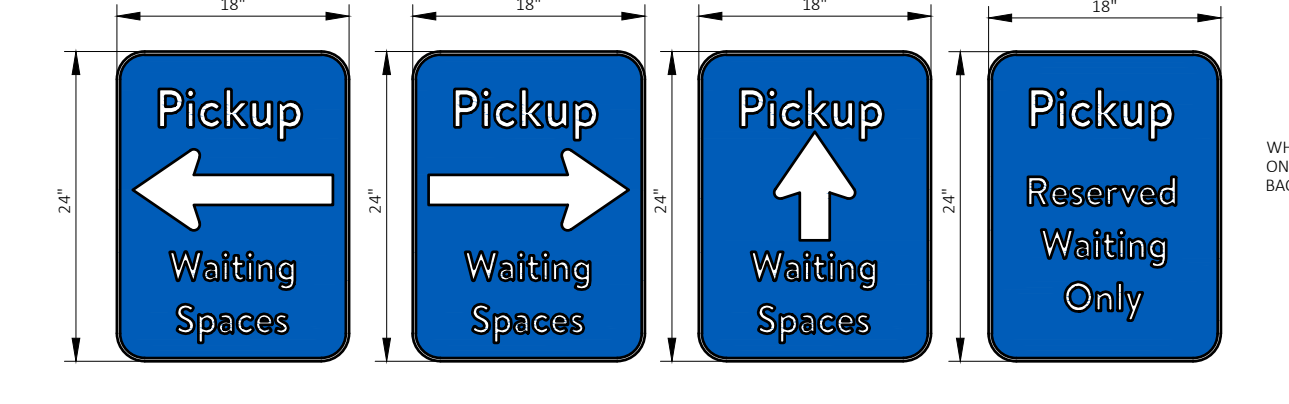
**STOP FOR PEDESTRIANS SIGN & SIGN MOUNTING/BASE DETAIL**  
N.T.S.



**PICKUP PARKING STALL DETAIL (PROTO WIDTH = 12')**  
N.T.S.



**"DIRECTIONAL RESERVED SIGNS" (LEFT, STRAIGHT, RIGHT)**  
N.T.S.



**"PICKUP" SIGNAGE**  
N.T.S.

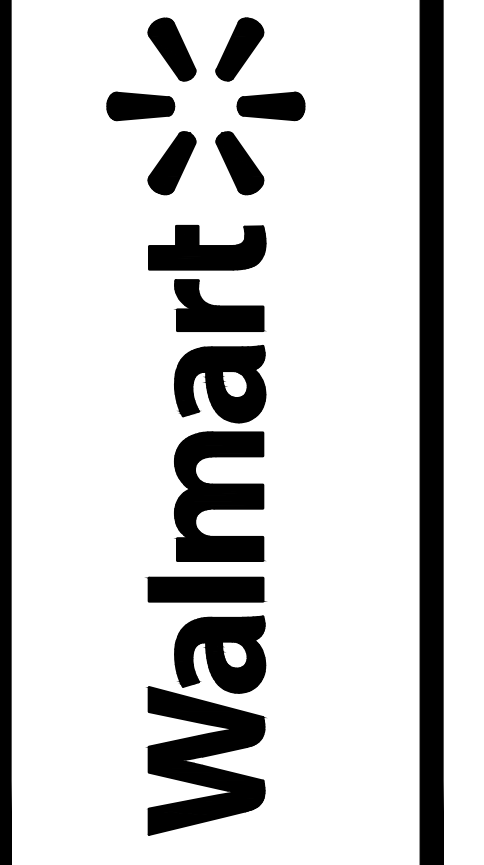
**SIGNAGE MOUNTED TO BUILDING OR POST**  
N.T.S.

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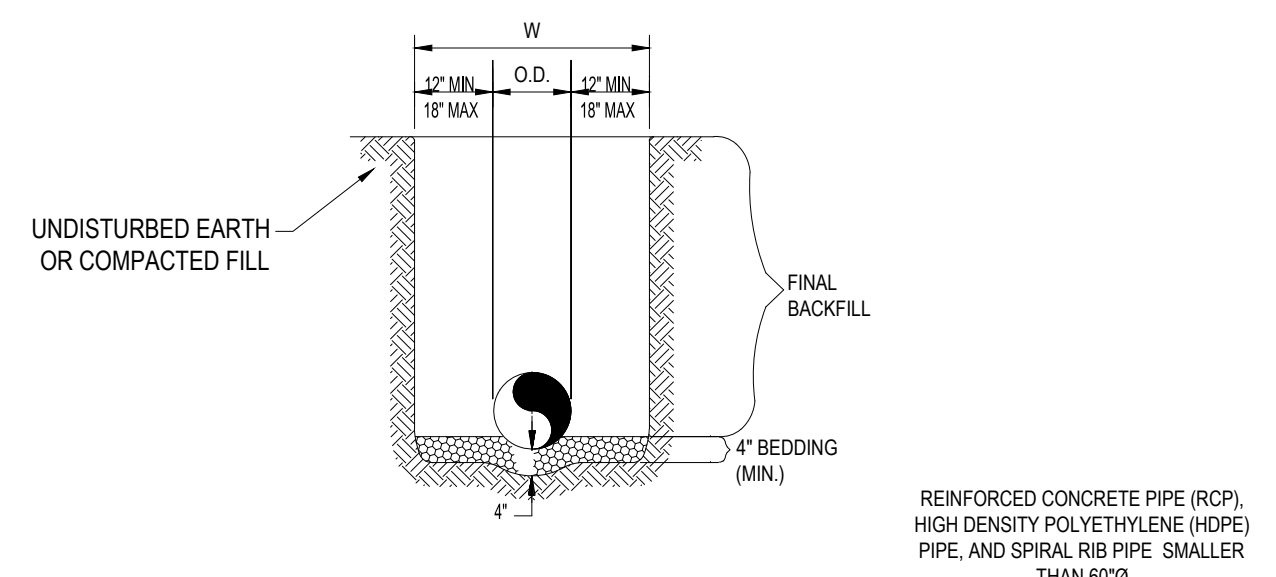


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CHECKED	JUC/GB
DATE	08/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

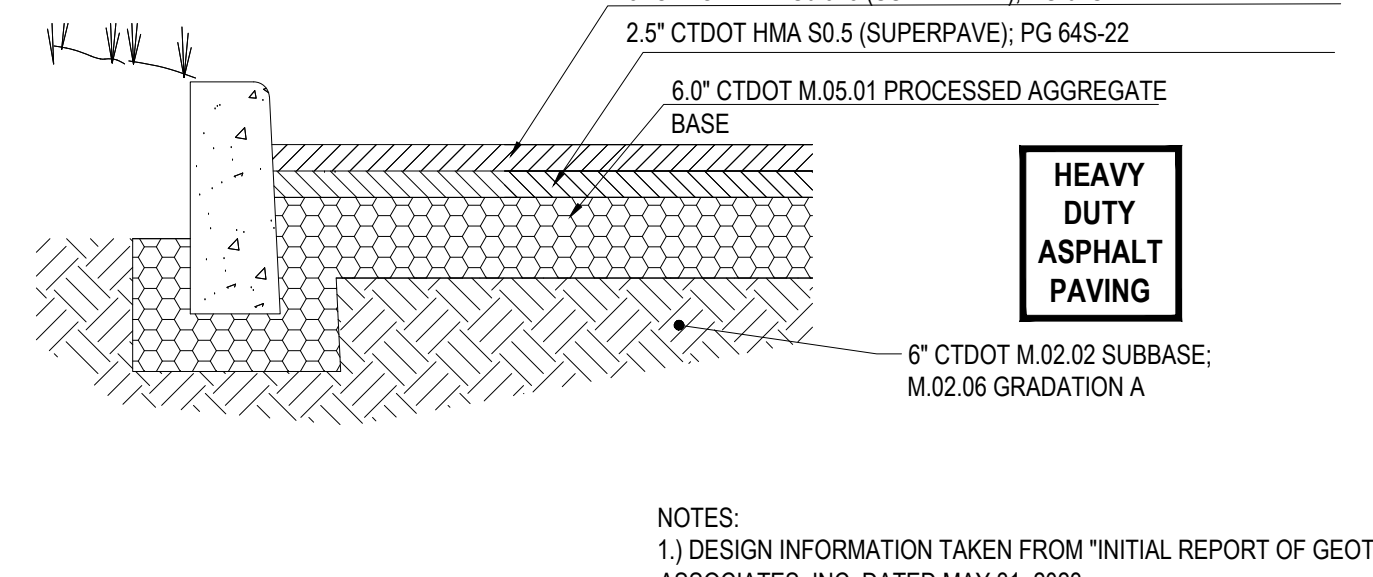
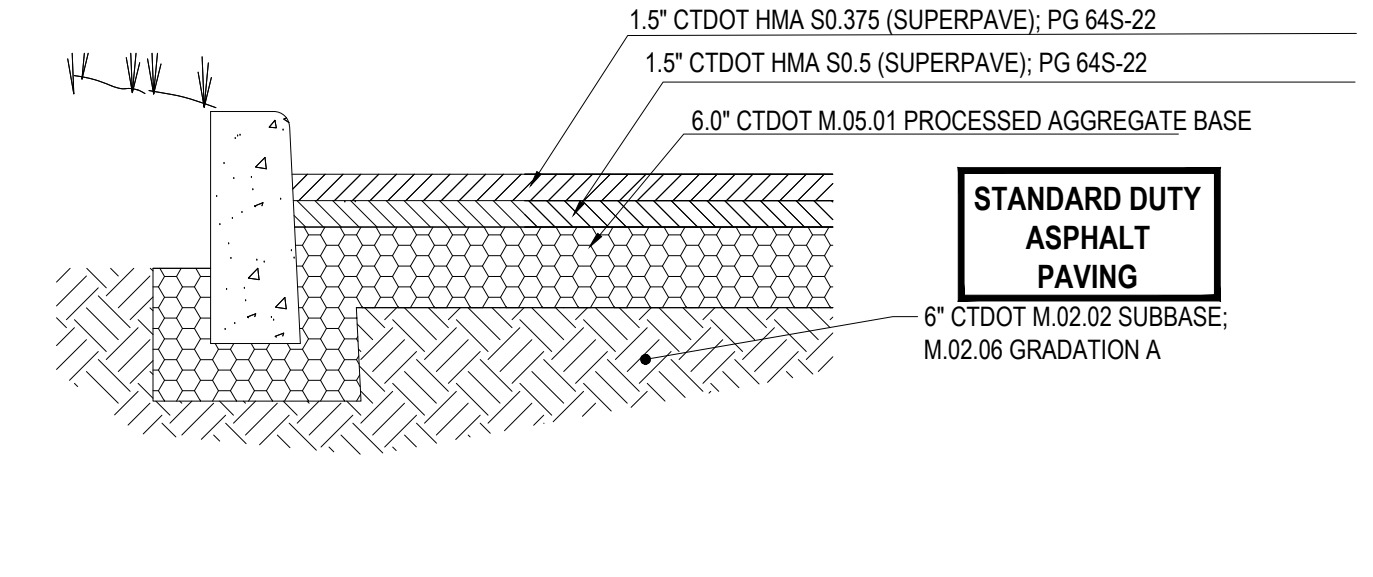
**DTL-1**

**DETAIL SHEET**

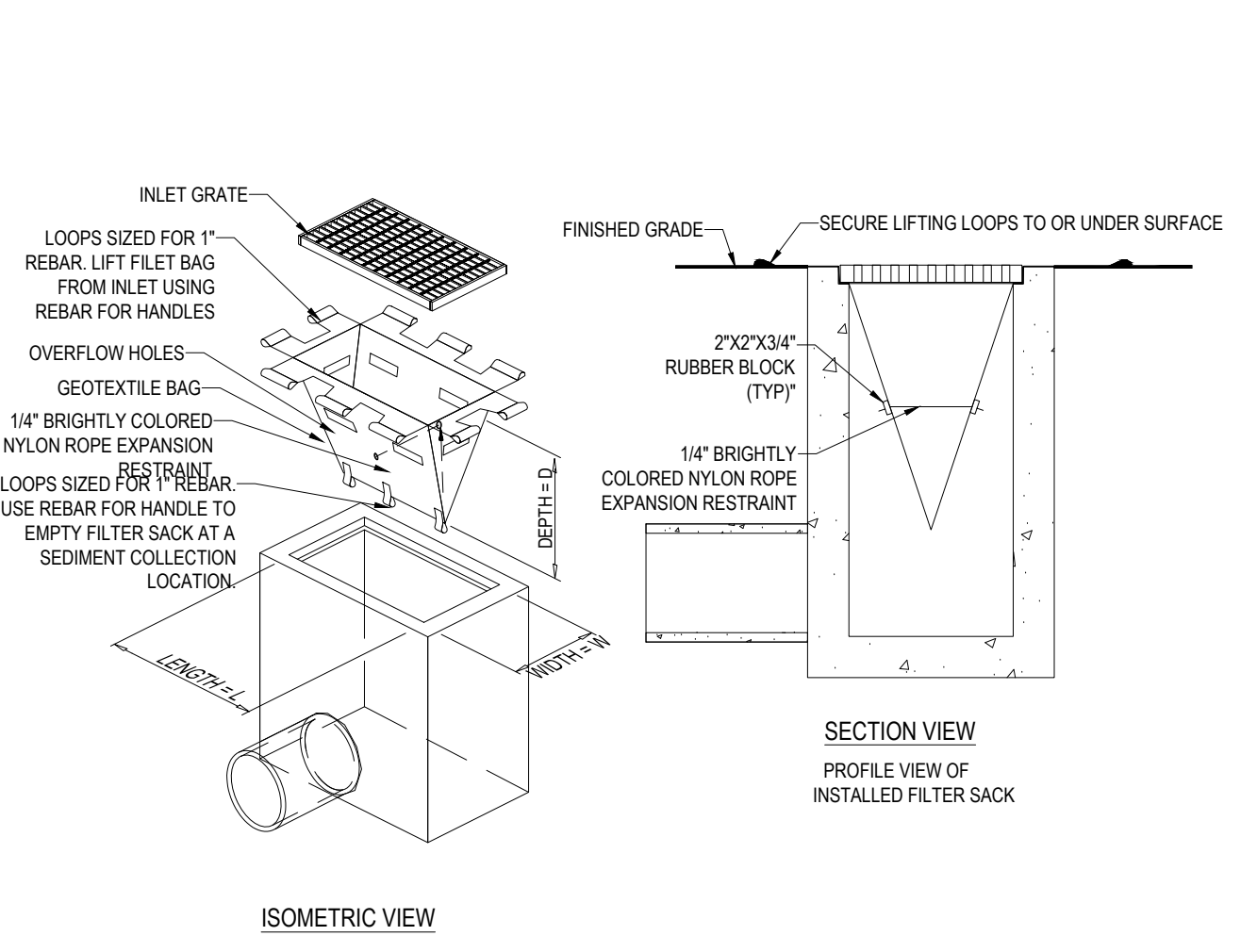




- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I/A WORKED BY HAND IF GROUNDWATER IS ANTICIPATED. THEN BEDDING SHALL BE CLASS I/B COMPACTED TO 85% STANDARD PROCTOR.
  2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE Voids. AND SHALL BE CLASS I/A OR CLASS I/B OR CLASS II COMPACTED TO 85% PROCTOR.
  3. INITIAL BACKFILL SHALL BE CLASS I/A WORKED BY HAND, OR CLASS I/B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
  4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II, OR CLASS III COMPACTED TO 90% STANDARD PROCTOR.
  5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
  6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I/A COMPACTED TO 90% STANDARD PROCTOR.
  7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
  8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND I/A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
  9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
  10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



- NOTES:**
1. DESIGN INFORMATION TAKEN FROM "INITIAL REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITESTONE ASSOCIATES, INC. DATED MAY 31, 2023.
  2. SUBGRADE COMPACTED TO MIN. 95% OF MODIFIED PROCTOR MAXIMUM LABORATORY DENSITY



**LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE**

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPEARANT OPENING SIZE	ASTM D-4491	40 GAL/MIN/50 FT
FLOW RATE	ASTM D-4491	0.55 SEC
PERMEABILITY	ASTM D-4491	1.5 SEC

**MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE**

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
ELONGATION	ASTM D-4632	10%
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	80%
APPEARANT OPENING SIZE	ASTM D-4491	20 LBS SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMEABILITY	ASTM D-4491	1.5 SEC

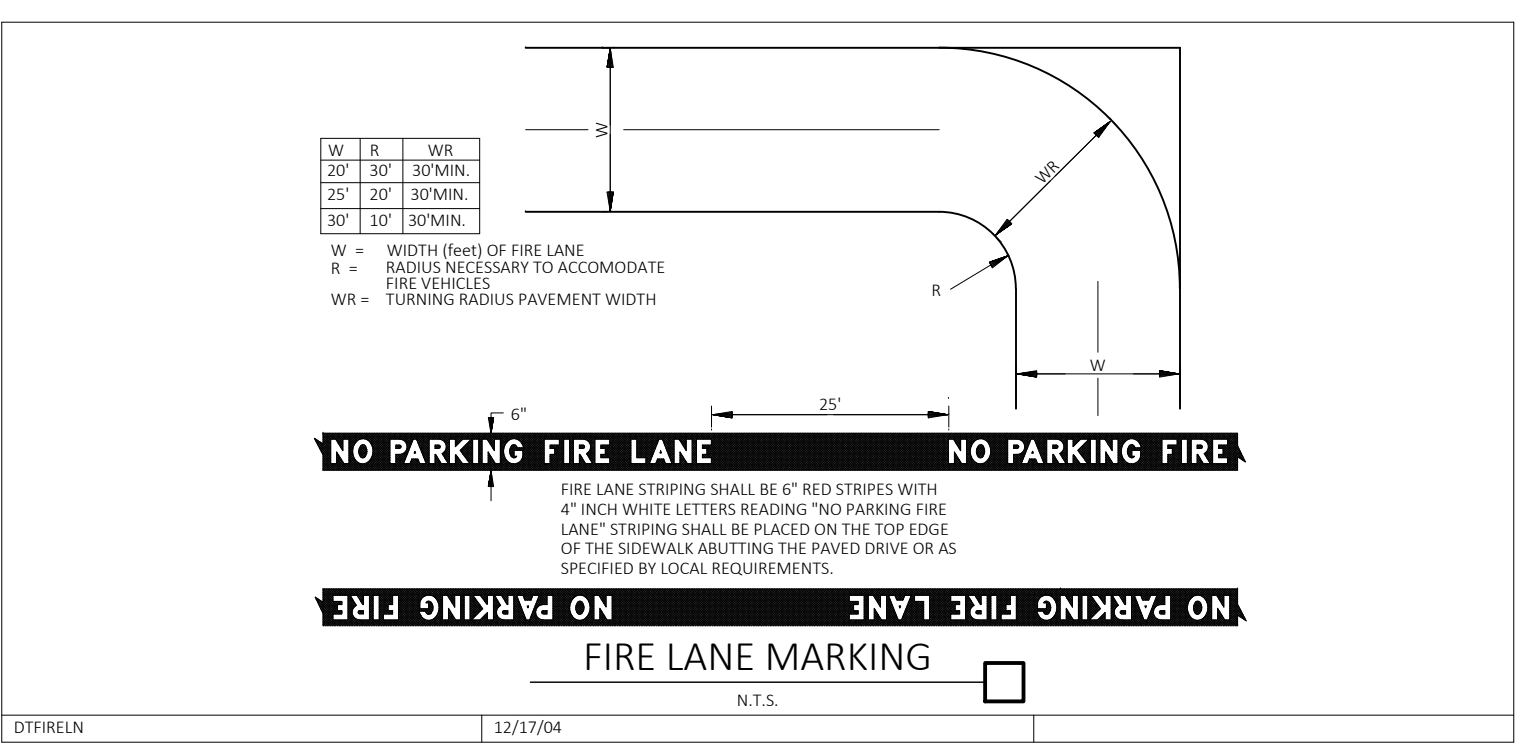
**NOTE:**  
DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 10 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

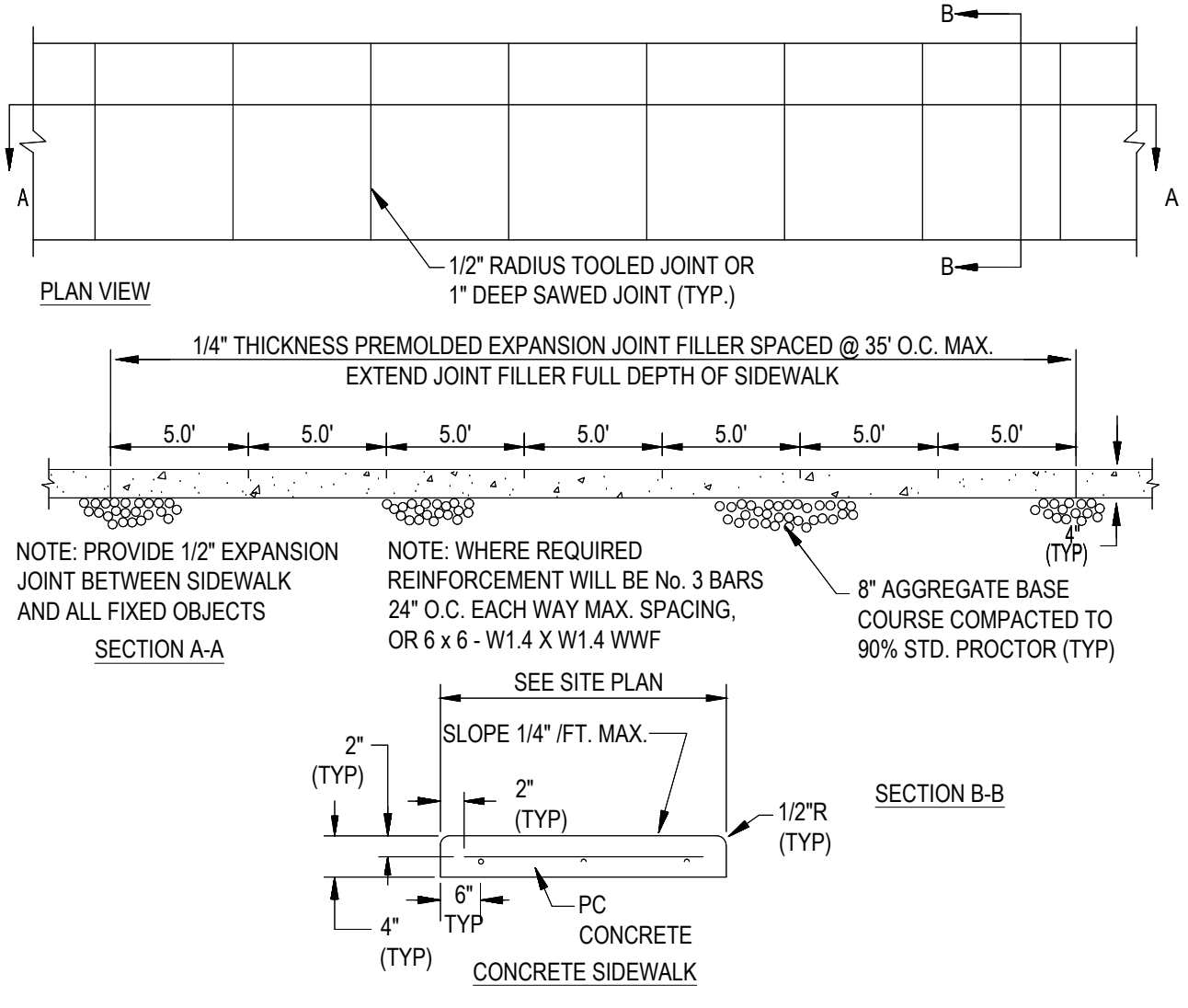
**10 STORM SEWER TRENCH AND BEDDING**  
N.T.S.

**11 PAVING DETAILS**  
N.T.S.

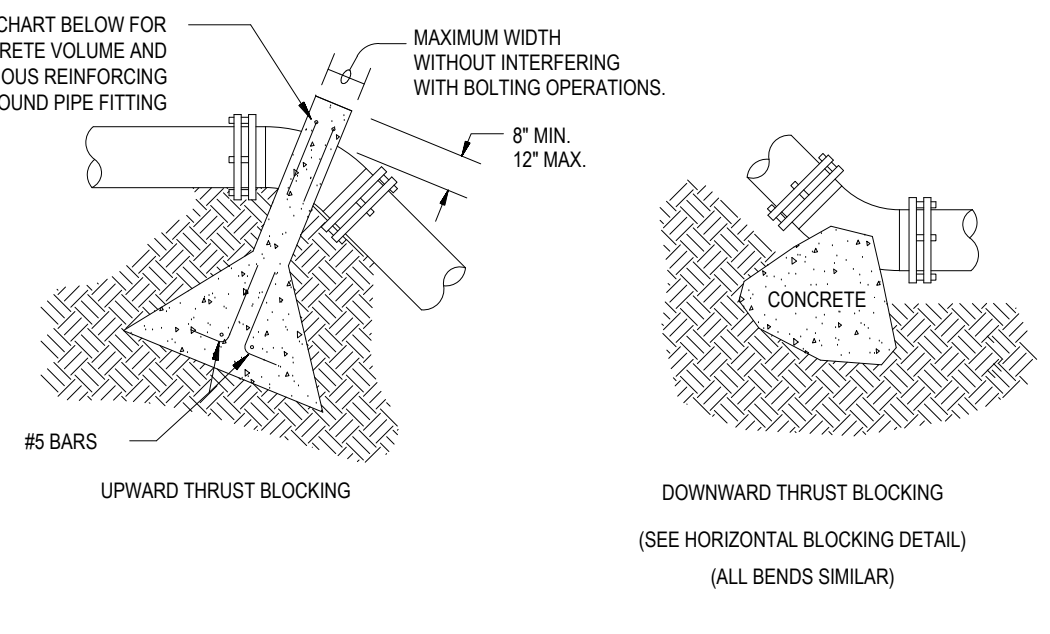
**12 FILTER SACS (GRADED INLETS) DETAIL**  
N.T.S.



**13 FIRE LANE MARKING DETAIL**  
N.T.S.



**14 CONCRETE SIDEWALK DETAIL**  
N.T.S.

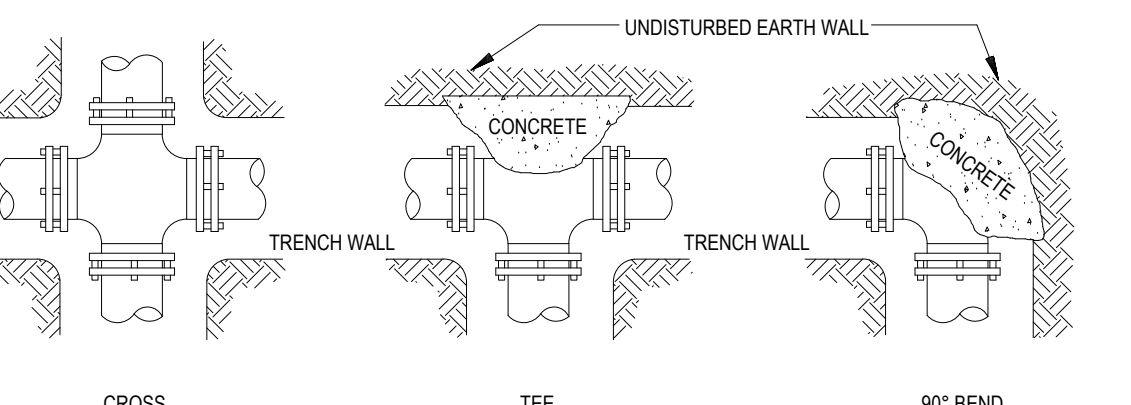


**UPWARD THRUST BLOCKING**  
(REQUIRED REINFORCING BARS & CUBIC YARDS OF P.C. CONCRETE)

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	CONC.	REINF.	CONC.	REINF.	CONC.	REINF.	CONC.	REINF.
6"	1.5	3	1.5	3	1.25	2	1.25	2
8"	2	3	2	3	1.5	2	1.5	2
10"	2.5	3	2.5	3	2	3	2	3
12"	3	3	3	3	2.5	3	2.5	3

- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
  2. WRAP ALL FITTINGS WITH VEGREEN
  3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH
  4. BACKING TABLES: THE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
  5. ALL BENDS WHERE THE EXTENSIONS ARE BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
  6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 P.S.F. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY ENGINEERS.
  7. ALL CONCRETE SHALL BE 2500 P.S.I.
  8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

**15 VERTICAL THRUST BLOCKING**  
N.T.S.

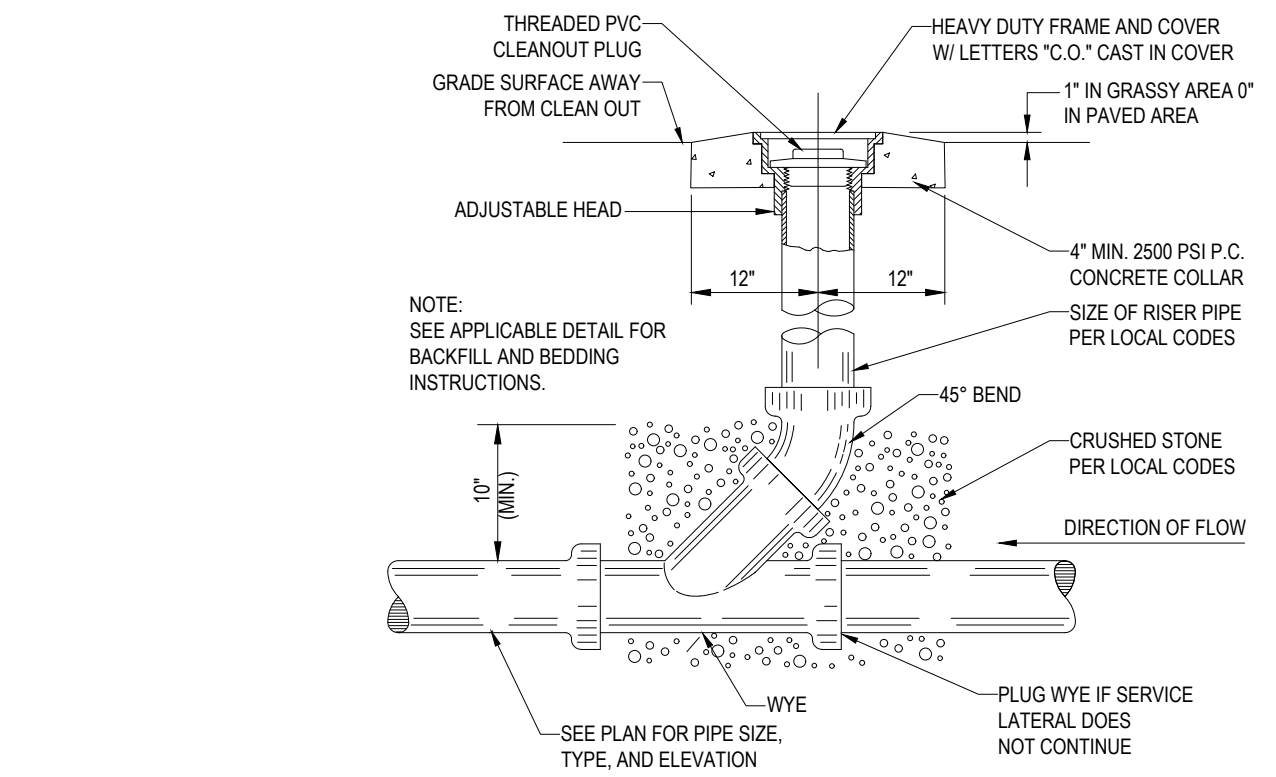


**HORIZONTAL THRUST BLOCKING**  
(BLOCKING HEIGHT GREATER THAN PIPE D.O.D. (BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT))

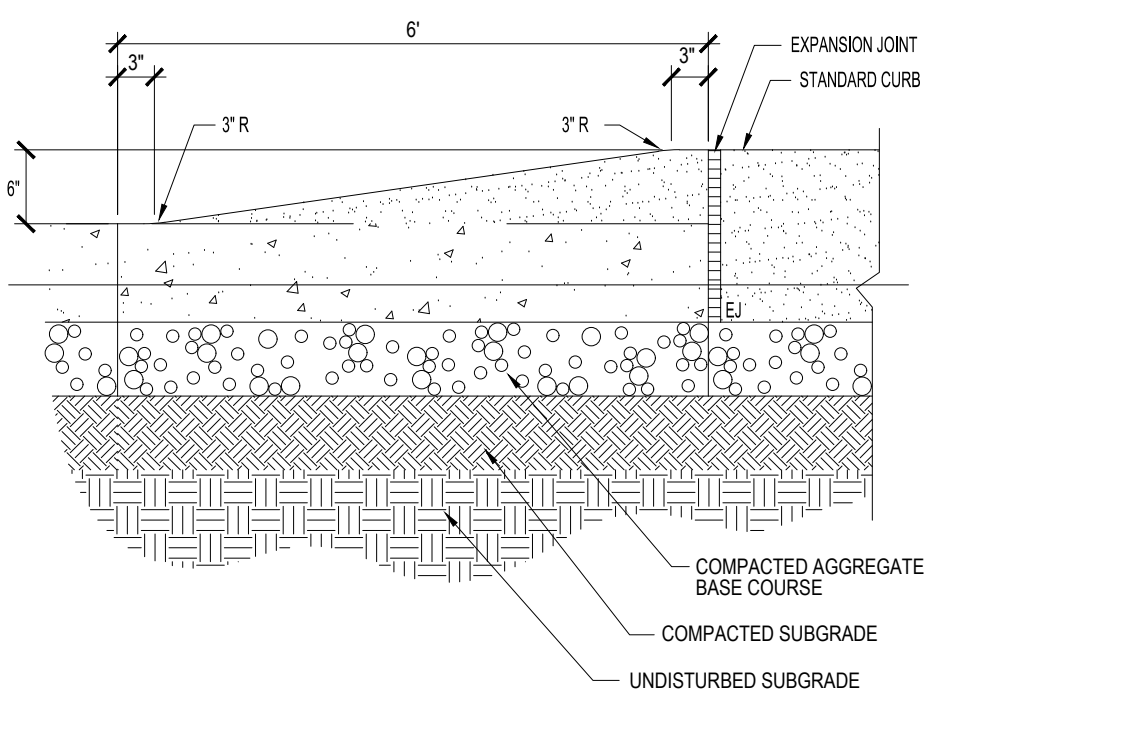
PIPE SIZE	TEE		90° BEND	
	PLUG	PLUG	PLUG	PLUG
3"	1.0	1.0	1.0	1.0
4"	1.0	1.0	1.0	1.0
6"	1.5	2.0	1.0	1.0
8"	2.5	3.5	1.8	1.0
10"	4.0	5.5	2.8	1.5
12"	6.0	8.0	4.0	2.0

- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
  2. WRAP ALL FITTINGS WITH VEGREEN
  3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH
  4. BACKING TABLES: THE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
  5. ALL BENDS WHERE THE EXTENSIONS ARE BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
  6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 P.S.F. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY ENGINEERS.
  7. ALL CONCRETE SHALL BE 2500 P.S.I.
  8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

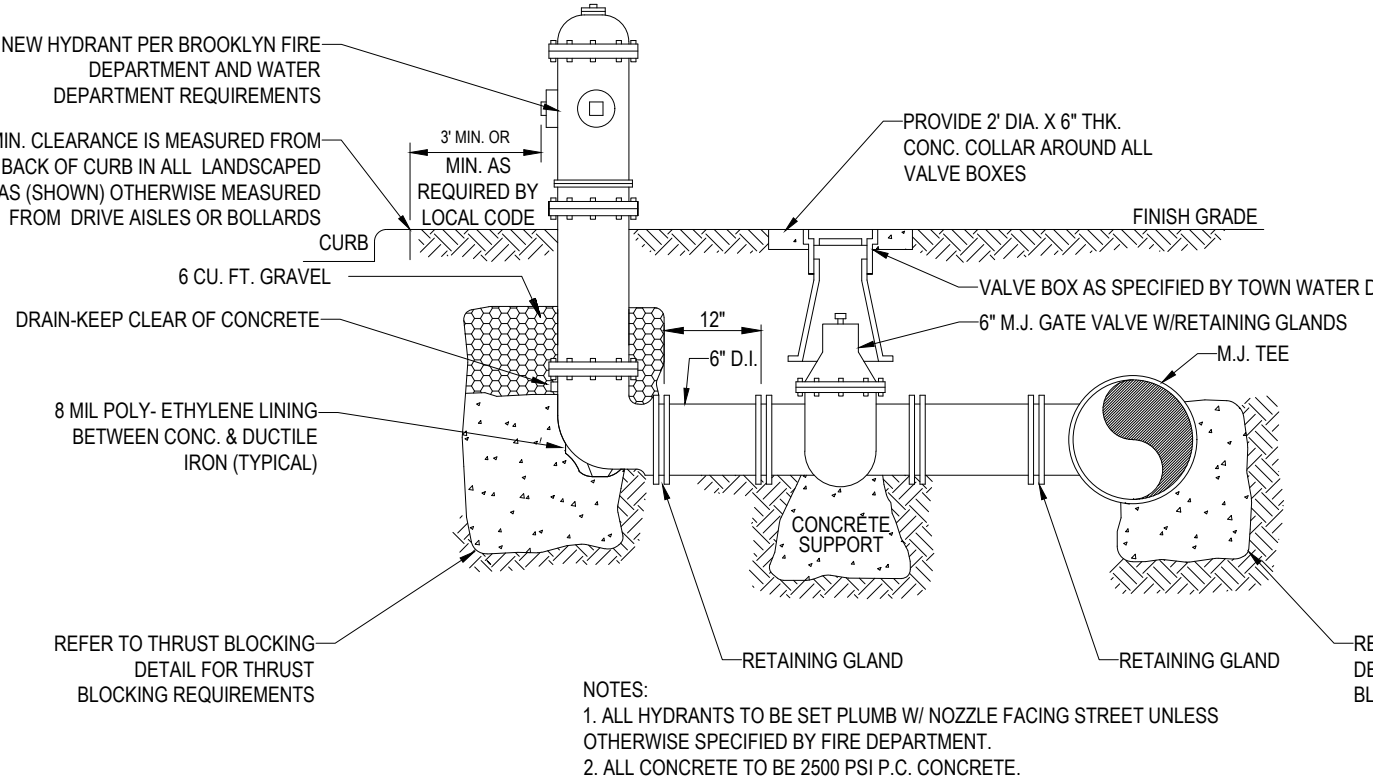
**16 HORIZONTAL THRUST BLOCKING**  
N.T.S.



**16 CLEANOUT DETAIL**  
N.T.S.

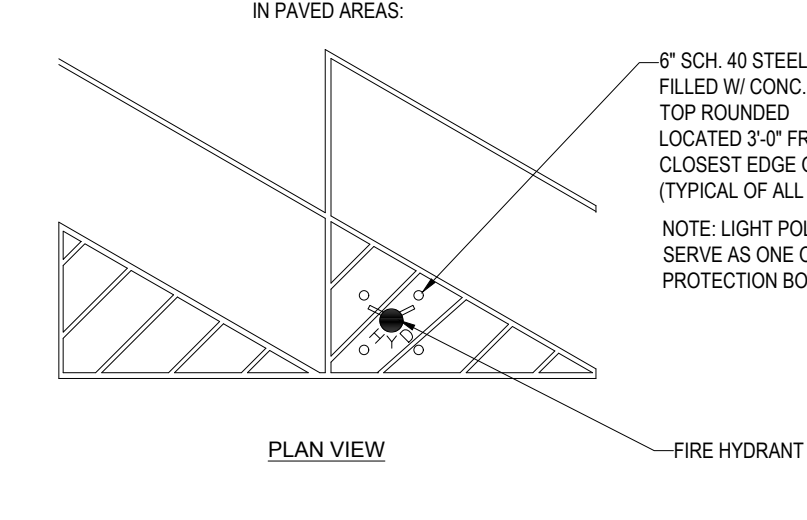


**17 TRANSITION CURB DETAIL**  
N.T.S.



- NOTES:**
1. ALL HYDRANTS TO BE SET PLUMB W/ NOZZLE FACING STREET UNLESS OTHERWISE SPECIFIED BY FIRE DEPARTMENT
  2. ALL CONCRETE TO BE 2500 PSI P.C. CONCRETE.
  3. FIRE HYDRANT ASSEMBLY INCLUDES GATE VALVE AND APPURTENANCES.

**18 TYPICAL HYDRANT & VALVE INSTALLATION**  
N.T.S.



**18 TYPICAL HYDRANT & VALVE INSTALLATION**  
N.T.S.

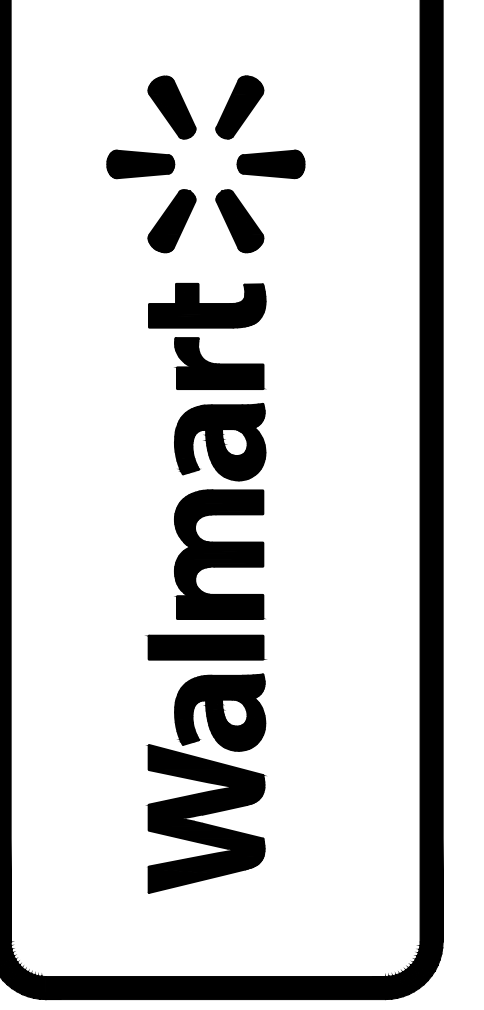
**REVISIONS**

NO.	DESCRIPTION	BY

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
SUSTAINABLE DESIGN  
PERMITTING SERVICES

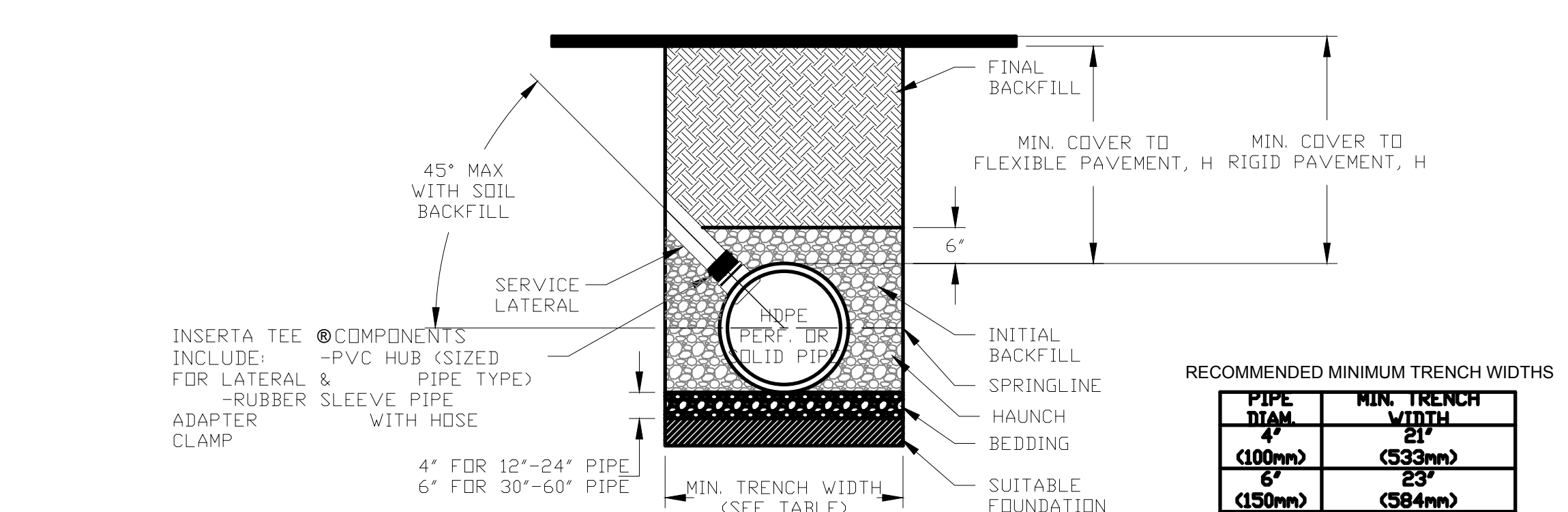
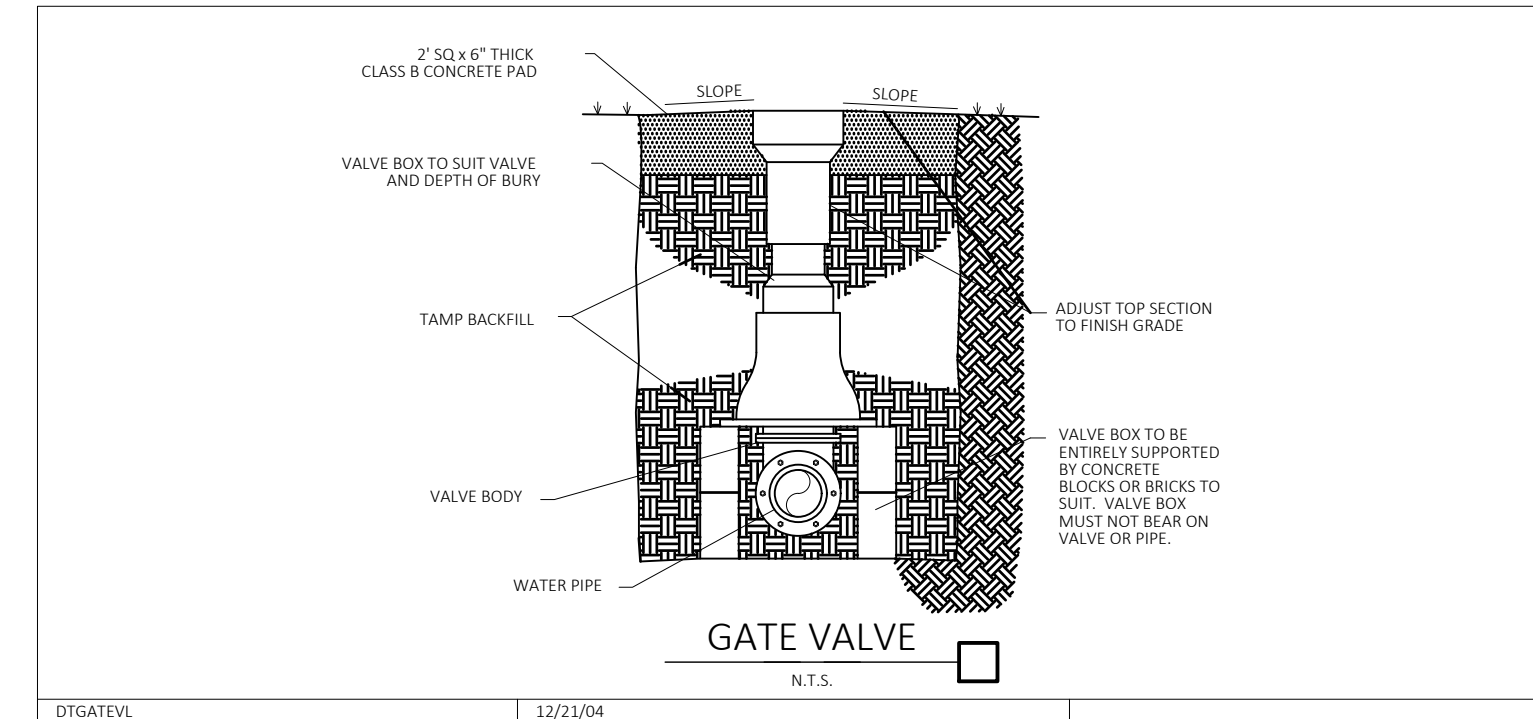
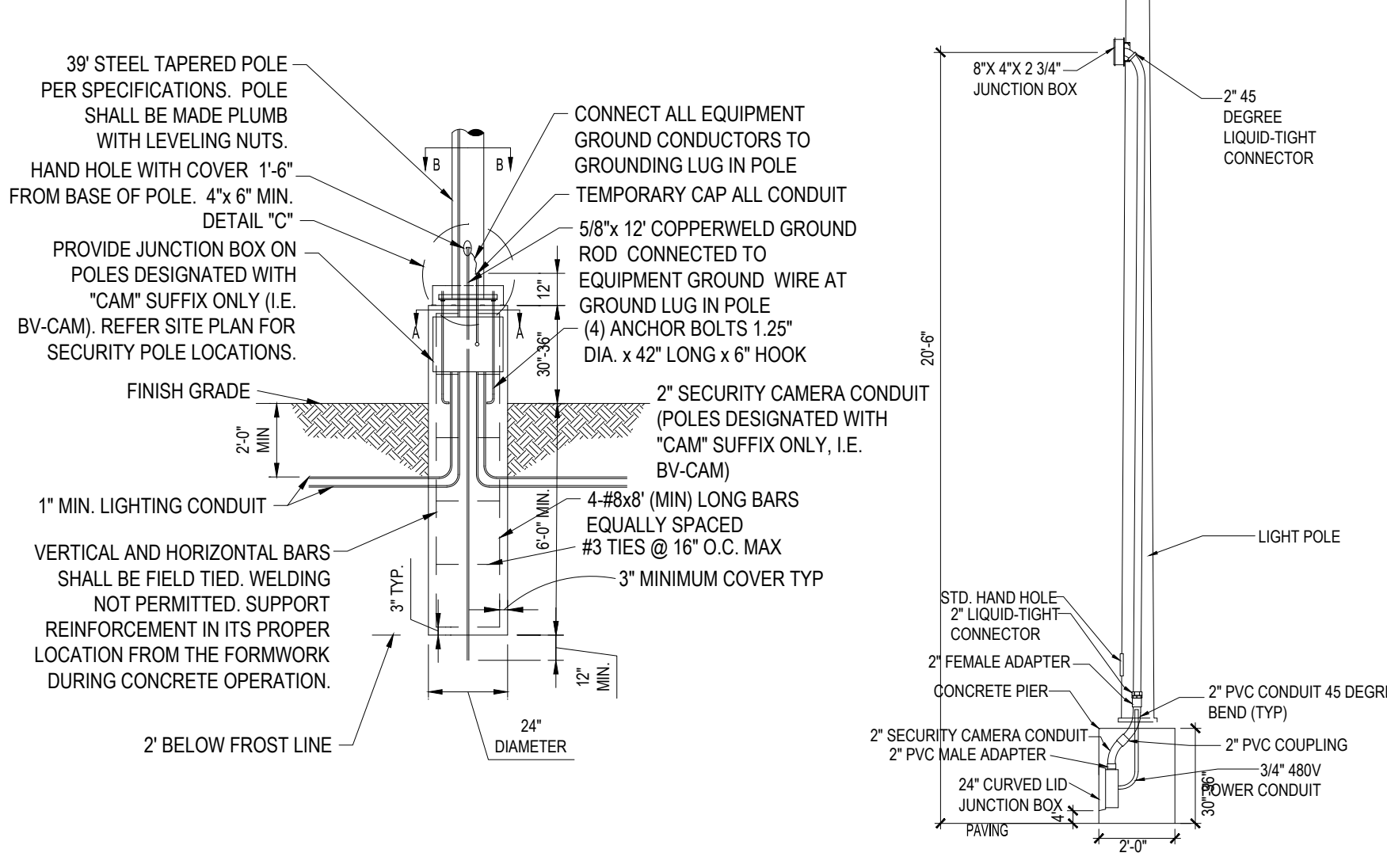
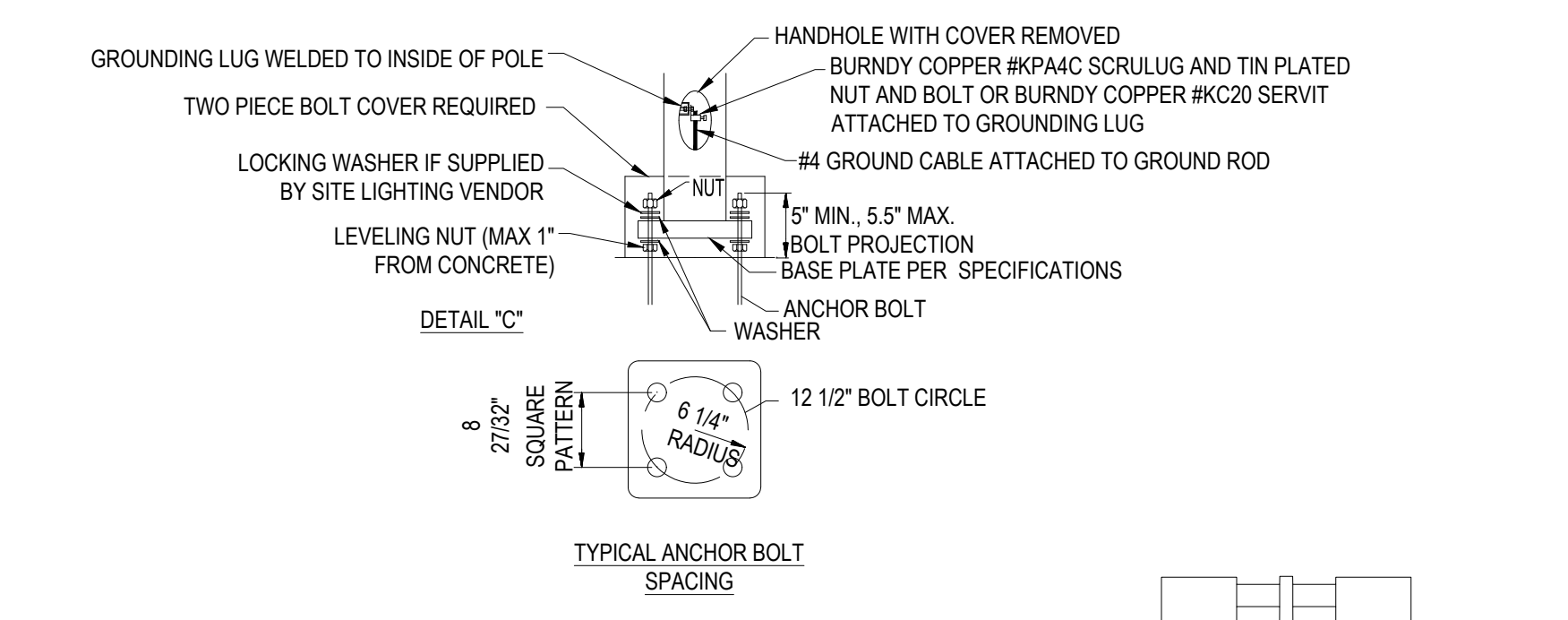
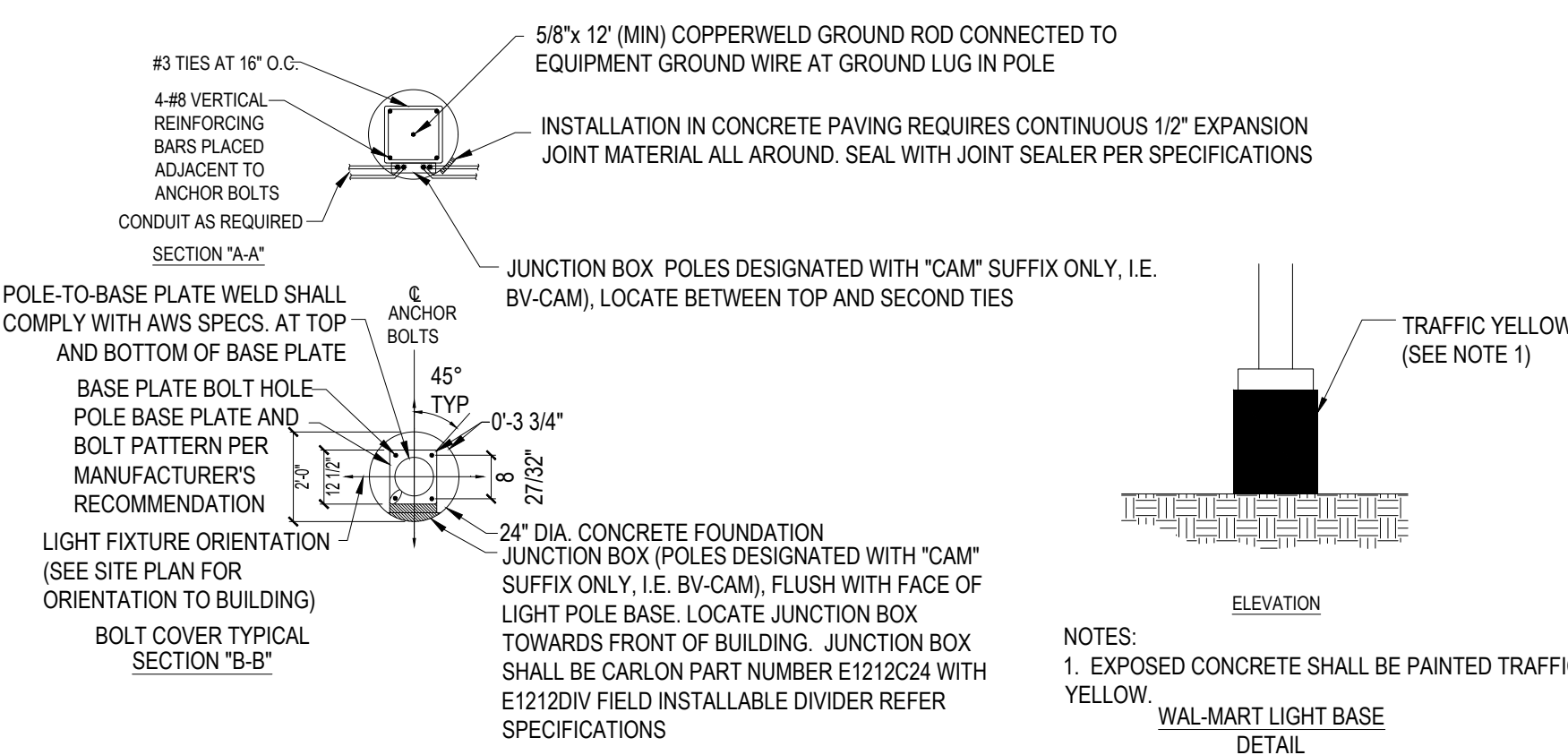


SUPERCENTER #5777-228  
450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716



DRAWN: BT/JT/JN  
CHECKED: JUC/JGB  
DATE: 06/29/2023  
SCALE: AS NOTED  
JOB No. MAA230031.00  
SHEET





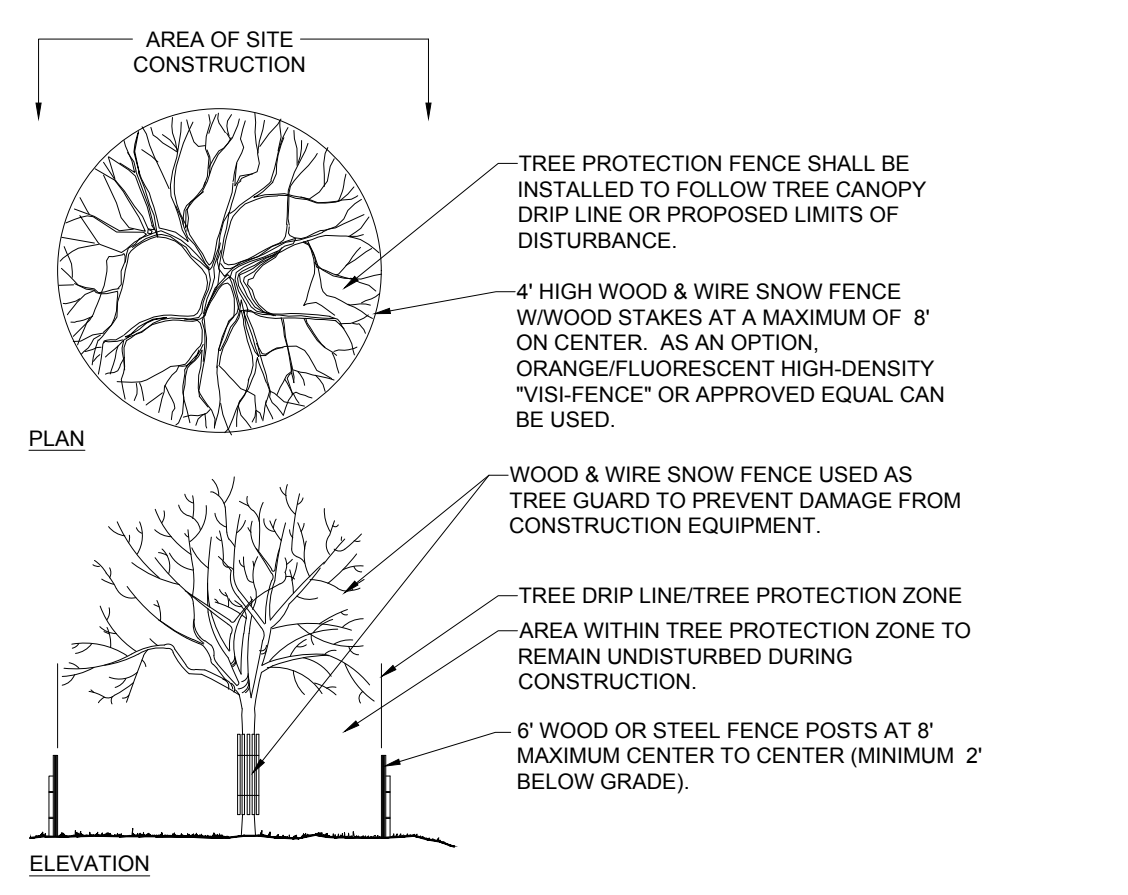
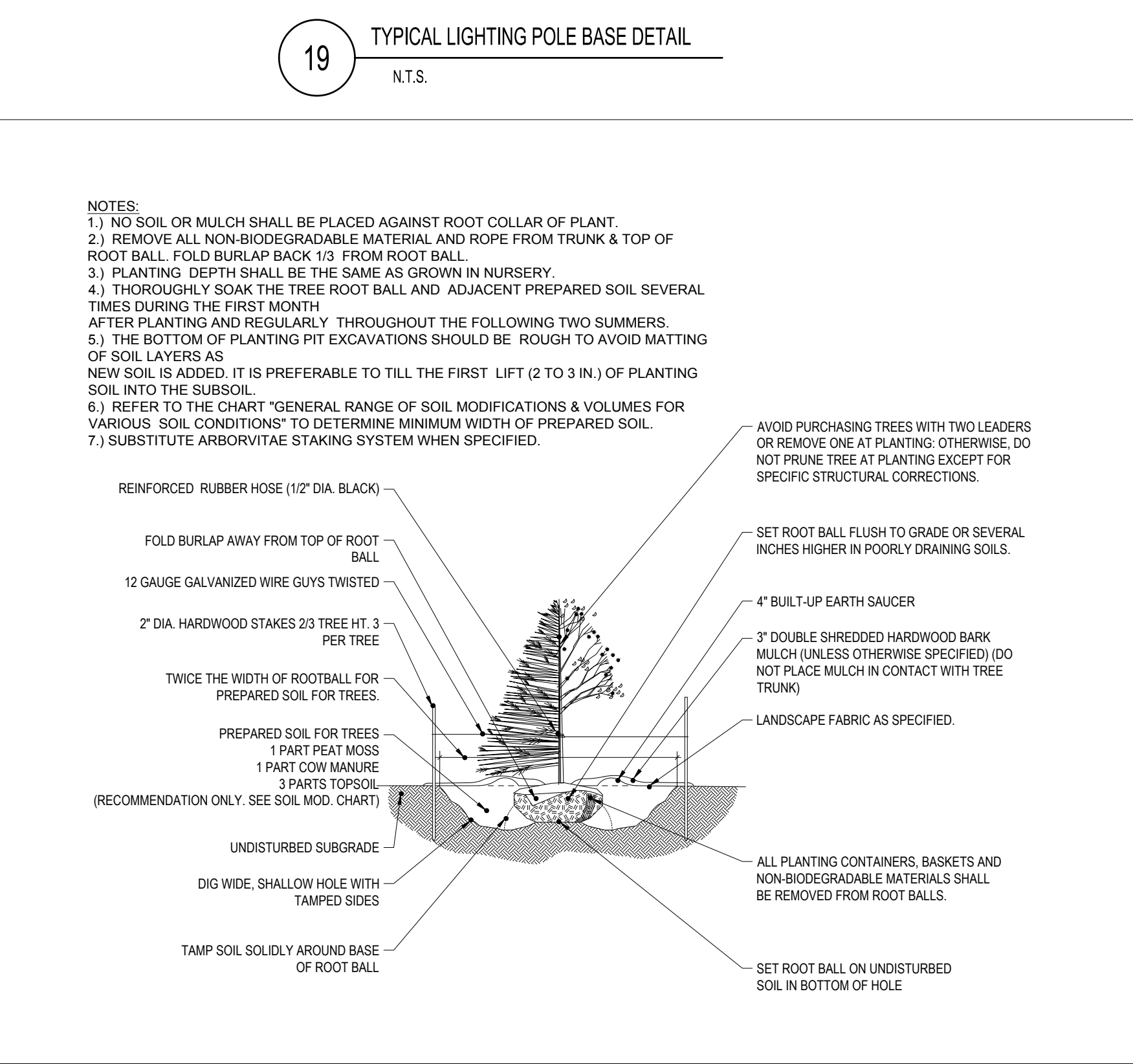
- NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - THE INSERTA TEE CONNECTION SHOULD NOT BE PLACED AT AN ANGLE EXCEEDING 45° FROM THE SPRINGLINE. GREATER ANGLES ARE SUBJECT TO DESIGN ENGINEER APPROVAL AND MAY REQUIRE PREMIUM BACKFILL.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-1500mm).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

REV.	DESCRIPTION	BY	DATE	CHK'D
1	REV. DRAWING NAME OR NUMBER	TJR	01/28/16	

ADVANCED DRAINAGE SYSTEMS, INC. HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO AID. THE DRAWING IS INTENDED TO DETECT THE COMPONENTS AS REQUIRED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. ADS HAS NOT RESPONSIBLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO INSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THE PROJECT.

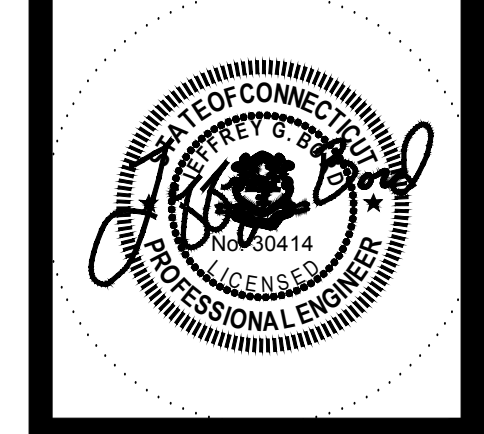
DESIGNER: **ADS**  
4640 TRULEMAN BLVD  
HELLMUTH, OBATA & ASSOCIATES  
P.C.  
BENTONVILLE, AR 72716

DRAWING NUMBER: STD-1011

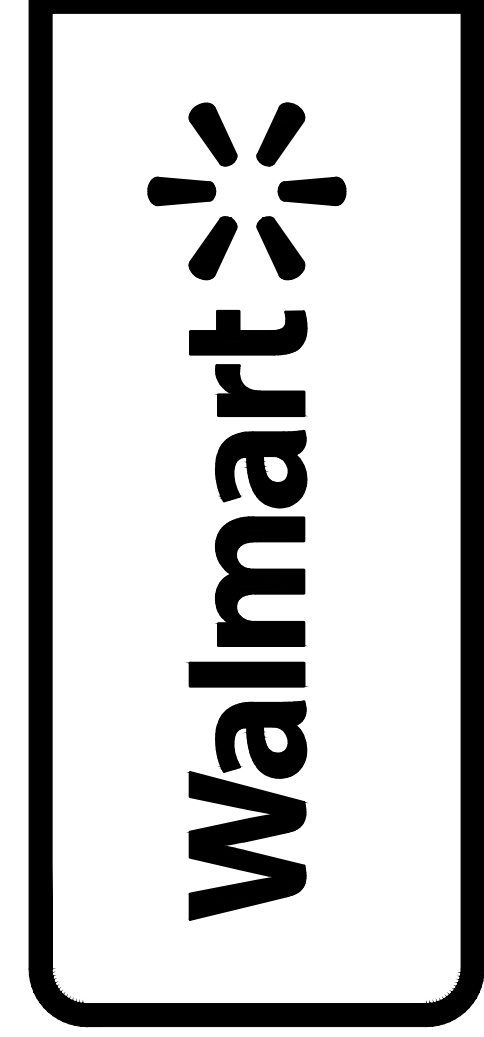


REVISIONS	BY

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LEED SUSTAINABLE DESIGN  
PERMITTING SERVICES



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2001 SE 10TH STREET  
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DRAWN	BT/JT/JN
CHECKED	JUCKER
DATE	06/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

**DTL-3**

**DETAIL SHEET**



SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
  1. Demolition of structures, paving, and utilities.
  2. Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance. Obtain required permits and licenses from appropriate authorities. Pay associated fees including disposal charges.
- B. Notify affected utility companies before starting work and comply with their requirements.
- C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
- B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
  1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
  2. Slump Range: 1 to 3-inches at time of placement
  3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control.
- B. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.
- D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.
- F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, infringe upon, or limit access to their property. Coordinate notice with Owner.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
- B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.
- C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.
- D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.
- E. Comply with governing regulations pertaining to environmental protection.
- F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.
- B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
- C. Fill or remove piping and appurtenances as shown.
- D. Demolish concrete and masonry in small sections. Break up concrete slabs on grade that are 2-feet or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-feet of proposed subgrade.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.
- B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
- D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on site or off site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
  1. Painting and marking of pavements, curbs, and guard posts (bollards)..

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. American Association of State Highway and Transportation (AASHTO):
  1. AASHTO M247 - Glass Beads Used in Traffic Paints
  2. AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
- C. Master Painter's Institute (MPI):
  1. MPI 32 - Traffic Marking Paint, Solvent Based.
  2. MPI 97 - Traffic Marking Paint, Latex.
- D. ASTM International (ASTM):
  1. ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
- E. Federal Specifications (FS):
  1. FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
  2. FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
  3. FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.
- B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
- C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval. Paint shall be non bleeding, quick drying, and alkyl petroleum base paint suitable for traffic bearing surface and be mixed in accordance with manufacturer's instructions before application for colors White, Yellow, Blue, and Red.
- D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.
- E. Pickup Area Pavement Marking Paint: Paint shall conform to the requirements specified herein for solvent borne or waterborne paints, with exception of the relevant difference due to the material being supplied in a color other than white or yellow.
  1. Color: Orange, according to the following mix rate:

Gallon	Color
5	Yellow
1	Red
6	Orange

- 2. Contractor's Option: In lieu of field mixing, limited quantities of pre-mixed orange marking paint conforming to the requirements specified herein are available for purchase from select national coatings suppliers.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
- B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.
- B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
- C. Following items shall be painted with colors noted below:
  1. Pedestrian Crosswalks: White
  2. Exterior Sidewalk Curbs and Guard posts: Yellow
  3. Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
  4. Fire Lanes: Red or per local code.
  5. Lane Striping where separating traffic moving in opposite directions: Yellow.
  6. Lane Striping where separating traffic moving in the same direction: White.
  7. ADA Symbols: Blue or per local code.
  8. ADA parking space markings as shown on the drawings.
  9. Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
  10. Associate Parking Area: White, unless otherwise noted on Construction Drawings.
  11. "Pickup" area striping and other areas as shown on site plan and in associated details - Orange, as specified herein.
- D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
  1. Traffic control signs.
- B. Related Requirements:
  1. Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM):
  1. ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated Welded and Seamless.
  2. ASTM C94 - Ready Mix Concrete
  3. ASTM D4956 - Retroreflective Sheeting for Traffic Control.
- C. US Department of Transportation, Federal Highway Administration:
  1. Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD. Sign classification, type, size, and color shall be as shown on the drawings
- B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
- B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
  1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
  2. Slump Range: 1 to 3-inches at time of placement
  3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
- B. Install signs of the type and at locations shown on the Drawings.
- C. Install posts of the type as shown on the drawing.
- D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

**SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.**

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

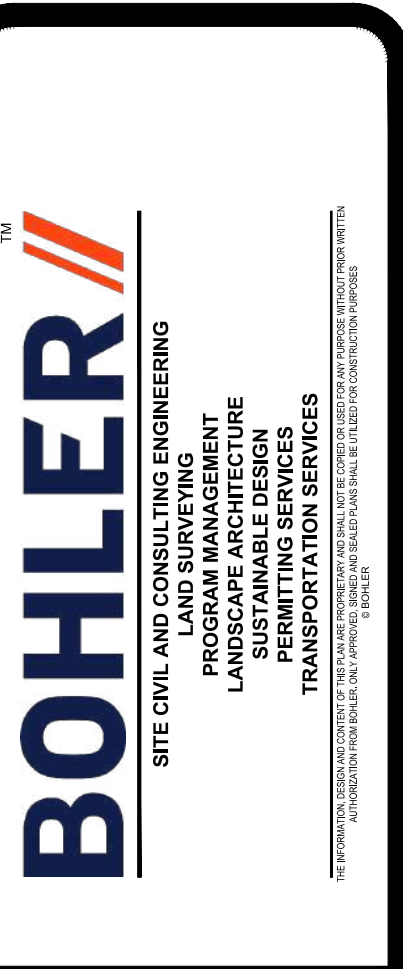
- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

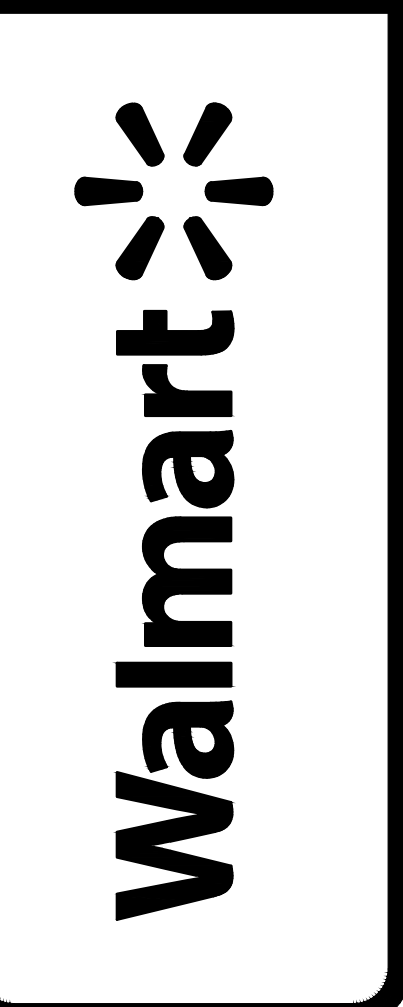
- 1) STAR PRODUCTS
  - MICRO-PAVE PRO-BLEND WITH ADDED SAND
  - SINGLE COAT
- 2) SEAL MASTER
  - POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
  - SINGLE COAT
- 3) GEM SEAL BLACK DIAMOND XL
  - WITH ADDED SAND
  - SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

REVISIONS	BY



SUPERCENTER #5777-228  
 450 PROVIDENCE ROAD, TOWN OF BROOKLYN, CT  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



DRAWN	BTJ/TJN
CHECKED	JJC/GB
DATE	08/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

CSS-1

**SPECIFICATIONS SHEET**



SEAL COAT SPECIFICATION  
PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:  
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:  
1. Site Demolition Specification  
2. Pavement Markings Specification  
3. Traffic Signs and Signals Specification

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM)
1. ASTM C 136 - Method of Sieve Analysis of Fine and Coarse Aggregate
  2. ASTM D 217 - Method for Cone Penetration of Lubricating Grease
  3. ASTM D 244 - Test Methods for Emulsified Asphalts
  4. ASTM D 562 - Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer
  5. ASTM D 977 - Emulsified Asphalt
  6. ASTM D 2397 - Cationic Emulsified Asphalt
  7. ASTM D 2042 - Method for solubility of Asphalt Materials in Trichloroethylene
  8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal
  9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job foreman.
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
  2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
    - a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).
    - b. Review proposed sources of materials.
    - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If crack sealing is needed (reference section 2.4.C below) or other areas of pavement distress are noted during tour, submit appropriate RFI to project team for review.
    - d. Review requirements for protecting paving work, including restriction and redirection of traffic during installation and curing period.
    - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.
    - f. Review paving requirements (drawings, specifications, and other contract documents).
    - g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
  - h. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.
  2. Pavement temperature is above 55 F.
  3. Surface is dry and no moisture is expected within 24 hours.
  4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a pH not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.
- E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.
- F. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

2.2 COMPOSITION

- A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 - Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile <sup>1</sup>	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

<sup>1</sup>Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.3 EQUIPMENT

- A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.
- B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.
- C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.
- D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform spread. There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.
- E. Clean equipment with a petroleum solvent if previously used with a different material.
- F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.
- G. Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.4 PREPARATION

- A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site Demolition.
- B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.
1. Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.
  2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
- C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.
- D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.
- E. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.
- F. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.
- G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.5 APPLICATION

- A. Apply seal coat at a total rate (undiluted) of 0.17gal./SY.
- B. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.
- C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.
- D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.
- E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.
- F. The finished surface shall present a uniform texture with no streaks.
- G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.
- H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

END OF SECTION

REVISIONS	BY

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LEAST ENVIRONMENTAL IMPACT  
SUSTAINABLE DESIGN  
PERMITTING SERVICES



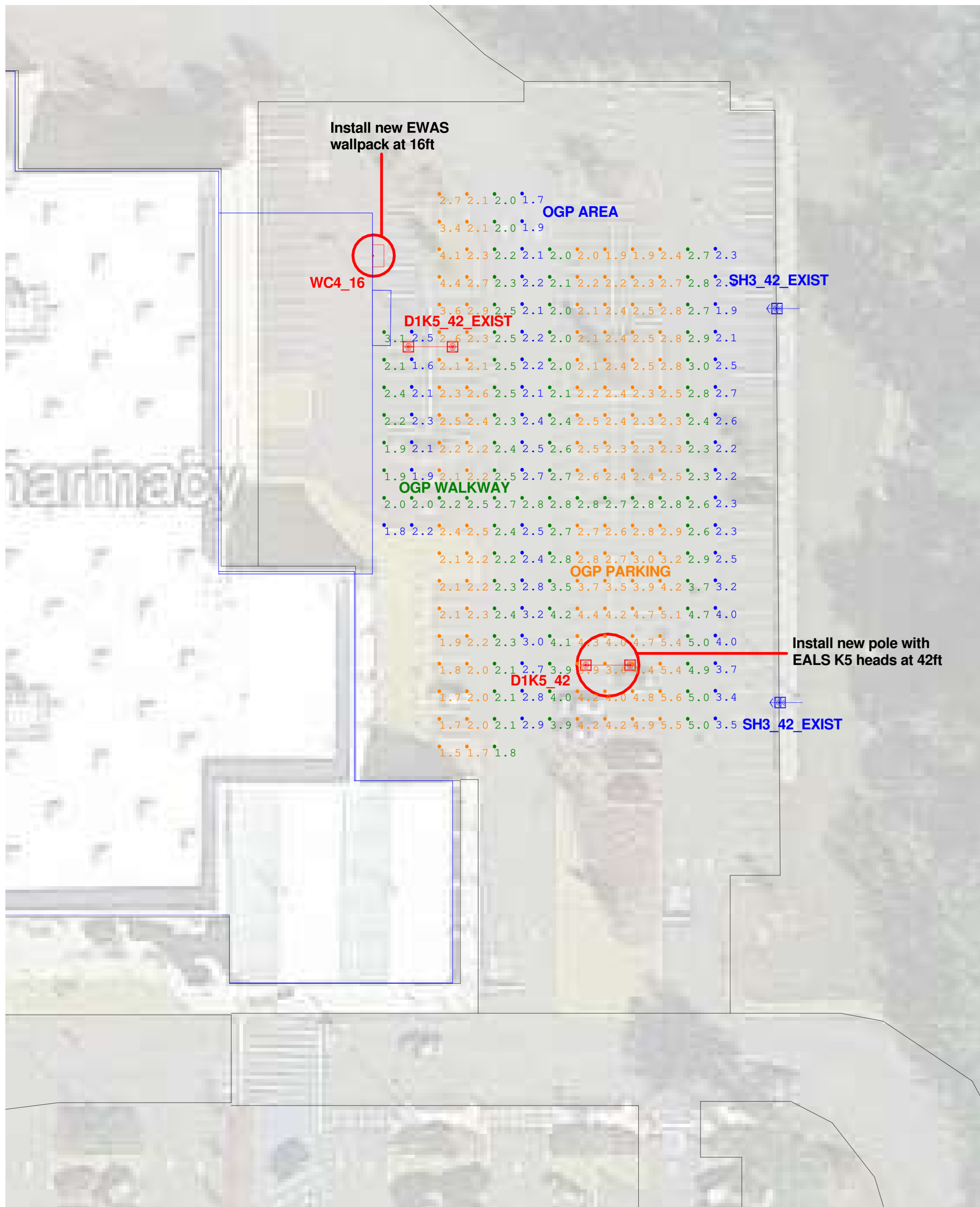
SUPERCENTER #5777-228  
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BENTONVILLE, AR 72716



DRAWN	BT/JT/JN
CHECKED	JUC/KGB
DATE	06/29/2023
SCALE	AS NOTED
JOB No.	MAA230031.00
SHEET	

**CSS-2**





Scale: 1 inch= 25 Ft.

L93 = OPERATING HOURS AT WHICH AN AVERAGE OF 8% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 93% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

L95 = OPERATING HOURS AT WHICH AN AVERAGE OF 5% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS. THE POPULATION STILL EMITS 95% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

IN COMPARISON, NON-LED LUMINAIRES ARE RATED WITH MEAN LUMENS MEASURED AT 40-50% OF RATED LIFE, DEPENDING ON TECHNOLOGY, AND RATED LIFE OF B50, WHERE B50 = OPERATING HOURS AT WHICH 50% OF A TESTED POPULATION OF LAMPS HAVE FAILED.

PROPERTY LINES BASED OFF PROVIDED LIGHTING RETROFIT SURVEY AND GOOGLE EARTH PRO. CALCULATION AREAS TREATED AS OPEN AND EMPTY. NO TREES ARE CONSIDERED IN THE DESIGN, ACTUAL VALUES MAY VARY FROM CALCULATED VALUES SHOWN. LED STATISTICS SHOWN ARE AT 50000 HOURS L93 & L95 RATING (~12 YEARS @ 12 HRS/DAY)

**Notes:**

This is a remodel request for the OGP area on a site that has already been retrofit to LED fixtures in 2018  
 Material with "exist" label is already installed on site and is included here as light contribution only  
 All other material is what is being added to increase the lighting in the OGP Pick up area per request

**Calculation Summary Illuminance Foot-candles**

Label	Avg	Max	Min	Avg/Min	Max/Min
OGP AREA	2.5	4.0	1.6	1.6	2.5
OGP PARKING	2.9	5.6	1.5	1.9	3.7
OGP WALKWAY	2.7	5.0	1.8	1.5	2.8
Property Line	0.0	0.2	0.0	N.A.	N.A.

**EXISTING MATERIAL**

Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens	BUG Rating	[MANUFAC]
	2	SH3_42_EXIST	SINGLE	0.855	1-EALP015H3AW750NDD1BLCKF 39ft pole on 3ft base	183	21300	B3-U0-G2	CURRENT LIGHTING
	1	D1K5_42_EXIST	BACK-BACK	0.855	2-EALP015K5SM750NDD1BLCKF 39ft pole on 3ft base	548	60000	B5-U0-G3	CURRENT LIGHTING

**ADDITIONAL MATERIAL**

Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens	BUG Rating	[MANUFAC]
	1	D1K5_42	D180	0.837	2-EALS035K5SM750NDD1BLCKF 39ft pole on 3ft base	478	60000	B5-U0-G3	CURRENT LIGHTING
	1	WC4_16	SINGLE	0.837	1-EWAS010C4F740N1FMBLCK mounted at 16ft	56	7500	B1-U0-G2	CURRENT LIGHTING

The magnitude of the differences between calculated and field measurements varies. In general, differences of less than 20% can be expected, but in extreme cases, where a calculation method cannot handle the complexity of the lighting system, they may be greater. A more complete discussion of the uncertainties is available.

ANSI/IES L6-20  
Lighting Science: Calculation of Light and its Effects

Provided for:  
CURRENT

Provided BY:  
Application Solution Center  
apps@currentlighting.com

282528 Science Park Blvd.,  
Beachwood, OH 44122

Designer: Hari  
Date: 7/13/2023  
Drawing #: Walmart #5777 Brooklyn, CT OGP - A200700C.AGI

**Walmart #5777 Brooklyn, CT OGP**  
**A200700C**  
 (BE ENVOLE LED AREA LIGHT (EALP) 5000K CCT  
 AT EXISTING LUMINAIRE LOCATIONS  
 TARGET: 1.5 CDP/Wall  
 1x CDP Area  
 10x10' CALCULATION GRID SPACING  
 HORIZONTAL POINTS AT GRADE VERTICAL POINTS AT 5' ANG.  
 5000HOURS SHOWN

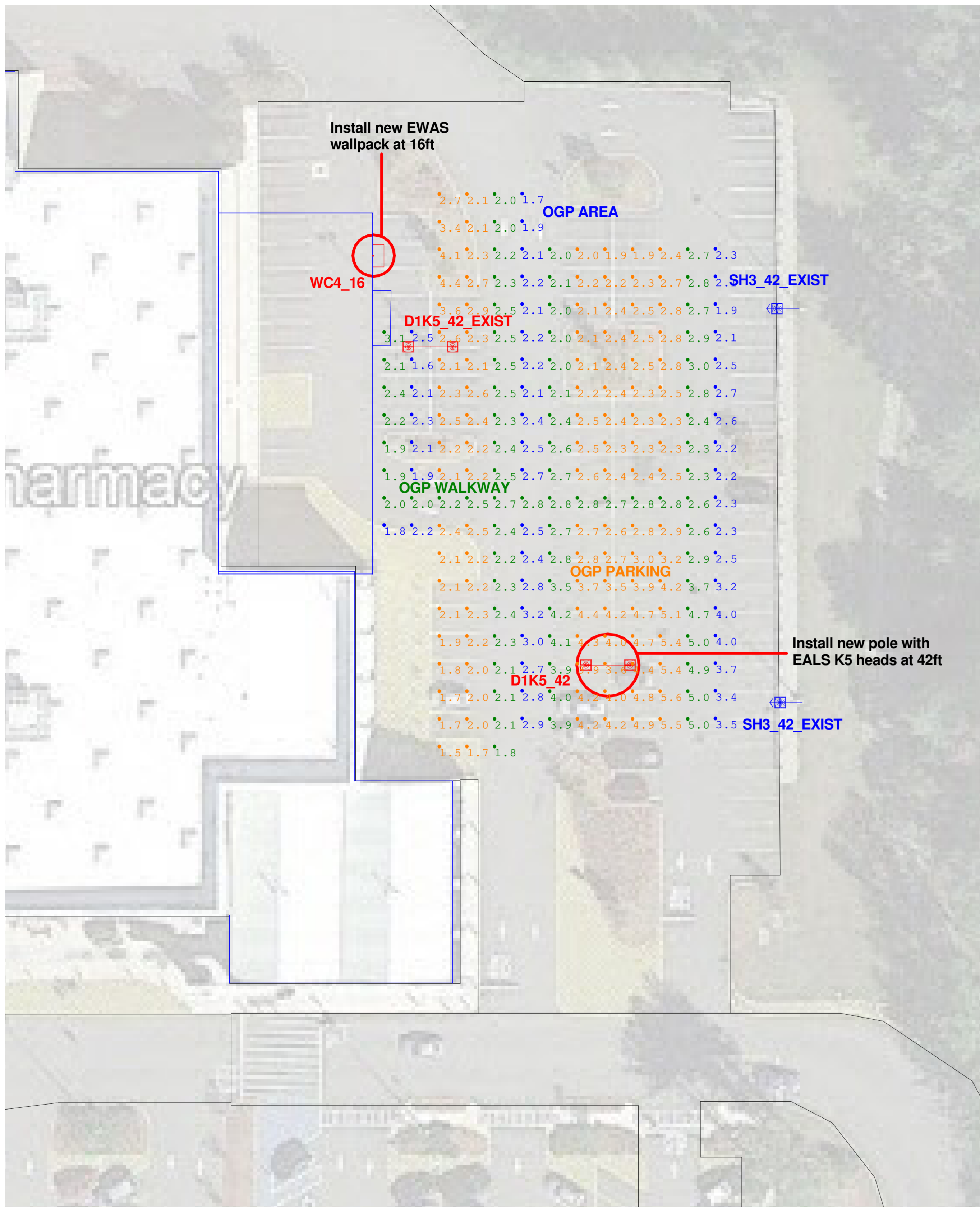












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**Notes:**

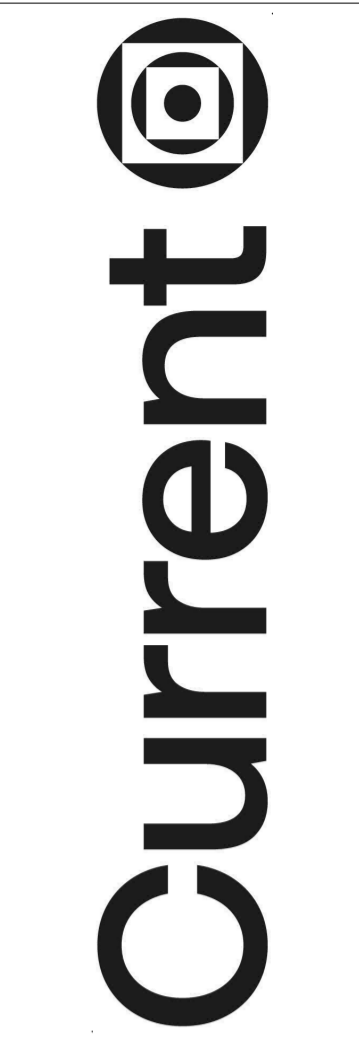
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Current Luminaire Schedule									
Project: NEW MATERIAL									
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ANSI/IES L6-20  
Lighting Science: Calculation of Light and its Effects

Provided for:  
CURRENT

Provided BY:  
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282528 Science Park Blvd.,  
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Designer: Hari  
Date: 7/13/2023  
Drawing #: Walmart #5777 Brooklyn, CT OGP - A200700C-AGI

**Walmart #5777 Brooklyn, CT OGP**  
**A200700C**  
 (BE ENVOLE LED AREA LIGHT (EALP) 5000K CCT  
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 TARGET: 1:5 OGP Area  
 10x10' CALCULATION GRID SPACING  
 HORIZONTAL POINTS AT GRADE VERTICAL POINTS AT 5' ANG.  
 5000HOURS SHOWN



**SCHEDULE B.**  
GENERAL EXCEPTIONS 1 AND 2, ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

3. EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY DATED AUGUST 5, 1954 AND RECORDED IN VOLUME 32 AT PAGE 168 OF THE BROOKLYN LAND RECORDS, CONNECTICUT LIGHT AND POWER COMPANY EASEMENT SHOWN HEREON.
4. EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY DATED FEBRUARY 8, 1972 AND RECORDED IN VOLUME 52 AT PAGE 436 OF THE BROOKLYN LAND RECORDS, CONNECTICUT LIGHT AND POWER COMPANY EASEMENT SHOWN HEREON.
5. EASEMENT GRANTED BY WALTER E. SANDHOLM AND VIOLET J. SANDHOLM TO THE CONNECTICUT LIGHT AND POWER COMPANY BY INSTRUMENT DATED JUNE 28, 1977 AND RECORDED JULY 12, 1977 IN VOLUME 54 AT PAGE 561; AS MODIFIED BY MODIFICATION OF ELECTRIC DISTRIBUTION EASEMENT DATED OCTOBER 25, 2012 AND RECORDED NOVEMBER 5, 2012 IN VOLUME 515 AT PAGE 221 OF THE BROOKLYN LAND RECORDS, CONNECTICUT LIGHT AND POWER COMPANY EASEMENT SHOWN HEREON.
6. SLOPE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT AS SET FORTH IN A NOTICE OF CONDEMNATION DATED AUGUST 16, 2001 AND RECORDED IN VOLUME 246 AT PAGE 371 OF THE BROOKLYN LAND RECORDS, SLOPE EASEMENT SHOWN HEREON.
7. ENCROACHMENT PERMIT ISSUED BY THE DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS, STATE OF CONNECTICUT DATED OCTOBER 2, 2007 AND RECORDED OCTOBER 15, 2007 IN VOLUME 426 AT PAGE 170 OF THE BROOKLYN LAND RECORDS, PERMIT FOR RECONSTRUCTION OF SITE ENTRANCE & TRAFFIC IMPROVEMENTS; NOT PLOTTABLE.
8. TRAFFIC INVESTIGATION REPORT BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DATED FEBRUARY 16, 2011 AND RECORDED IN VOLUME 494 AT PAGE 182 OF THE BROOKLYN LAND RECORDS. SEE ALSO CERTIFICATE (NO. 1884) ISSUED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DATED MARCH 13, 2012 AND RECORDED IN VOLUME 503 AT PAGE 167 OF THE SAID LAND RECORDS. REFER TO CERTIFICATE DATED JANUARY 15, 2013 AND RECORDED JANUARY 29, 2013 IN VOLUME 520 AT PAGE 210 OF THE BROOKLYN LAND RECORDS, PERMANENT TRAFFIC SIGNAL & MAINTENANCE EASEMENT SHOWN HEREON.
9. TERMS AND PROVISIONS SET FORTH IN AN EASEMENT AGREEMENT BY AND BETWEEN WAL-MART REAL ESTATE BUSINESS TRUST AND FCR REALTY, LLC DATED JUNE 12, 2012 AND RECORDED IN VOLUME 506 AT PAGE 252 OF THE BROOKLYN LAND RECORDS, ACCESS EASEMENT SHOWN HEREON.
10. EASEMENT TO THE STATE OF CONNECTICUT DATED SEPTEMBER 18, 2012 AND RECORDED SEPTEMBER 25, 2012 IN VOLUME 513 AT PAGE 149 OF THE BROOKLYN LAND RECORDS, RIGHT OF WAY EASEMENT SHOWN HEREON.
11. ENCROACHMENT PERMIT ISSUED BY THE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY OPERATIONS, STATE OF CONNECTICUT DATED APRIL 8, 2013 AND RECORDED MAY 9, 2013 IN VOLUME 526 AT PAGE 176 OF THE BROOKLYN LAND RECORDS, PERMIT FOR RIGHT OF WAY TRAFFIC IMPROVEMENTS; NOT PLOTTABLE.
12. PRIVATE CONSERVATION EASEMENT AGREEMENT TO THE TOWN OF BROOKLYN DATED JULY 31, 2013 AND RECORDED SEPTEMBER 9, 2013 IN VOLUME 532 AT PAGE 288 OF THE BROOKLYN LAND RECORDS, PRIVATE CONSERVATION EASEMENT SHOWN HEREON.
13. NOTES, NOTATIONS, EASEMENTS AND CONDITIONS SHOWN ON MAP VOLUME 20, PAGES 17, 18, 19, 20, 21, 22, 23, 24V, 81, 82, 88, 89, 90, 91 AND 92, AND MAP VOLUME 21, PAGES 27, 28, 37, 38, 64, 73, 74, 75, 76, 77 AND 79 ON FILE IN THE BROOKLYN TOWN CLERK'S OFFICE, MATTERS SHOWN HEREON.
14. RIGHTS OF OTHERS IN AND TO THE APPURTENANT RIGHT OF WAY AND EASEMENTS REFERENCED IN SCHEDULE A, MATTERS SHOWN HEREON.

**EXHIBIT "A" LEGAL DESCRIPTION**  
COMMITMENT No. 2300030404 WITH AN EFFECTIVE DATE OF MAY 05, 2022

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN THE TOWN OF BROOKLYN, COUNTY OF WINDHAM AND STATE OF CONNECTICUT, BEING SHOWN ON A CERTAIN SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY COVER PAGE WAL-MART STORE NO. 5777-00, ROUTE 6 & BRICKYARD ROAD, TOWN OF BROOKLYN, COUNTY OF WINDHAM, CONNECTICUT DATE OF FIELD SURVEY: 11/28/07 JOB NO.: W13488", LAST REVISED MAY 18, 2012, MADE BY CPH, VERNON, CT, AND ON FILE IN THE BROOKLYN LAND RECORDS. SAID PREMISES ARE MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

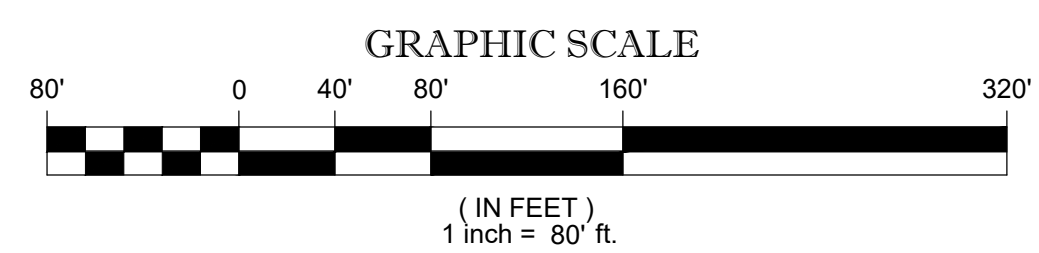
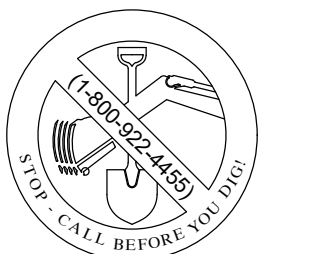
BEGINNING AT A POINT 50.66 FEET FROM THE SOUTHWEST CORNER OF LAND NOW OR FORMERLY OF PHILLIP STEDMAN AT THE NORTH STREET LINE OF BRICKYARD ROAD, SAID POINT BEING THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE N 02° 57' 48" E, 272.49 FEET TO A POINT; THENCE N 05° 29' E, 135.76 FEET TO A POINT; THENCE ON AN ARC TO THE RIGHT CONTAINING A RADIUS OF 152.60 FEET, A CENTRAL ANGLE OF 47° 42' 52", AND A LENGTH OF 127.08 FEET TO A POINT; THENCE N 05° 51' 15" E, 38.26 FEET TO AN IRON PIN; THENCE S 84° 42' 34" E, 100.63 FEET TO A POINT; THENCE N 07° 42' 25" E, 170.84 FEET TO A POINT; THENCE N 01° 42' 50" E, 361.58 FEET TO A POINT; THENCE S 88° 27' 41" E, ALONG LAND NOW OR FORMERLY OF BROOKLYN DEVELOPMENT ASSOCIATES FOR A DISTANCE OF 803.56 FEET TO A POINT; THENCE S 18° 38' 44" E, ALONG LAND NOW OR FORMERLY OF BROOKLYN DEVELOPMENT ASSOCIATES, FOR A DISTANCE OF 199.60 FEET TO A POINT; THENCE S 03° 41' 40" E, ALONG LAND NOW OR FORMERLY OF BROOKLYN DEVELOPMENT ASSOCIATES, FOR A DISTANCE OF 892.87 FEET TO A POINT; THENCE S 82° 08' 08" W, ALONG LAND NOW OR FORMERLY OF ALBERT SANDHOLM 79.70 FEET TO A POINT; THENCE S 07° 58' 15" E, ALONG LAND NOW OR FORMERLY OF ALBERT SANDHOLM 196.73 FEET TO A POINT ON THE NORTH STREET LINE OF U.S. ROUTE 6 (PROVIDENCE ROAD); THENCE ALONG THE NORTH STREET LINE OF U.S. ROUTE 6 (PROVIDENCE ROAD), S 81° 54' 24" W, 567.60 FEET TO A POINT ON THE NORTH STREET LINE OF BRICKYARD ROAD, THENCE ALONG THE NORTH STREET LINE OF BRICKYARD ROAD, N 77° 08' 02" W, 533.16 FEET TO THE POINT AND PLACE OF BEGINNING.

TOGETHER WITH A 25' RIGHT OF WAY AS RESERVED IN A WARRANTY DEED FROM BROOKLYN DEVELOPMENT ASSOCIATES TO STANLEY B. CRAWFORD AND SUSAN J. CRAWFORD DATED APRIL 10, 1990 AND RECORDED IN VOLUME 99 AT PAGE 688 OF THE BROOKLYN LAND RECORDS.

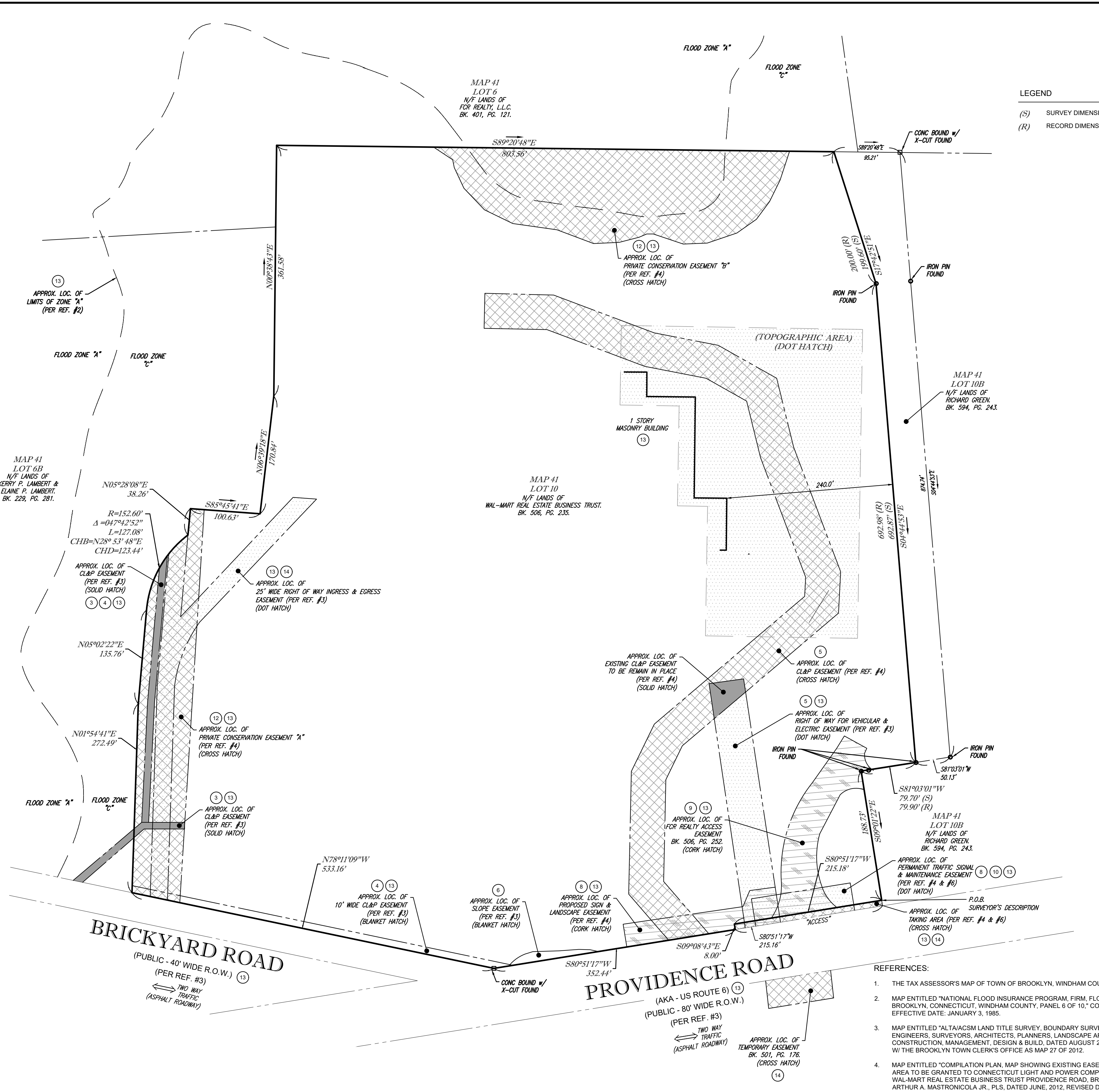
TOGETHER WITH THE EASEMENTS SET FORTH IN A TEMPORARY GRANT OF EASEMENT AGREEMENT BY AND BETWEEN ST. JOHN LUTHERAN CHURCH INC. AND WAL-MART REAL ESTATE BUSINESS TRUST DATED JANUARY 17, 2012 AND RECORDED IN VOLUME 501 AT PAGE 176 OF THE BROOKLYN LAND RECORDS.

LESS AND EXCEPTING THEREFROM THE PREMISES CONVEYED TO THE STATE OF CONNECTICUT SET FORTH IN A WARRANTY DEED DATED SEPTEMBER 18, 2012 AND RECORDED SEPTEMBER 25, 2012 IN VOLUME 513 AT PAGE 146 OF THE BROOKLYN LAND RECORDS.

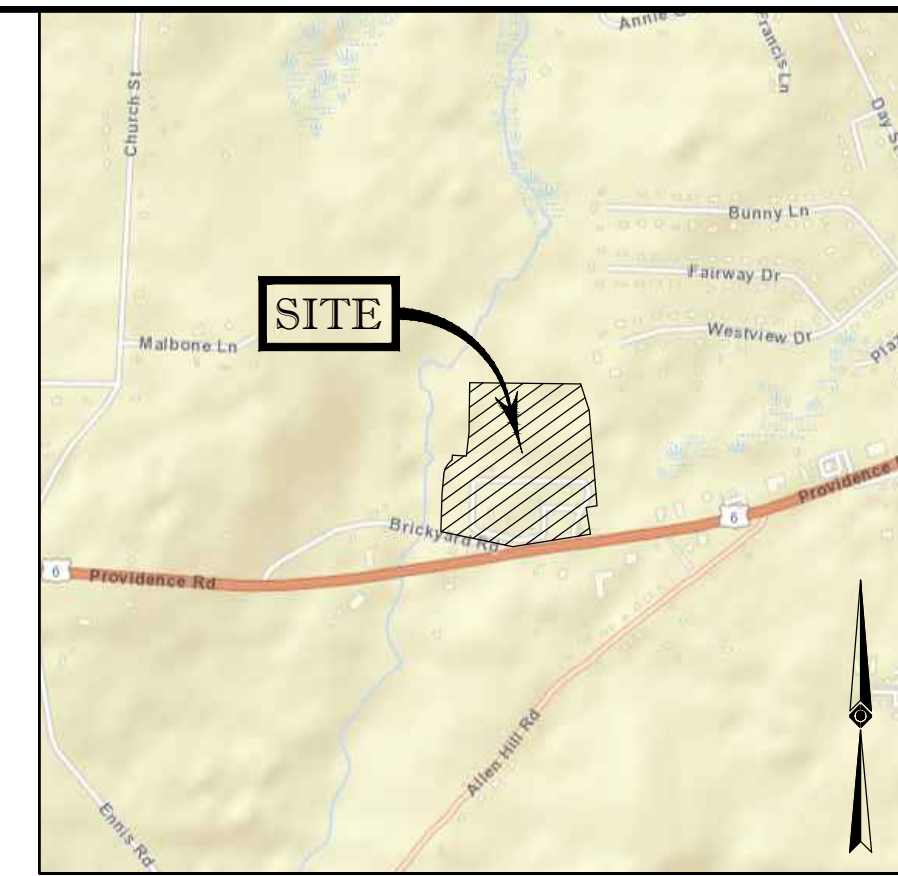
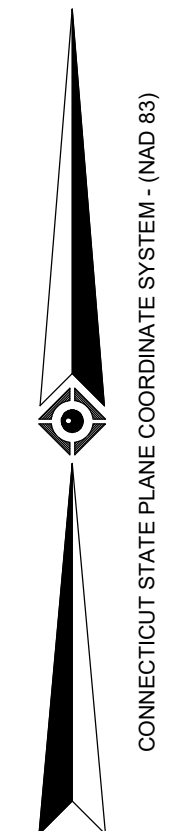
CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL INSTRUMENT OR COPY OF INSTRUMENT MUST BE PRESENTED FOR THIS SURVEY TO BE CONDUCTED. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN ACCURATE REPRESENTATION OF THE PROPERTY DESCRIBED HEREON. THE SURVEYOR'S LIABILITY IS LIMITED TO THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS FURNISHED.



SEE SHEET 2 OF 2 FOR TOPOGRAPHIC AND UTILITIES



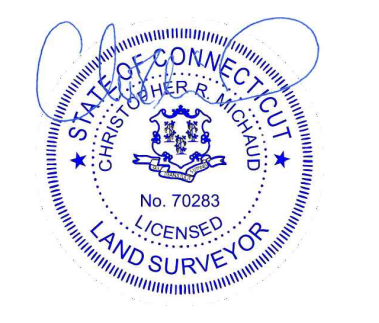
**LEGEND**  
(S) SURVEY DIMENSION  
(R) RECORD DIMENSION



- NOTES:**
1. THIS IS AN IMPROVED LOCATION SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS REFERRED IN THE REGULATION OF CONNECTICUT STATE AGENCIES SECTION 26-300B, EFFECTIVE DATE JUNE 21, 1996, PARTIALLY AMENDED OCTOBER 26, 2018. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON AUGUST 29, 2019, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
  2. PROPERTY KNOWN AS LOT 10 AS SHOWN ON THE TOWN OF BROOKLYN, WINDHAM COUNTY, STATE OF CONNECTICUT, MAP No. 41.  
AREA = 1,109,787 SQUARE FEET OR 25.477 ACRES.
  3. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON MARKOUT PROVIDED BY CONTROL POINT ASSOCIATES, INC. USING GROUND PENETRATING RADAR AND ELECTROMAGNETIC DETECTION EQUIPMENT. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES.  
THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:  
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.  
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.  
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND/OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.  
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.  
ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
  4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND ANOTHER REFERENCE MATERIAL AS LISTED HEREON.
  5. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE COMMITMENT OF TITLE INSURANCE PREPARED BY STEWART TITLE GUARANTY COMPANY, POLICY NUMBER: 2300030404, WITH AN EFFECTIVE DATE OF MAY 2, 2023 AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. WHERE THE FOLLOWING DOCUMENTS APPEAR IN SCHEDULE B, SECTION 2.
  6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE C (AREAS AREAS OF MINIMAL FLOODING (NO SHADING)) AND PARTIALLY LOCATED IN FLOOD HAZARD ZONE A (AREAS OF 100 YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTOR NOT DETERMINED), PER REF. #2.
  7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
  8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).  
TEMPORARY BENCH MARKS SET:  
TBM-A: X-CUT SET ON BOLT MAIN OUTLET OF FIRE HYDRANT, ELEVATION= 245.07'  
TBM-B: X-MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 242.45'  
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
  9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  10. PROPERTY HAS DIRECT ACCESS TO PROVIDENCE ROAD.
  11. PARKING COUNT: REGULAR = 94 SPACES  
RESERVED = 0 SPACES  
TOTAL = 94 SPACES (WITHIN SURVEY AREA)
  12. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
  13. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
  14. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
  15. SURVEYOR'S DESCRIPTION PREPARED BECAUSE RECORD DESCRIPTION DOES NOT DEPICT ENTIRETY OF CURRENT PROPERTY CONFIGURATION.  
THIS SURVEY IS CERTIFIED TO WAL-MART REAL ESTATE BUSINESS TRUST, STEWART TITLE GUARANTY COMPANY.

- REFERENCES:**
1. THE TAX ASSESSOR'S MAP OF TOWN OF BROOKLYN, WINDHAM COUNTY, MAP 41.
  2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF BROOKLYN, CONNECTICUT, WINDHAM COUNTY, PANEL 6 OF 10," COMMUNITY-PANEL NUMBER 090161 0006 A, EFFECTIVE DATE: JANUARY 3, 1985.
  3. MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, BOUNDARY SURVEY FOR WALMART," PREPARED BY CPH, ENGINEERS, SURVEYORS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, ENVIRONMENTAL SCIENTISTS, CONSTRUCTION, MANAGEMENT, DESIGN & BUILD, DATED AUGUST 22, 2008, REVISED DATE MAY 18, 2012, FILED W/ THE BROOKLYN TOWN CLERK'S OFFICE AS MAP 27 OF 2012.
  4. MAP ENTITLED "COMPLIATION PLAN, MAP SHOWING EXISTING EASEMENT TO BE MODIFIED AND EASEMENT AREA TO BE GRANTED TO CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF WAL-MART REAL ESTATE BUSINESS TRUST PROVIDENCE ROAD, BROOKLYN, CONNECTICUT," PREPARED BY ARTHUR A. MASTRONICOLA JR., PLS, DATED JUNE, 2012, REVISED DATE AUGUST 24, 2012, FILED W/ THE BROOKLYN TOWN CLERK'S OFFICE AS MAP 38 OF 2012.
  5. MAP ENTITLED "SUBDIVISION OF LAND," PREPARED BY ALBERT L. FITZBACK, PLS, DATED JULY 30, 1992, REVISED DATE DECEMBER 3, 1992, FILED W/ THE BROOKLYN TOWN CLERK'S OFFICE AS MAP 28 OF 1992.
  6. MAP ENTITLED "RIGHT OF WAY SURVEY," PREPARED BY ARTHUR A. MASTRONICOLA JR., PLS, DATED OCTOBER, 2011, FILED W/ THE BROOKLYN TOWN CLERK'S OFFICE AS MAP 37 OF 2011.
  7. GAS MAPPING IN THE AREA PROVIDED BY EVERSOURCE.
  8. ELECTRIC MAPPING IN THE AREA PROVIDED BY EVERSOURCE.
  9. MAP ENTITLED "GRADING AND STORM DRAINAGE PLAN," PREPARED BY CPH, ENGINEERS, SURVEYORS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, ENVIRONMENTAL SCIENTISTS, CONSTRUCTION, MANAGEMENT, DESIGN & BUILD, REVISED DATE JUNE 5, 2012, SHEET C-1.
  10. MAP ENTITLED "FIELD SKETCH, 450 PROVIDENCE ROAD, BROOKLYN CT," PREPARED BY CONTROL POINT ASSOCIATES, INC., SUE PROJECT # 08-230109-00, DATED APRIL 13, 2023.
  11. MAP ENTITLED "SITE DIMENSION PLAN," PREPARED BY CPH, ENGINEERS, SURVEYORS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, REVISED DATE MAY 12, 2009.

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(b)(1), 7(c), 8, 9, 11a, 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 05, 2023.  
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.



**CHRISTOPHER R. MICHAUD, PLS**  
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283

05-30-2023  
DATE

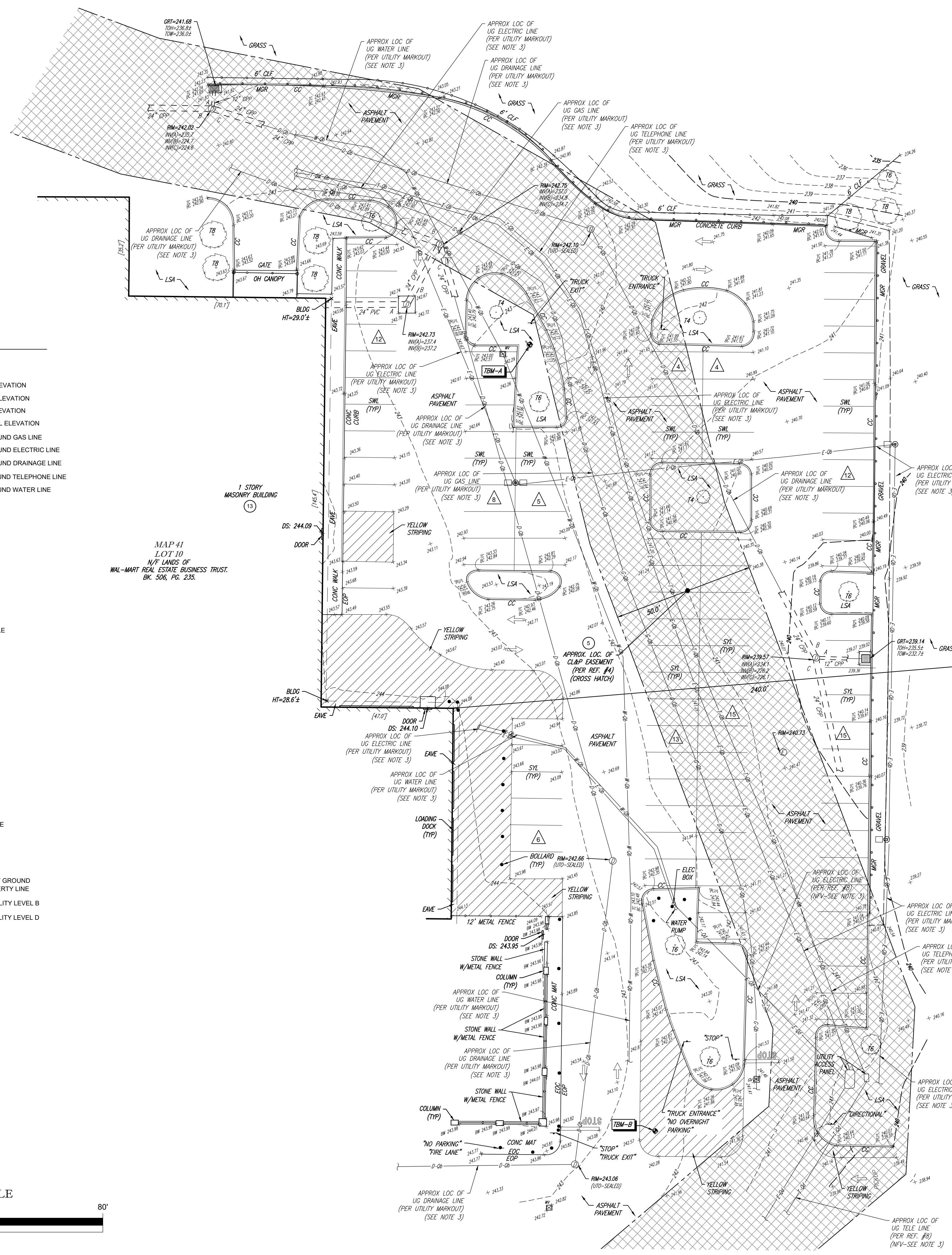
FIELD DATE: 04-05-2023  
FIELD BOOK NO: 23-03-MA  
FIELD BOOK PG: 26

**Walmart** ALTA/NSPS LAND TITLE SURVEY  
450 PROVIDENCE ROAD, STORE No. 5777-00  
MAP 41, LOT 10  
TOWN OF BROOKLYN, WINDHAM COUNTY  
STATE OF CONNECTICUT

FIELD CREW: J.S.A.  
DRAWN: R.A.B.  
REVIEWED: R.J.K.

APPROVED: C.R.M.  
DATE: 05-30-2023  
SCALE: 1"=80'  
FILE NO: 03-230072-00  
DWS NO: 1 OF 2

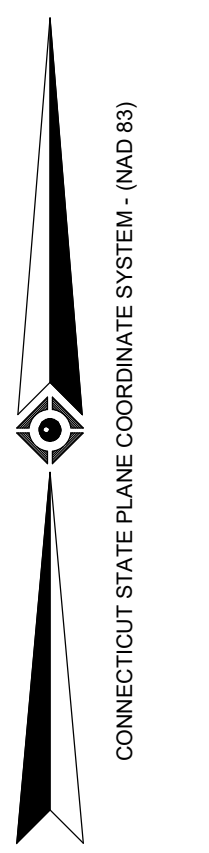




METES AND BOUNDS DESCRIPTION  
 MAP 41, LOT 10  
 TOWN OF BROOKLYN  
 WINDHAM COUNTY  
 STATE OF CONNECTICUT

- BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF PROVIDENCE ROAD (AKA US ROUTE 6; PUBLIC - 80' WIDE), SAID POINT BEING A CORNER IN COMMON WITH MAP 41, LOT 10B (N/F RICHARD GREEN), THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES:
- SOUTH 80 DEGREES - 51 MINUTES - 17 SECONDS WEST, A DISTANCE OF 215.18 FEET, THENCE;
  - SOUTH 09 DEGREES - 08 MINUTES - 43 SECONDS EAST, A DISTANCE OF 8.00 FEET, THENCE;
  - SOUTH 80 DEGREES - 51 MINUTES - 17 SECONDS WEST, A DISTANCE OF 352.44 FEET TO A CONCRETE BOUND WITH K-CUT FOUND AT THE INTERSECTION OF THE NORTHERLY LINE OF PROVIDENCE ROAD WITH THE NORTHERLY LINE OF BRICKYARD ROAD (PUBLIC - 40' WIDE), THENCE;
  - ALONG SAID NORTHERLY LINE, NORTH 78 DEGREES - 11 MINUTES - 09 SECONDS WEST, A DISTANCE OF 533.16 FEET TO A CORNER IN COMMON WITH MAP 41, LOT 6B (N/F KERRY P. & ELAINE P. LAMBERT), THENCE DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH LOT 6B THE FOLLOWING SEVEN (7) COURSES:
  - NORTH 01 DEGREES - 54 MINUTES - 41 SECONDS EAST, A DISTANCE OF 272.49 FEET, THENCE;
  - NORTH 05 DEGREES - 02 MINUTES - 22 SECONDS EAST, A DISTANCE OF 135.76 FEET, THENCE;
  - ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 152.60 FEET, A CENTRAL ANGLE OF 47 DEGREES - 42 MINUTES - 52 SECONDS, AN ARC LENGTH OF 127.08 FEET, A CHORD BEARING OF NORTH 28 DEGREES - 53 MINUTES - 48 SECONDS EAST, A CHORD LENGTH OF 123.44 FEET, THENCE;
  - NORTH 05 DEGREES - 28 MINUTES - 08 SECONDS EAST, A DISTANCE OF 38.26 FEET, THENCE;
  - SOUTH 85 DEGREES - 45 MINUTES - 41 SECONDS EAST, A DISTANCE OF 100.83 FEET, THENCE;
  - NORTH 06 DEGREES - 39 MINUTES - 18 SECONDS EAST, A DISTANCE OF 170.84 FEET, THENCE;
  - NORTH 00 DEGREES - 38 MINUTES - 49 SECONDS EAST, A DISTANCE OF 381.58 FEET TO A CORNER IN COMMON WITH MAP 41, LOT 6 (N/F FCR REALTY, LLC), THENCE;
  - ALONG THE DIVIDING LINE WITH SAID LOT 6, SOUTH 89 DEGREES - 20 MINUTES - 48 SECONDS EAST, A DISTANCE OF 803.56 FEET TO A CORNER IN COMMON WITH SAID LOT 10B, THENCE ALONG THE DIVIDING LINE WITH SAID LOT 10B THE FOLLOWING FOUR (4) COURSES, THENCE:
  - SOUTH 17 DEGREES - 42 MINUTES - 51 SECONDS EAST, A DISTANCE OF 199.60 FEET TO AN IRON PIN FOUND, THENCE;
  - SOUTH 04 DEGREES - 44 MINUTES - 53 SECONDS EAST, A DISTANCE OF 692.87 FEET TO AN IRON PIN FOUND, THENCE;
  - SOUTH 81 DEGREES - 03 MINUTES - 01 SECONDS WEST, A DISTANCE OF 79.70 FEET TO AN IRON PIN FOUND, THENCE;
  - SOUTH 09 DEGREES - 01 MINUTES - 22 SECONDS EAST, A DISTANCE OF 188.73 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 1,109,787 SQUARE FEET OR 25.477 ACRES.

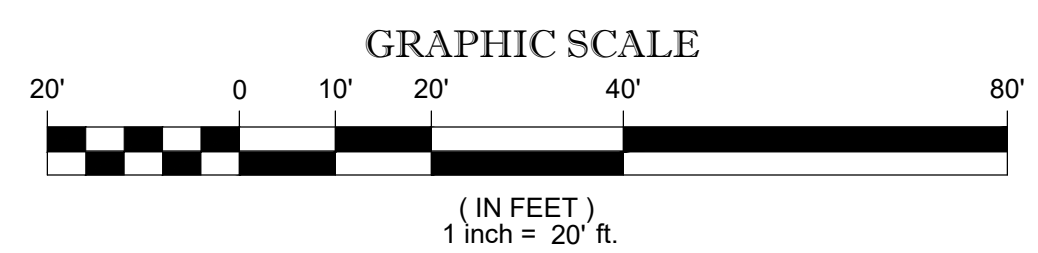


**LEGEND**

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TOP OF CURB ELEVATION
	EXISTING BOTTOM OF CURB ELEVATION
	EXISTING TOP OF WALL ELEVATION
	EXISTING BOTTOM OF WALL ELEVATION
	APPROX. LOC. UNDERGROUND GAS LINE
	APPROX. LOC. UNDERGROUND ELECTRIC LINE
	APPROX. LOC. UNDERGROUND DRAINAGE LINE
	APPROX. LOC. UNDERGROUND TELEPHONE LINE
	APPROX. LOC. UNDERGROUND WATER LINE
	METAL GUIDE RAIL
	HYDRANT
	WATER VALVE
	GAS VALVE
	AREA LIGHT
	SIGN
	BOLLARD
	CATCH BASINS
	PAINTED ARROWS
	DRAINAGE/STORM MANHOLE
	ELECTRIC MANHOLE
	PARKING SPACE COUNT
	EVIDENCE FOUND
	UNKNOWN TERMINUS
	SOLID WHITE LINE
	UNDER GROUND
	CHAIN LINK FENCE
	LANDSCAPED AREA
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	BUILDING
	UNABLE TO OPEN
	ELEVATION
	CORRUGATED PLASTIC PIPE
	CONCRETE CURB
	INVERT ELEVATION
	GRATE ELEVATION
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	SUBSURFACE UTILITY QUALITY LEVEL B
	SUBSURFACE UTILITY QUALITY LEVEL D
	TITLE REPORT EXCEPTION

MAP 41  
 LOT 10  
 N/F LANDS OF  
 WAL-MART REAL ESTATE BUSINESS TRUST,  
 BK. 506, PG. 235.

MAP 41  
 LOT 10B  
 N/F LANDS OF  
 RICHARD GREEN,  
 BK. 594, PG. 243.



SEE SHEET 1 OF 2 FOR NOTES AND REFERENCES

THIS SURVEY IS CERTIFIED TO:  
 WAL-MART REAL ESTATE BUSINESS TRUST,  
 STEWART TITLE GUARANTY COMPANY.

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(b)(1), 7(c), 8, 9, 11a, 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 05, 2023.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

05-30-2023  
 DATE

**CHRISTOPHER R. MICHAUD, PLS**  
 CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283

FIELD DATE: 04-05-2023  
 FIELD BOOK NO: 23-03-MA  
 FIELD BOOK PG: 26

**Walmart** ALTA/NSPS LAND TITLE SURVEY  
 450 PROVIDENCE ROAD, STORE No. 5777-00  
 MAP 41, LOT 10  
 TOWN OF BROOKLYN, WINDHAM COUNTY  
 STATE OF CONNECTICUT

FIELD CREW: J.S.A.  
 DRAWN: R.A.B.  
 REVIEWED: R.J.K.

**CONTROL POINT ASSOCIATES, INC.**  
 ALBANY, NY 518-217-5010  
 CHALFONT, PA 215-712-9800  
 HAUPPAUGE, NY 631-880-2845  
 MANHATTAN, NY 646-780-0411  
 MT LAUREL, NJ 609-857-3999  
 WARREN, NJ 908-668-0999

APPROVED: C.R.M. DATE: 05-30-2023 SCALE: 1"=20' FILE NO: 03-230072-00 DWG. NO: 2 OF 2

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY CONTROL POINT ASSOCIATES, INC. FOR THE PURPOSES OF THIS SURVEY. THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



RECEIVED

JUL 27 2023

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_

Application # SD 23-001  
Check # 3121

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant JEFF WEAVER Phone \_\_\_\_\_  
Mailing Address P.O. Box 9, BROOKLYN CT 06231  
Applicants Interest in the Property owner

Property Owner JEFF WEAVER Phone \_\_\_\_\_  
Mailing Address P.O. Box 9, BROOKLYN CT

Name of Engineer/Surveyor ARCHER SURVEYING LLC  
Address 18 PROVIDENCE RD BROOKLYN CT  
Contact Person PAUL ARCHER Phone 979-2240 Fax \_\_\_\_\_

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Subdivision  Re subdivision \_\_\_\_\_  
Property location DA/ ST  
Map # 43 Lot # 6 Zone R-30/2A Total Acres 3± Acres to be Divided 3±  
Number of Proposed Lots 2 Length of New Road Proposed 0  
Sewage Disposal: Private  Public \_\_\_\_\_

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary \_\_\_\_\_ Storm \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_

Is parcel located within 500 feet of an adjoining Town? No

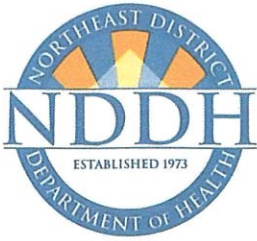
The following shall accompany the application when required:

- 4.2.2 Fee \$ \_\_\_\_\_ State (\$60.00) \_\_\_\_\_
- 4.2.3 Sanitary Report \_\_\_\_\_
- 4.2.5, 3 copies of plans \_\_\_\_\_
- 4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.
- 4.2.6 Erosion & Sediment Control Plans
- 4.2.7 Certificate of Public Convenience and Necessity
- 4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: JEFF WEAVER / JAW Date 7-26-23  
Owner: JEFF WEAVER / JAW Date 7-26-23

\*Note: All consulting fees shall be paid by the applicant



# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET · UNIT 4 · BROOKLYN, CT 06234  
PHONE (860) 774-7350 · FAX (860) 774-1308 · WEB SITE WWW.NDDH.ORG

May 10, 2023

Jeffrey Weaver  
PO Box 9  
Brooklyn, CT 06234

**SUBJECT: FILE #23000175 -- DAY STREET MAP #43, LOT #6 (PART 4) BROOKLYN, CT**

Dear Jeffrey Weaver:

Upon review of the subdivision plan (ARCHER SURVEYING LLC, WEAVER, PROT #233015, DRAWN 05/01/2023) submitted to this office on 05/03/2023 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots:1 and 2 require that a Professional Engineer design and submit individual plot plan(s) for review and approval prior to construction.
2. Proposed lots are based on 2 bedroom multi-family homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
3. If the proposed septic area is moved, additional testing may be required
4. Footing drain on lot #2 must be relocated on Professional Engineer Design to meet 25 foot separation distance to septic system.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist ~ NDDH

cc: Town of Brooklyn; Archer Surveying, LLC

**Driveway Culvert Design  
Proposed 2 Lot Resubdivision  
Brooklyn, CT**

**Prepared for**

**Jeffrey Weaver**

**7/11/2023**

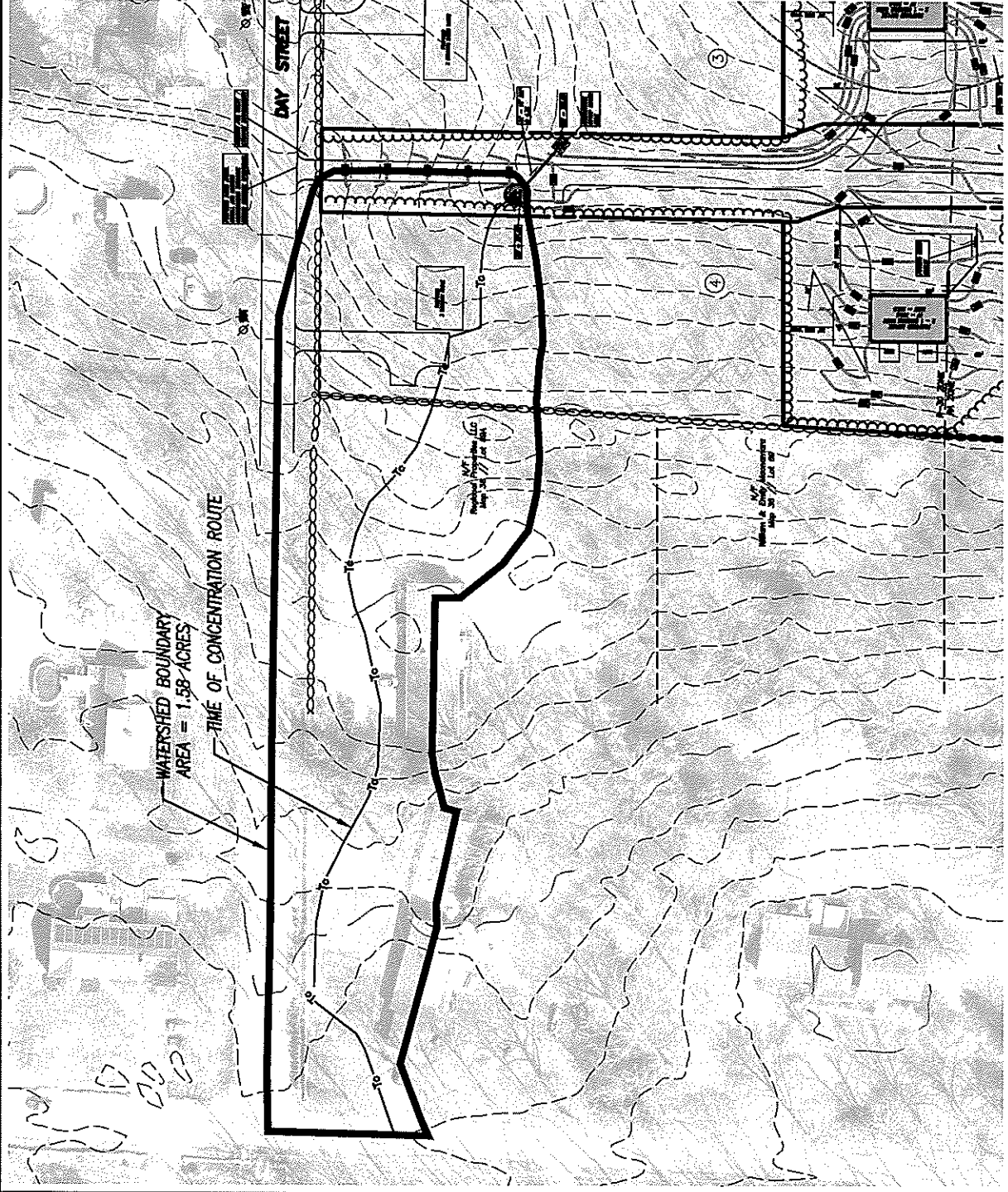
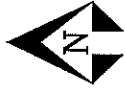


**Prepared by:**

**Provost & Rovero, Inc.**

### **Design Summary**

A culvert is proposed to convey periodic flows under the shared driveway serving proposed lots 1 and 2. This culvert has been designed to convey a 10 year design storm. The design flow rate has been determined with the Rational method utilizing ConnDOT IDF data. The culvert has been designed utilizing Federal Highway Administration methodology and Carlson Hydrology software. Watershed mapping and calculation reports are attached hereto.



WATERSHED MAP  
PREPARED FOR

**JEFFREY WEAVER**

PROPOSED 2 LOT RESUBDIVISION

DAY STREET

BROOKLYN, CONNECTICUT

SCALE: 1" = 60'

DATE: 7/1/2023

DRAWN BY: DAI

**Provost & Dovo, Inc.**

57 EAST MAIN ST., P.O. BOX 191, PLAINFIELD, CT.

Time of Concentration (Tc)

Tue Jul 11 10:58:57 2023

Project: WEAVER  
Location: DAY STREET  
Developed

By: DJH  
Checked:  
Date: 07/11/23  
Date:

Sheet Flow

Segment ID: SHEET FLOW

Manning's Roughness Coeff. (n):	0.240	
Flow Length, L (total L <= 100 ft):	100.00	ft
Two-yr 24-hr Rainfall, P:	3.20	in
Land Slope, s:	2.50	%
Tc:	0.218	hr (13.1 min)

Shallow Concentrated Flow

Segment ID: SHALLOW CONC.

Surface Description:	Unpaved	
Flow Length, L:	530.00	ft
Watercourse Slope, s:	7.70	%
Average Velocity, V:	4.48	ft/s
Tc:	0.033	hr (2.0 min)
 Total Tc:	 0.250	 hr (15.0 min)

1.Data:

Drainage Area	A = 1.58	acre
Runoff Coefficient	C = 0.40	
Time of Concentration	0.25	hrs
Rainfall ID:	Connecticut DOT	
Return Period:	10 YEAR	
Rainfall Intensity:	I = 4.00	in/hr
2.Peak Discharge:	Qp = 2.53	cfs



Design Parameters

Section

Shape:	Circular
Material:	Concrete
Diameter:	15.00 in
Manning's n:	0.0130
Number of Barrels:	1

Inlet

Inlet Type:	Square Edge with Headwall
Ke:	0.50

Inverts

Inlet Invert Elevation:	291.000	ft
Outlet Invert Elevation:	289.500	ft
Length:	32.000	ft
Slope:	4.69	%

Culvert Calculation

Discharge:	2.53	cfs
Headwater Elevation:	291.901	ft
Tailwater Elevation:	0.500	ft
Downstream Velocity:	8.66	ft/s
Downstream Flow Depth:	0.360	ft
Flow Control Type:	Inlet Control, Unsubmerged	



## PREFORMED SCOUR HOLE DESIGN (English Units)

Client: Jeff Weaver  
 Project: Day Street Subdivision  
 Proj. No: 233015  
 Return Period for Design (yr.): 10

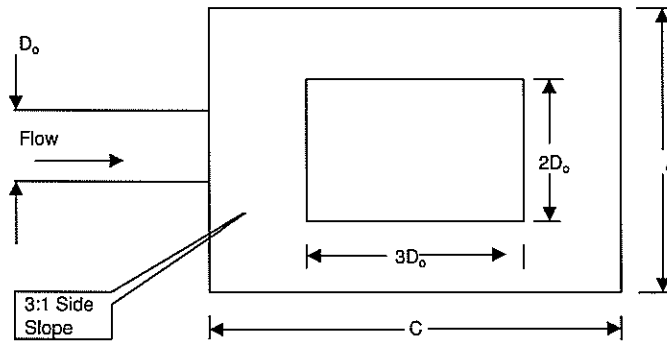
Prepared By: DJH  
 Checked By:

Date: 7/11/2023  
 Date:

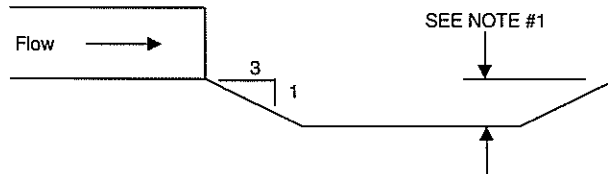
Outlet Location	Pipe Dia. ( $D_o$ ) (ft)	Q in System ( $\text{ft}^3/\text{s}$ )	critical depth (ft)	TW (ft)	basin depression (ft)	Riprap depth (in)	Length C (ft)	Width A (ft)	Riprap Size ( $d_{50}$ ) (in)	ConnDOT Riprap Size Required
Driveway culvert	1.25	2.53	1.00	1.125	0.625	12	7.5	6.3	0.3	modified

### Notes:

- The basin depression should be between  $.5D_o$  and  $D_o$ .
- Reference: "Loose Riprap Protection, Minnesota Technical Release 3, July 1989, U.S.D.A. Soil Conservation Service".



PLAN VIEW



SECTION VIEW

ARCHER SURVEYING LLC  
48 PROVIDENCE RD  
BROOKLYN, CT 06234

3121

51-7433/2111  
6



7-27-23

Date

Pay to the Order of Tony of Brooklyn \$ 460.00

Nine hundred Sixty and 00/100 Dollars



Photo Deposit Details on back

 Jewett City Savings Bank  
111 Main St. P.O. Box 335 Jewett City, CT 06351

*[Signature]*

For Weaver

MP



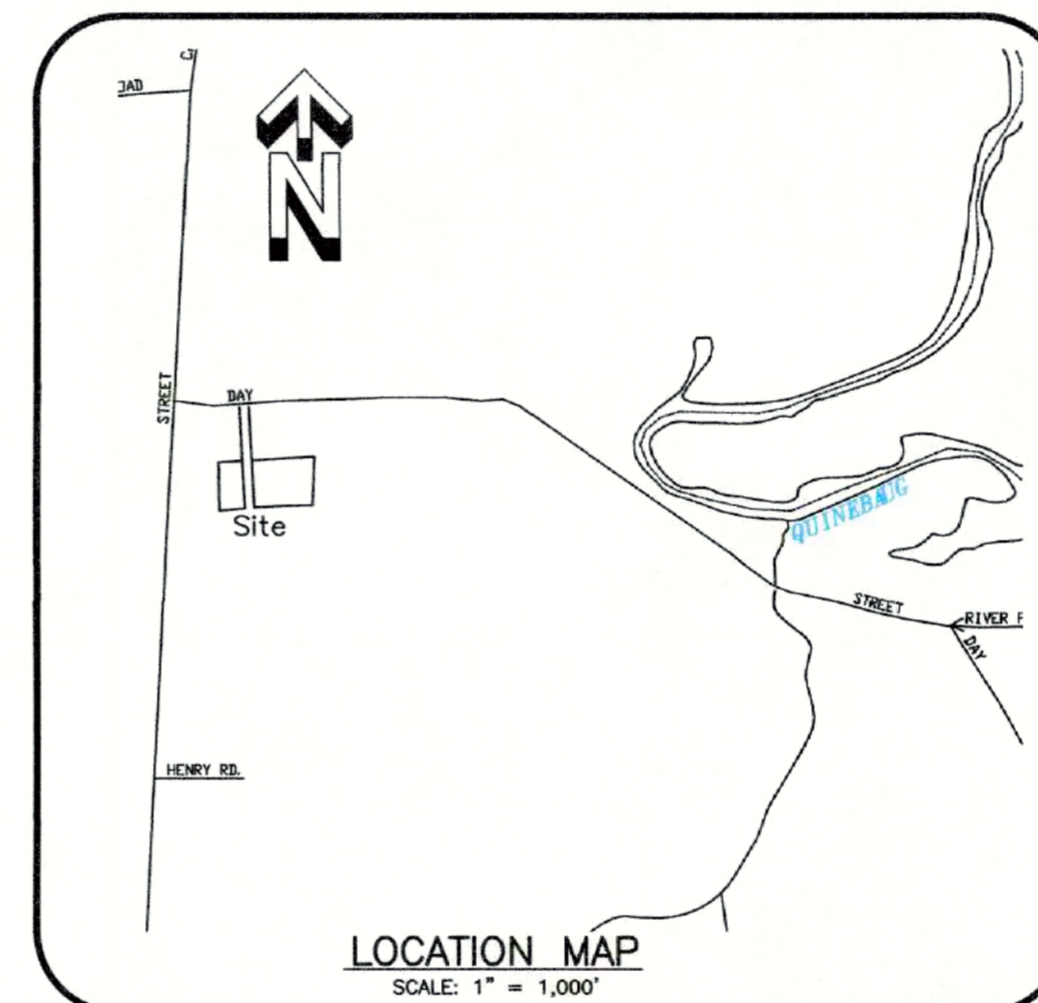
# 2 LOT SUBDIVISION

PREPARED FOR

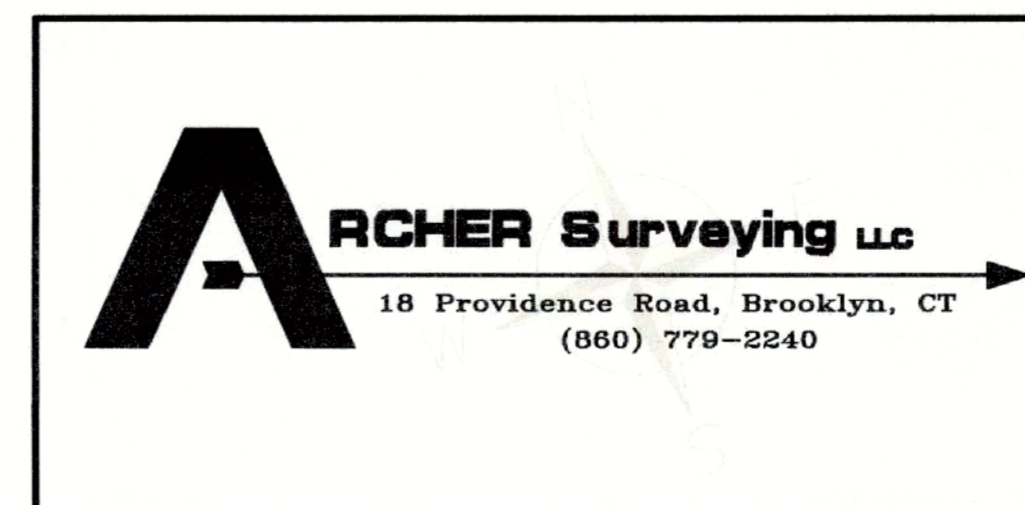
## Jeffrey Weaver

Day Street  
Brooklyn, Connecticut

May 1, 2023



PREPARED BY



### INDEX OF DRAWINGS

COVER SHEET	SHEET 1 OF 6
EXISTING CONDITION	SHEET 2 OF 6
SUBDIVISION	SHEET 3 OF 6
SITE DEVELOPMENT PLAN	SHEET 4 OF 6
DETAIL SHEET #1	SHEET 5 OF 6
HISTORY & PARCEL MAP	SHEET 6 OF 6

APPROVED BY THE BROOKLYN  
INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
Expiration date per section 22A-42A of the Connecticut  
General Statutes. Date: \_\_\_\_\_

APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
Expiration date per section 8.26C of the Connecticut  
General Statutes. Date: \_\_\_\_\_



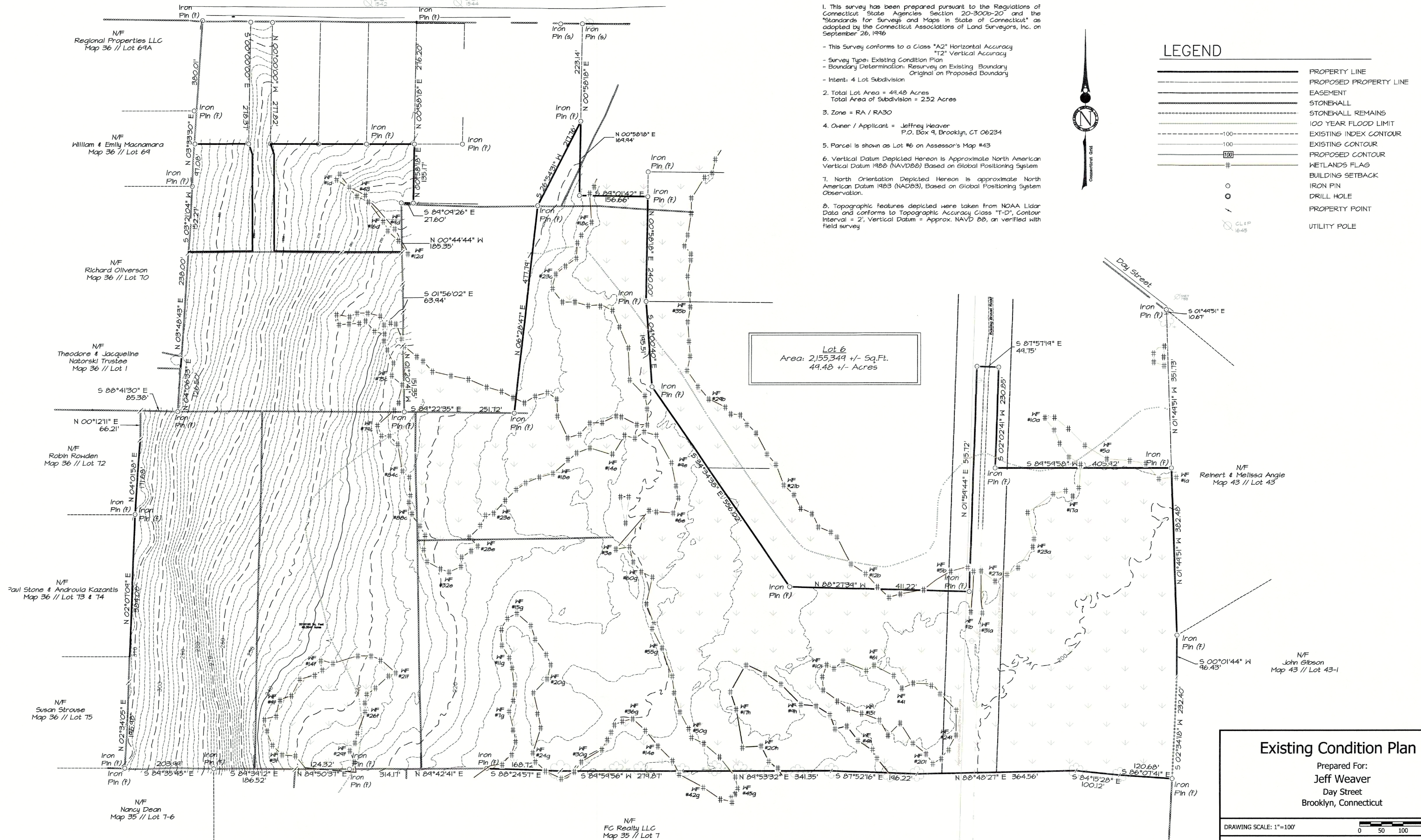
**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - This Survey conforms to a Class "A2" Horizontal Accuracy
  - "T2" Vertical Accuracy
  - Survey Type: Existing Condition Plan
  - Boundary Determination: Resurvey on Existing Boundary
  - Intent: 4 Lot Subdivision
- Total Lot Area = 44.48 Acres  
Total Area of Subdivision = 2.52 Acres
- Zone = RA / RA30
- Owner / Applicant = Jeffrey Weaver  
P.O. Box 4, Brooklyn, CT 06234
- Parcel is shown as Lot #6 on Assessor's Map #43
- Vertical Datum Depicted Hereon is Approximate North American Vertical Datum 1988 (NAVD88) Based on Global Positioning System
- North Orientation Depicted Hereon is approximate North American Datum 1983 (NAD83), Based on Global Positioning System Observation.
- Topographic features depicted were taken from NOAA Lidar Data and conforms to Topographic Accuracy Class "T-D", Contour Interval = 2', Vertical Datum = Approx. NAVD 88, as verified with field survey



**LEGEND**

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT
- STONEWALL
- STONEWALL REMAINS
- 100 YEAR FLOOD LIMIT
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- PROPERTY POINT
- UTILITY POLE



**Lot 6**  
 Area: 2,155,349 +/- Sq.Ft.  
 49.48 +/- Acres

**MAP REFERENCE:**

- Division of Property - First Time Split, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1"=100', Prepared by Archer Surveying LLC
- 10 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
- 6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LL5 #10013 \_\_\_\_\_ Date \_\_\_\_\_

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

REVISIONS	
7/16	MISC

**Existing Condition Plan**

Prepared For:  
**Jeff Weaver**  
 Day Street  
 Brooklyn, Connecticut

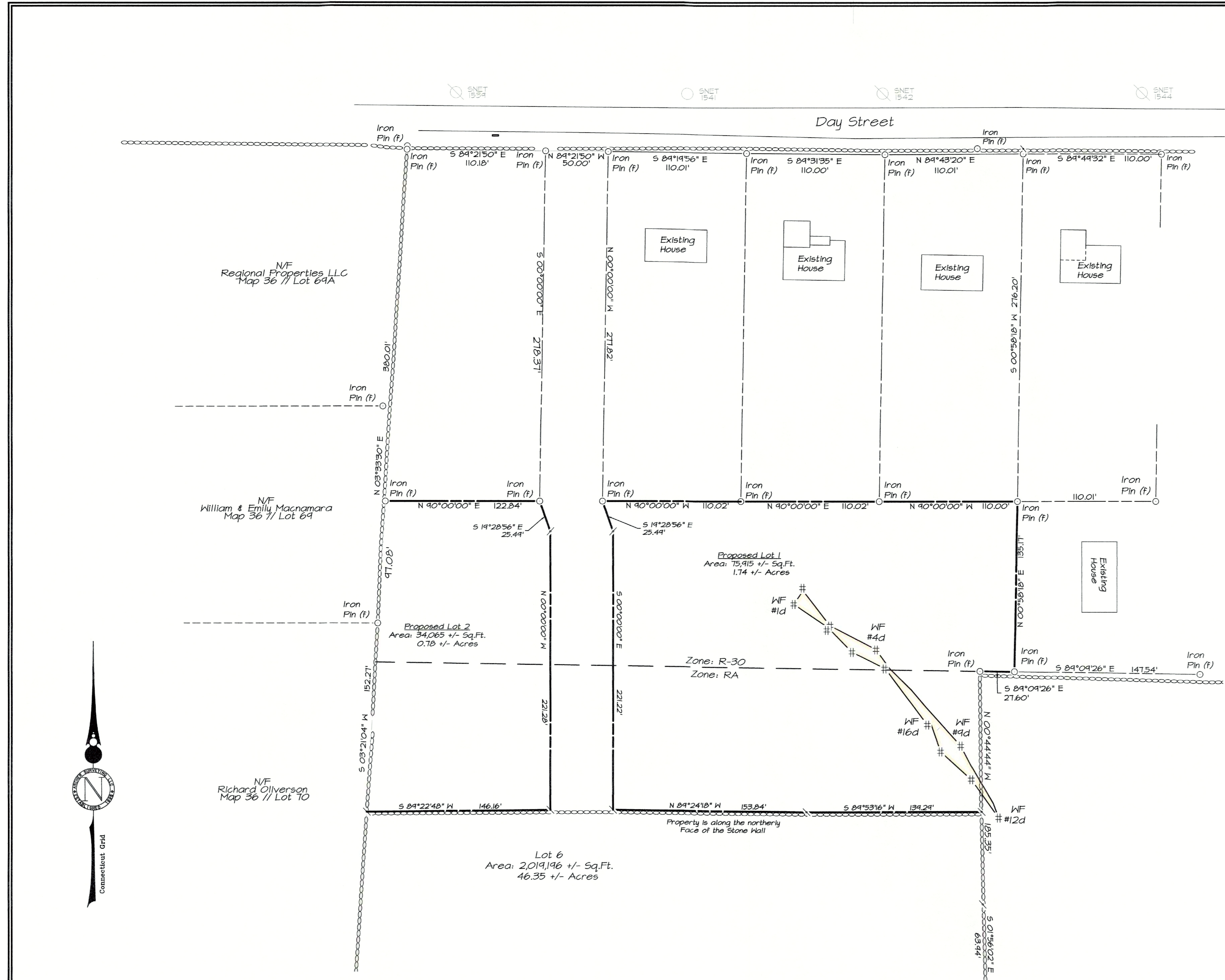
DRAWING SCALE: 1"=100'

18 Providence Road, Brooklyn, CT  
 (860) 779-2240 / (860) 928-1921

**LOUIS J. SOJA, JR.**  
 LAND SURVEYOR - LICENSE #10013

Sheet No. \_\_\_\_\_ x Project No. 2212 Date: May 1, 2023





**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - This Survey conforms to a Class "A-2" Horizontal Accuracy Class "T-2" Vertical Accuracy
  - Survey Type: Subdivision Plan
  - Boundary Determination: Resurvey on Existing Boundary Original on Proposed Boundary
  - Intent: 4 Lot Subdivision
- Total Lot Area = 49.48 Acres  
Total Area of Subdivision = 2.52 Acres
- Zone = R-30 / RA
- Owner / Applicant = Jeffrey Weaver  
P.O. Box 9, Brooklyn, CT 06234
- Parcel is shown as Lot #6 on Assessor's Map #43
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year Flood hazard area
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018 and field located by Archer Surveying LLC
- There are not Known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
- Parcel does not lie within an aquifer protection area
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
- Passive Solar Energy techniques were considered in the design of the subdivision

**MAP REFERENCE:**

- Division of Property - First Time Split, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1"=100', Prepared by Archer Surveying LLC
- 10 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
- 6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC
- 4 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: July 2021, Scale: 1"=50', Prepared by Archer Surveying LLC

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #10013 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

N/F Regional Properties LLC  
Map 36 // Lot 64A

N/F William & Emily Macnamara  
Map 36 // Lot 64

N/F Richard Olliverson  
Map 36 // Lot 10

Lot 6  
Area: 2,019,196 +/- Sq.Ft.  
46.35 +/- Acres

Proposed Lot 1  
Area: 75,915 +/- Sq.Ft.  
1.74 +/- Acres

Proposed Lot 2  
Area: 34,065 +/- Sq.Ft.  
0.78 +/- Acres

Property is along the northerly Face of the Stone Wall

**LEGEND**

	EXISTING PROPERTY LINE		100 YEAR FLOOD LIMIT
	PROPOSED PROPERTY LINE		EXISTING INDEX CONTOUR
	EXISTING EASEMENT LINE		EXISTING CONTOUR
	ZONE LINE		WETLANDS FLAG
	STONEWALL		BUILDING SETBACK
	STONEWALL REMAINS		IRON PIN FOUND
	UTILITY POLE		PROPERTY POINT

REVISIONS	

**Subdivision Plan**  
**"2 Lot Subdivision"**

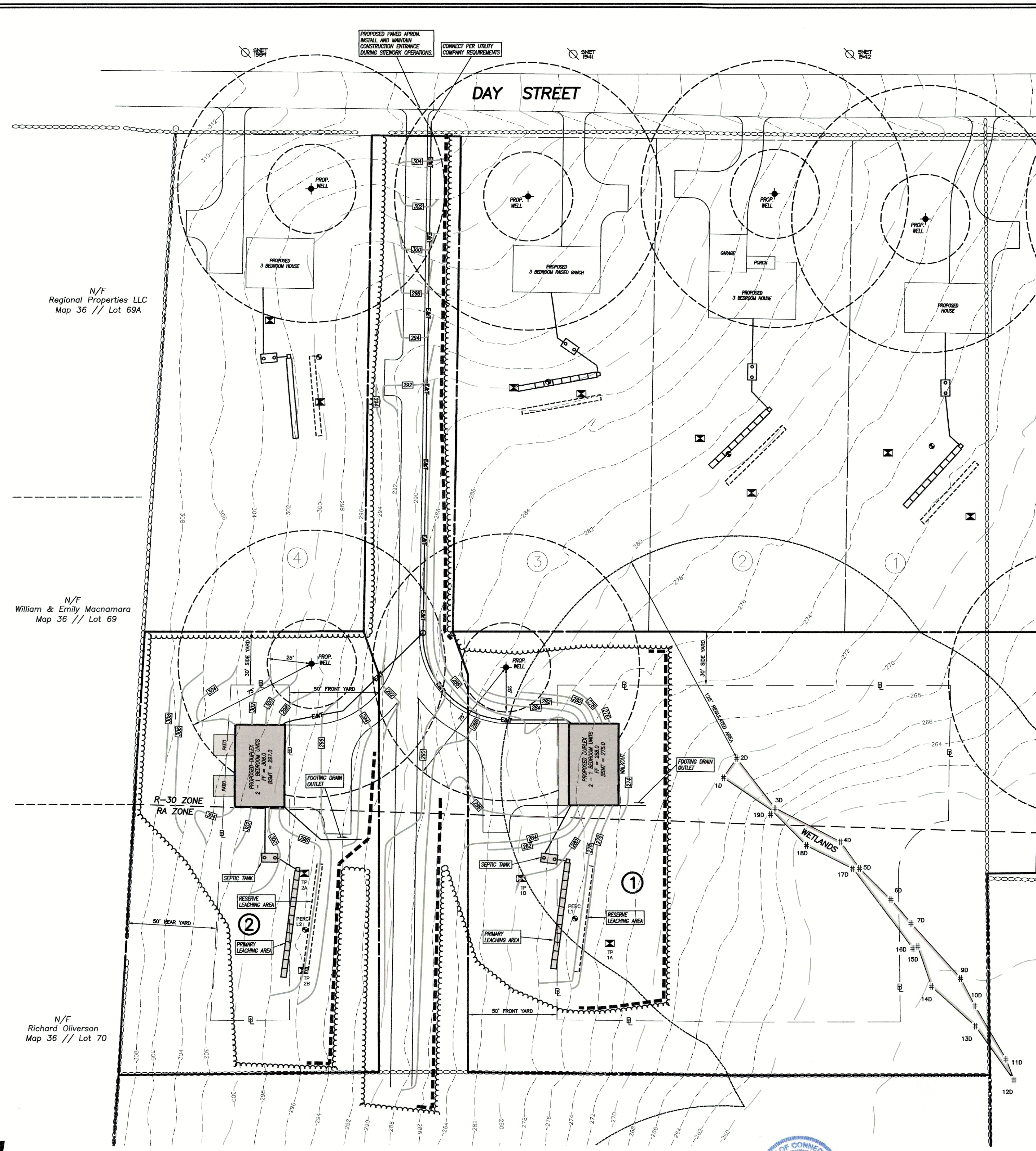
Prepared For:  
**Jeffrey Weaver**  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'

18 Providence Road, Brooklyn, CT  
(860) 779-2240 / (860) 928-1921

**LOUIS J. SOJA, JR.**  
LAND SURVEYOR AND PLANNER





N/F  
Regional Properties LLC  
Map 36 // Lot 69A

N/F  
William & Emily Macnamara  
Map 36 // Lot 69

N/F  
Richard Oliverson  
Map 36 // Lot 70

SEPTIC SYSTEM DESIGN DATA - LOT 1

Percolation Rate = 3.33 min. / in.  
 2 bedroom duplex requires = 660 s.f. effective leaching area  
 Effective Leaching area = 11.0 s.f. / l.f. of trench  
 Length Required = 660/11.0 = 60 l.f.  
 Length Provided = 12 units @ 5 l.f. = 60 l.f.  
 Min. Leaching System Spread (MLSS) = 20.0 x 2.0 x 1.0 = 40'  
 MLSS Provided = 60'

LEACHING FIELD  
 60 l.f. Mantis 536-8 leaching units (12 units @ 5 l.f. each)  
 Maximum depth into existing grade = 6"

SEPTIC SYSTEM DESIGN DATA - LOT 2

Percolation Rate = 3.33 min. / in.  
 2 bedroom duplex requires = 660 s.f. effective leaching area  
 Effective Leaching area = 11.0 s.f. / l.f. of trench  
 Length Required = 660/11.0 = 60 l.f.  
 Length Provided = 12 units @ 5 l.f. = 60 l.f.  
 Min. Leaching System Spread (MLSS) = 26.0 x 2.0 x 1.0 = 52'  
 MLSS Provided = 60'

LEACHING FIELD  
 60 l.f. Mantis 536-8 leaching units (12 units @ 5 l.f. each)  
 Maximum depth into existing grade = 2"

LEGEND

- ☒ TEST PIT
- # WETLAND FLAG
- STONE WALL
- - - - - EXISTING INDEX CONTOUR
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- PROPOSED UTILITIES
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- BUILDING SETBACK LINE



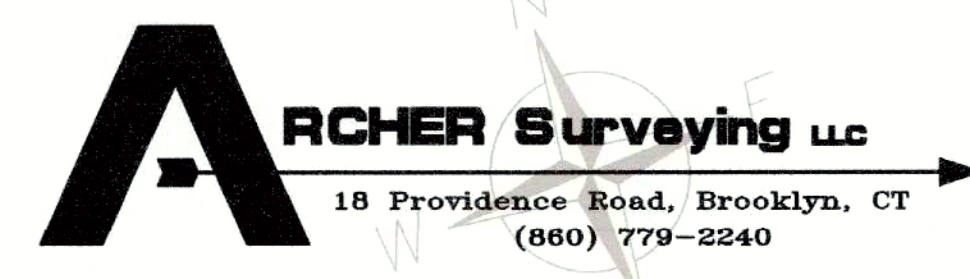
SURVEY NOTES:

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018; This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
  - This survey conforms to a Class "C" horizontal accuracy.
  - Topographic features conform to a Class "T-2" accuracy.
  - Survey Type: General Location Survey.
2. The subject parcel is shown as a portion of lot #6, on assessor's map #43.
3. Zone: R-30 & RA.
4. Owner of record: Jeffrey Weaver, P.O. Box 9, Brooklyn, CT 06234.
5. The intent of this survey is to show the residential development of the subject property.
6. Elevations based on NAVD 1988. Contour interval = 2'.
7. North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
8. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
9. Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.

Site Development Plan

Prepared For:  
 Jeffrey Weaver  
 Day Street  
 Brooklyn, Connecticut

DRAWING SCALE: 1"=30'



Provost & Dovero, Inc.

Civil Engineering • Surveying • Site Planning  
 Structural • Mechanical • Architectural Engineering  
 57 East Main Street, P.O. Box 191  
 Plainfield, Connecticut 06374  
 (860) 230-0856 • FAX: (860) 230-0860  
 info@provostinc.com  
 www.provostinc.com

REVISIONS	
DATE	DESCRIPTION

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



PAUL M. ARCHER LLS #70013 DATE  
 ENGINEER DATE  
 5/1/2023

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.



**EROSION AND SEDIMENT CONTROL PLAN:**

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Windham County Connecticut, U.S.D.A. Soil Conservation Service 1983.

**DEVELOPMENT SCHEDULE (Individual Lots):**

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during that grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

**DEVELOPMENT CONTROL PLAN:**

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklin will be notified when sediment and erosion control structures are initially in place. Any additional soil erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All strippling is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overlapped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (rocked over), or
  - the geotextile has decomposed or been damaged.

**HAY BALE INSTALLATION AND MAINTENANCE:**

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be hedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the inland wetlands commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overlapped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have decomposed or been damaged.

**TEMPORARY VEGETATIVE COVER:**

**SEED SELECTION**

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure T5-2 in the 2002 Guidelines.

**TIMING CONSIDERATIONS**

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

**SITE PREPARATION**

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

**SEEDBED PREPARATION**

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the track marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 15 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure T5-1 in the 2002 Guidelines.

**SEEDING**

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

**MULCHING**

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 85%-100% coverage.

**MAINTENANCE**

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and soil erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

**PERMANENT VEGETATIVE COVER:**

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread to a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1,000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1,000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

**PRINCIPLES OF EROSION AND SEDIMENT CONTROL**

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

**KEEP LAND DISTURBANCE TO A MINIMUM**

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flows into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

**SLOW THE FLOW**

Detachment and transport of eroded soil must be kept to a minimum by diverting and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases due to development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone ditches, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

**KEEP CLEAN RUNOFF SEPARATED**

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

**REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS**

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

**SEPTIC SYSTEM CONSTRUCTION NOTES**

1. The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.

2. Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
  - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

**GRADATION OF FILL (MINUS GRAVEL)**

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	10% - 50%	10% - 100%
No. 40	0% - 20%	0% - 15%
No. 100	0% - 5%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of ten feet (10') beyond the last leaching trench before tapering off.

3. Septic tank shall be two compartment precast 1500 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
4. Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.

5. All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.

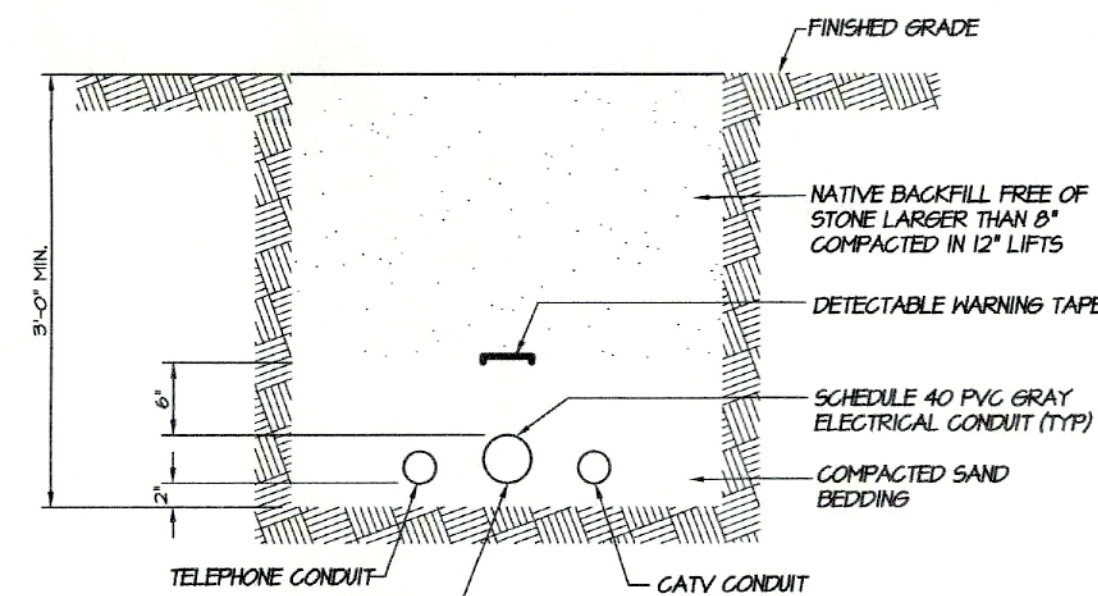
6. Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasketed joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.

7. Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-2724 or ASTM D-3350, 1500 lb. minimum crush.

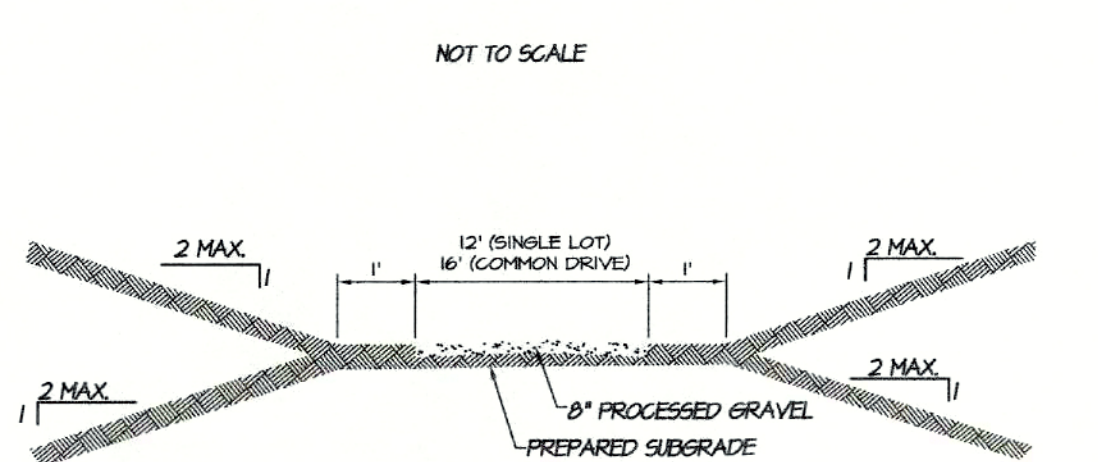
8. Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.

9. Force main pressure pipe from pump chamber to the leaching field shall be 2" diameter pvc meeting ASTM D 2241 SDR 21.

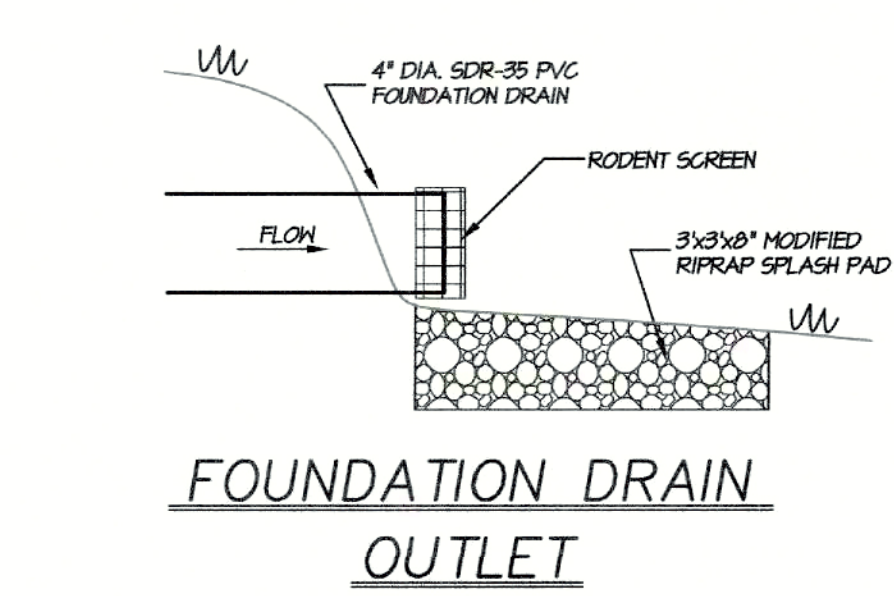
10. Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.



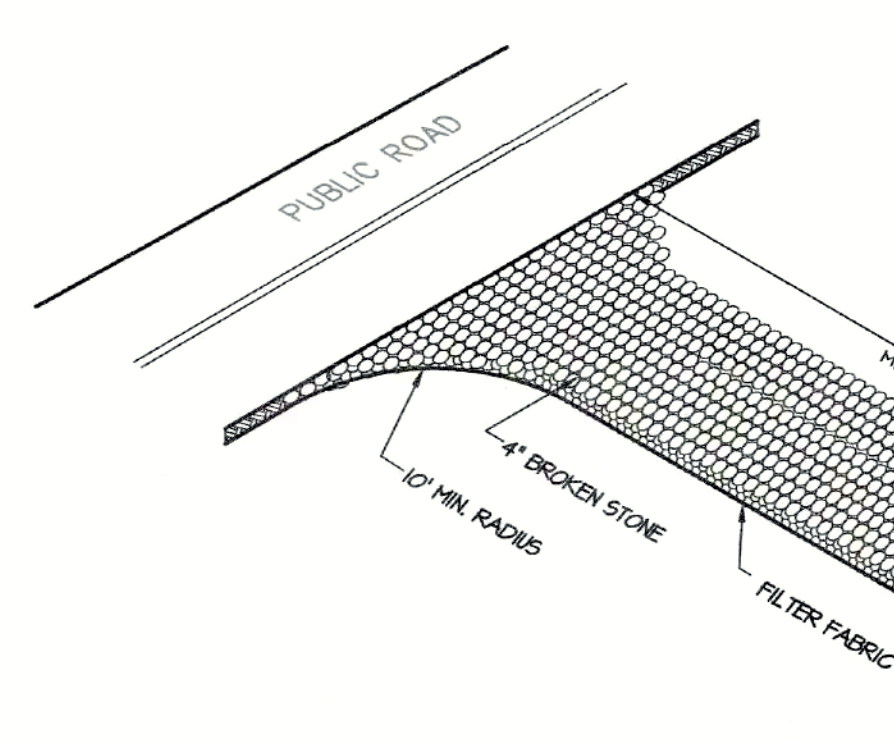
NOTE: CONTRACTOR SHALL PROVIDE SILTCLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.



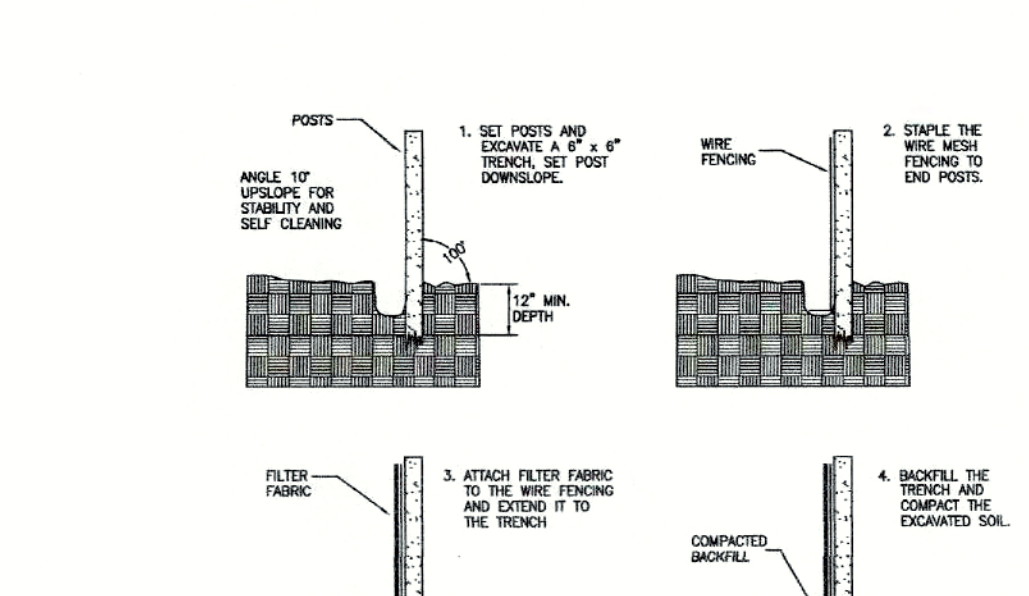
NOT TO SCALE



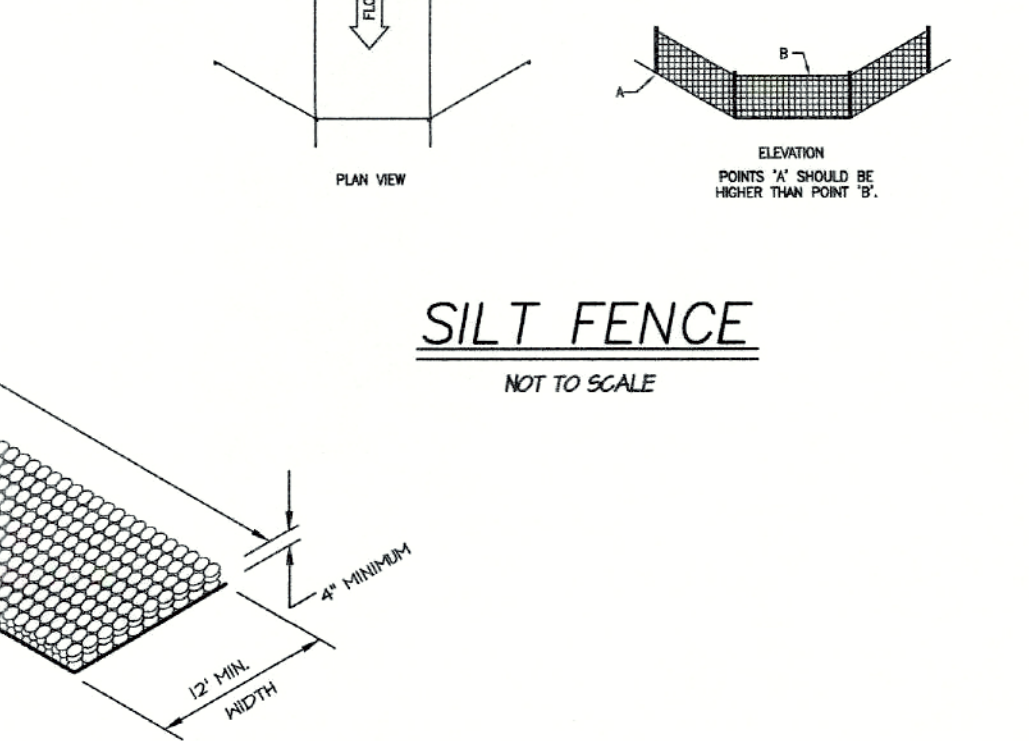
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

**TEST PIT OBSERVATIONS 2/16/2023**

Observed by: Donovan Moe, NDDH

TEST PIT	DEPTH	PROFILE
1A	0-12"	topsoil
	12-36"	brown sandy loam
	36-48"	tan fine sandy loam with pockets of rotten rock
	48-96"	wet gray sandy loam with rotten rock
	Mottling	36"
	GWT	48" (seepage)
1B	0-6"	topsoil
	6-30"	brown sandy loam to a tan fine sandy loam
	30-87"	compact gray mottled sandy loam with fines
	87-93"	groundwater
	Mottling	30"
	GWT	87" (seepage @ 42")
Ledge	N/A	
Roots	18"	
Restrictive	30"	

**PERCOLATION TESTS 2/13/2023**

Observed by: Donovan Moe, NDDH

Parc L1  
Depth: 24"

TIME	DEPTH
12:13	2.75"
12:18	12"
12:28	18.5"
12:33	20.5"
12:38	22"

Percolation Rate: 3.33 min/inch

**TEST PIT OBSERVATIONS 2/16/2023**

Observed by: Donovan Moe, NDDH

TEST PIT	DEPTH	PROFILE
2A	0-5"	topsoil
	05-26"	brown sandy loam w/fines
	26-95"	Compact Gray Sandy Loam
	Mottling	26"
	GWT	N/A
	Ledge	N/A
Roots	5"	
Restrictive	26"	
2B	0-6"	topsoil
	6-26"	brown sandy loam w/fines
	26-88"	compact gray mottled sandy loam with fines
	88-94"	groundwater
	Mottling	26"
	GWT	88"
Ledge	N/A	
Roots	20"	
Restrictive	26"	

**PERCOLATION TESTS 2/13/2023**

Observed by: Donovan Moe, NDDH

Parc L2  
Depth: 20"

TIME	DEPTH
12:47	1"
12:49	5"
12:52	8"
12:55	10"
1:00	13"
1:05	15"
1:10	16.5"
1:15	18"

Percolation Rate: 3.33 min/inch

REVISIONS	

**Detail Sheet**  
"2 Lot Subdivision"

Prepared For:  
**Jeffrey Weaver**  
Day Street  
Brooklyn, Connecticut

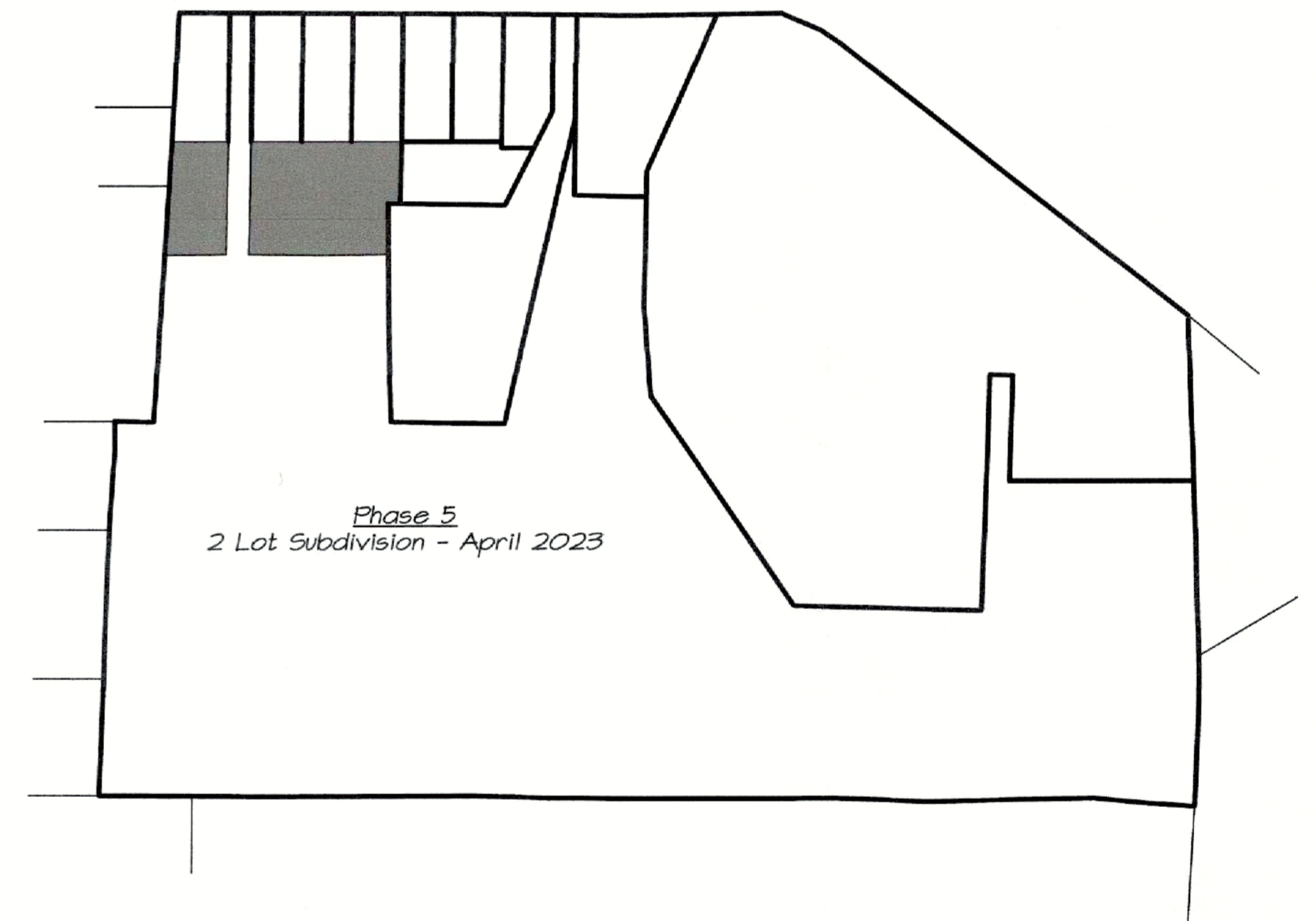
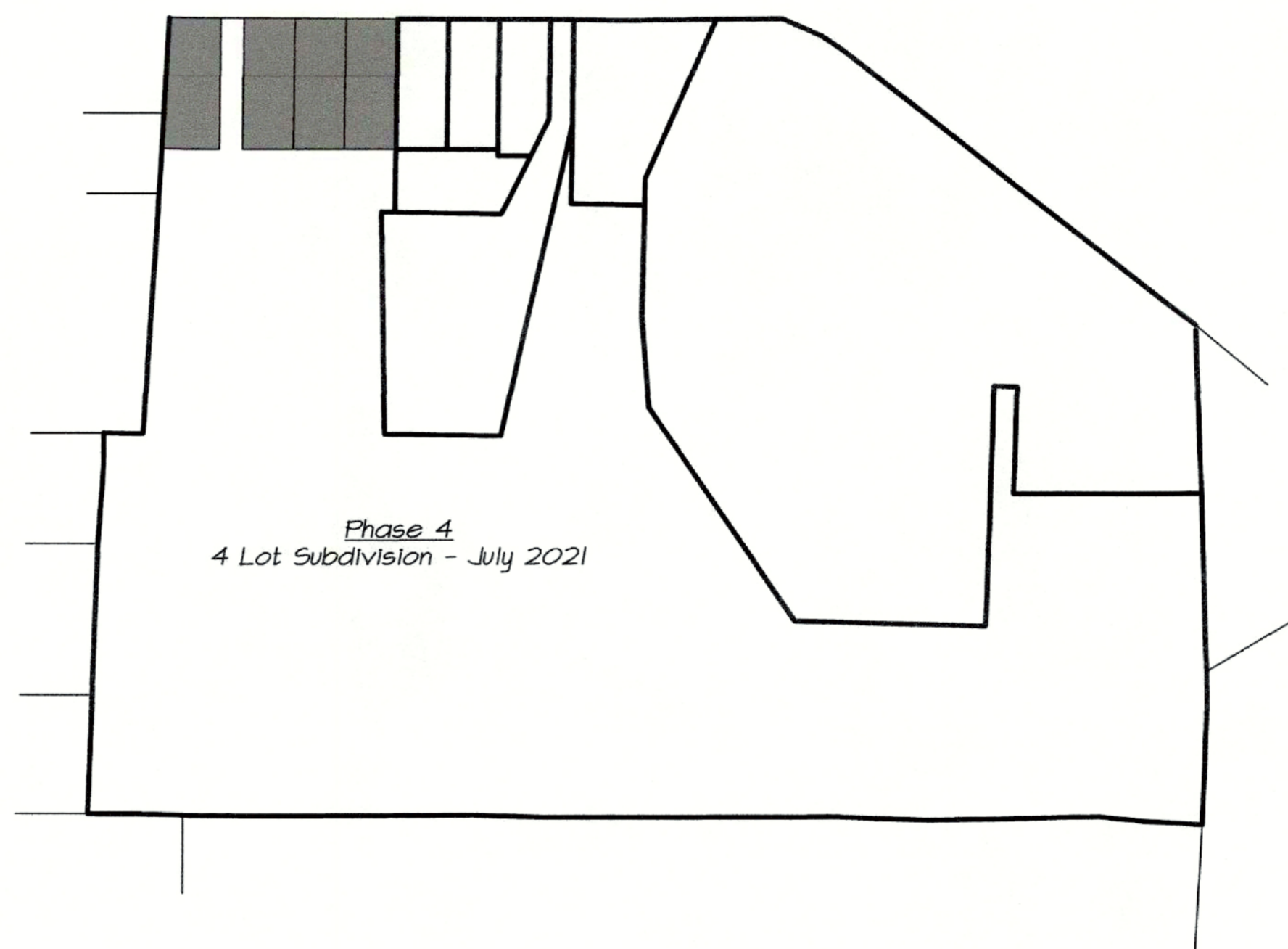
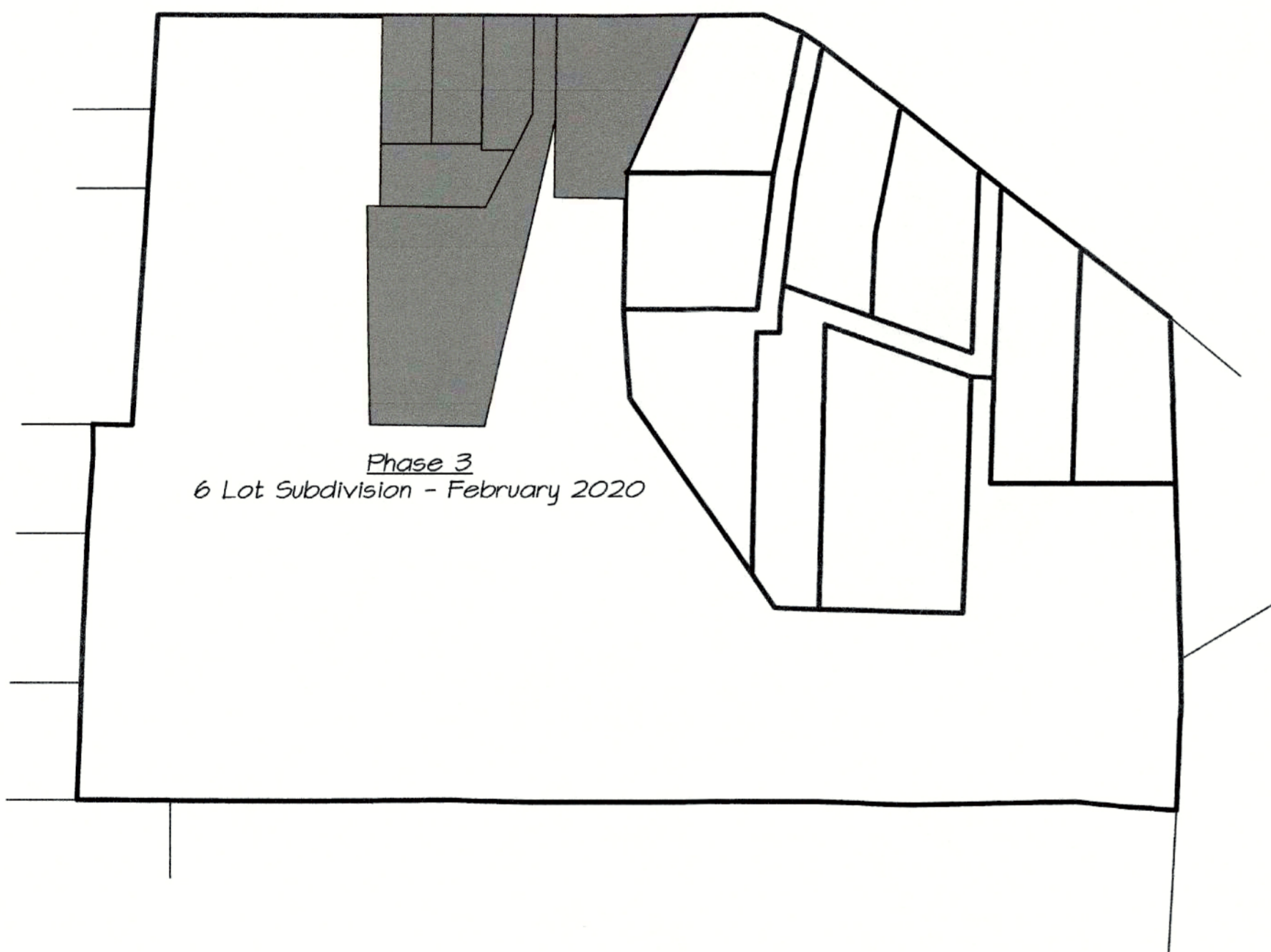
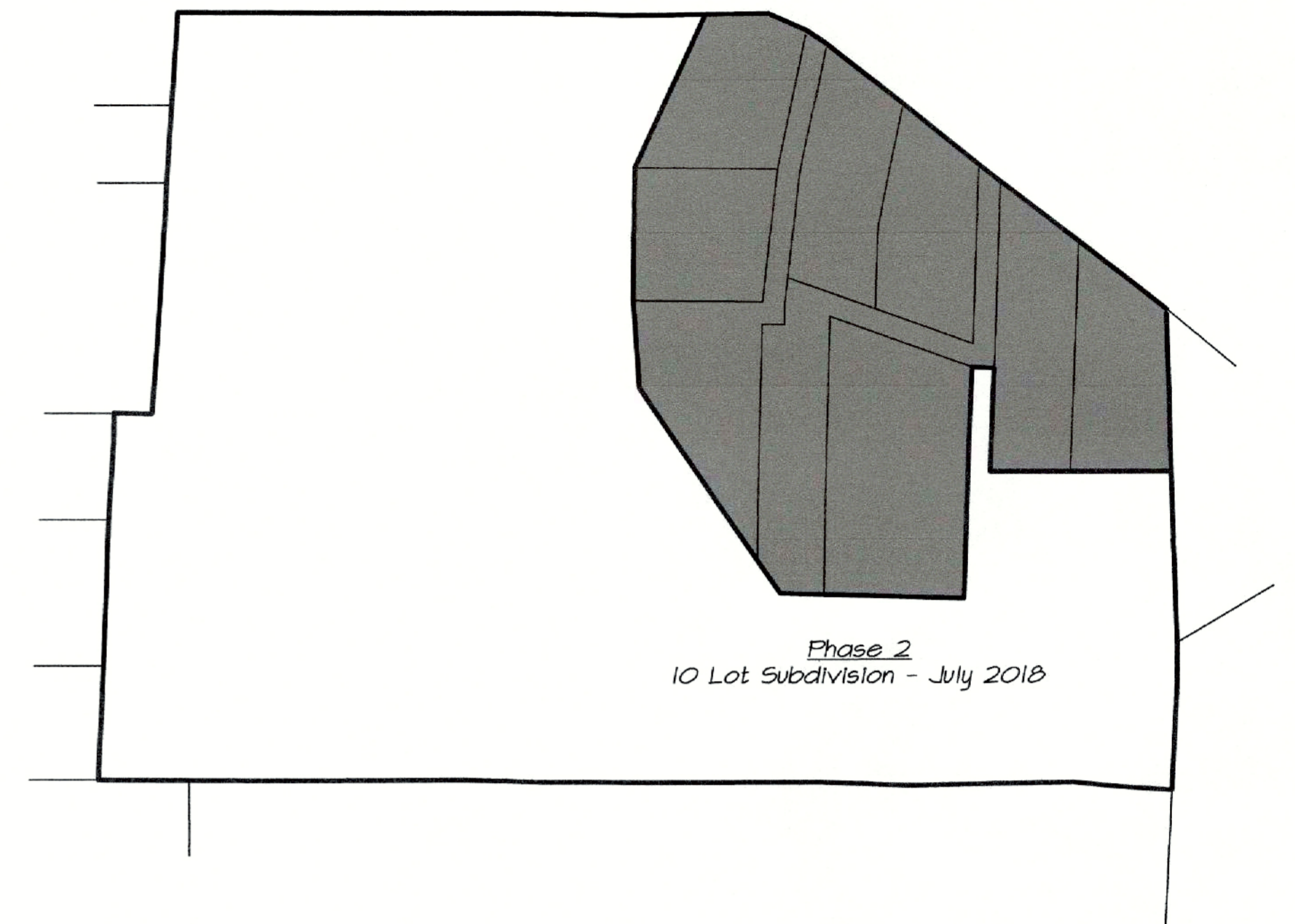
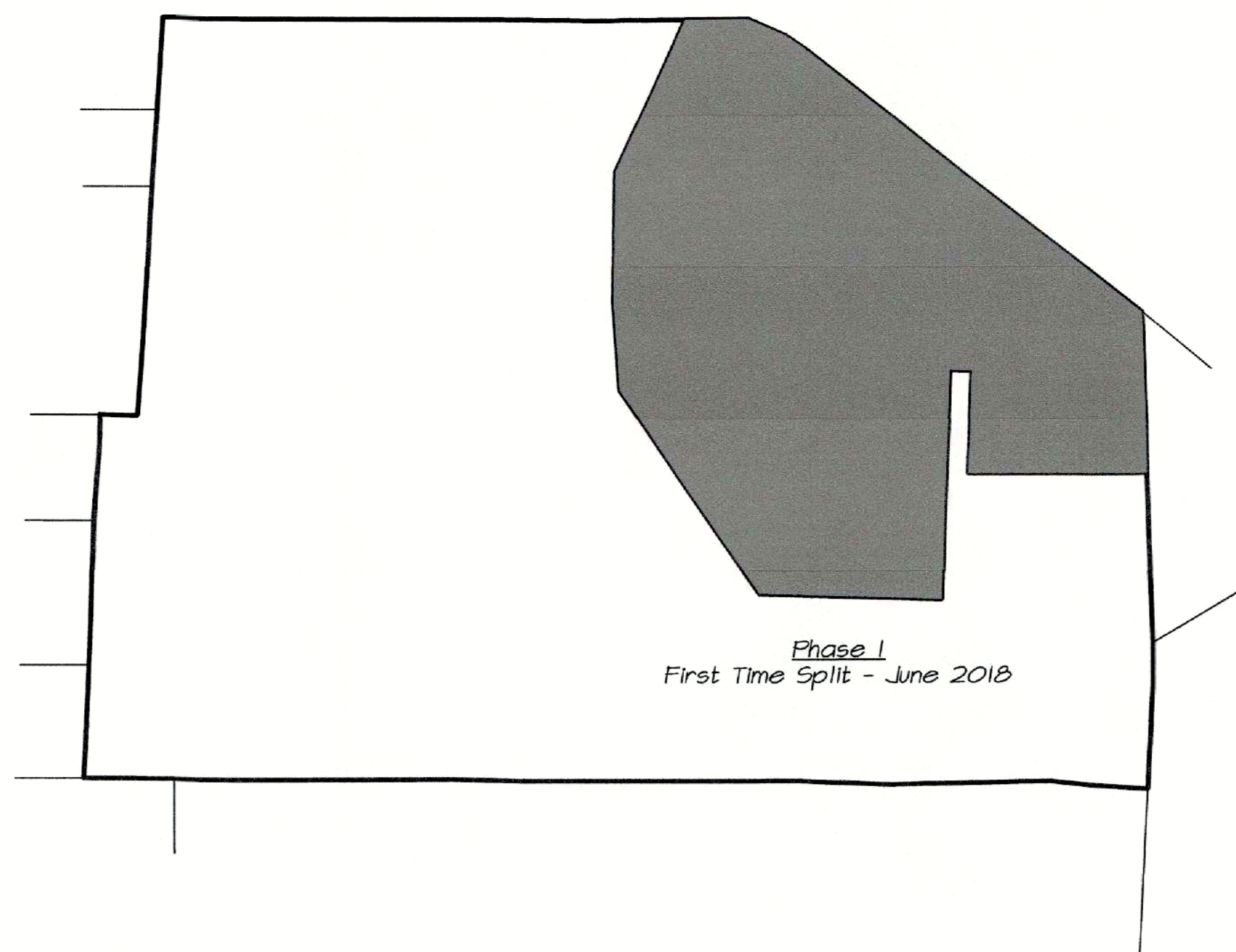
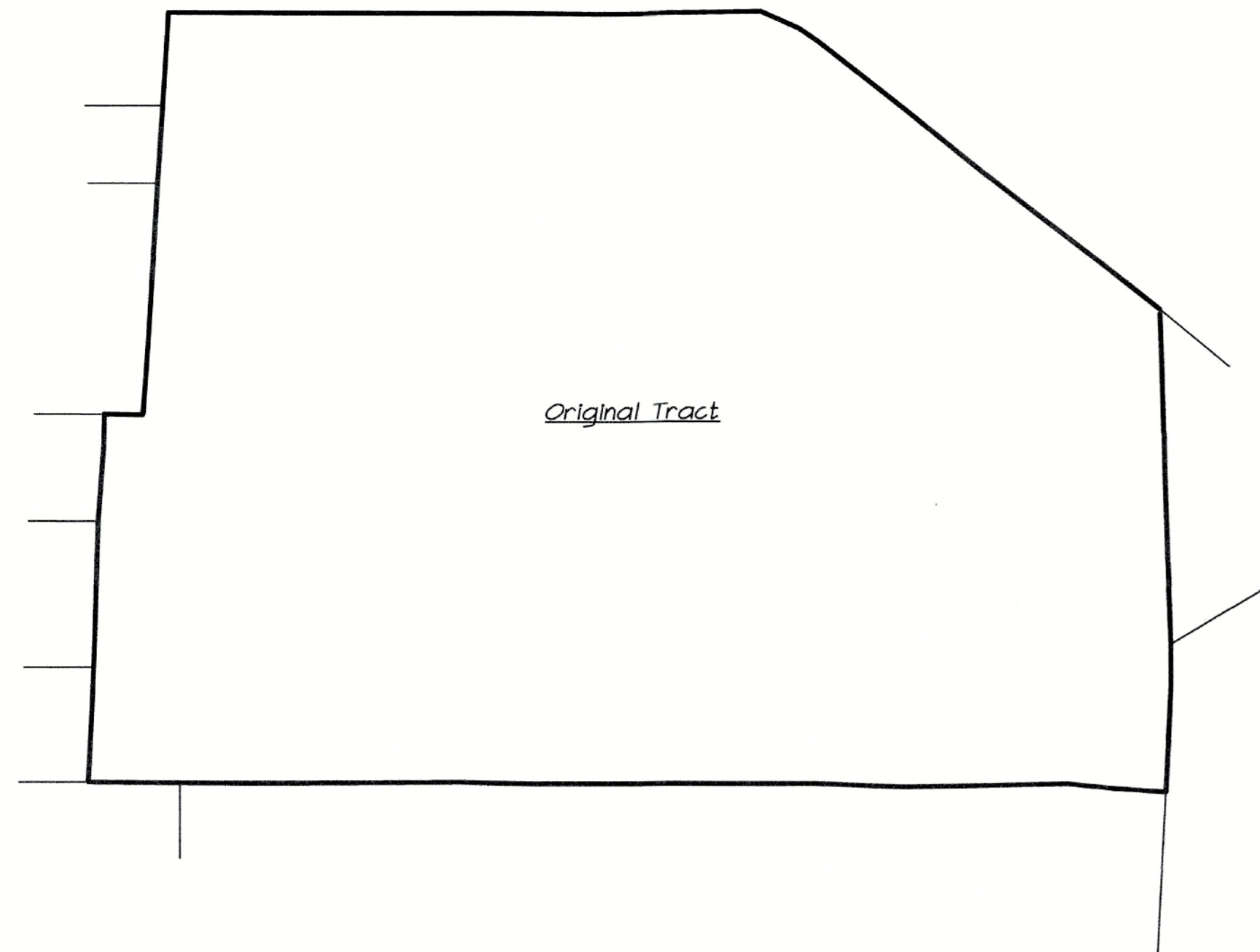
DRAWING SCALE: 1"=40'

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240 / (860) 926-1921

**KWP** **LOUIS J. SOJA, JR.**  
SURVEYOR - ENGINEER - GIS PLANNER  
LAND SURVEYOR - LAND PLANNER

Sheet No. 5 of 6 Project No. 2212 Date: May 1, 2023





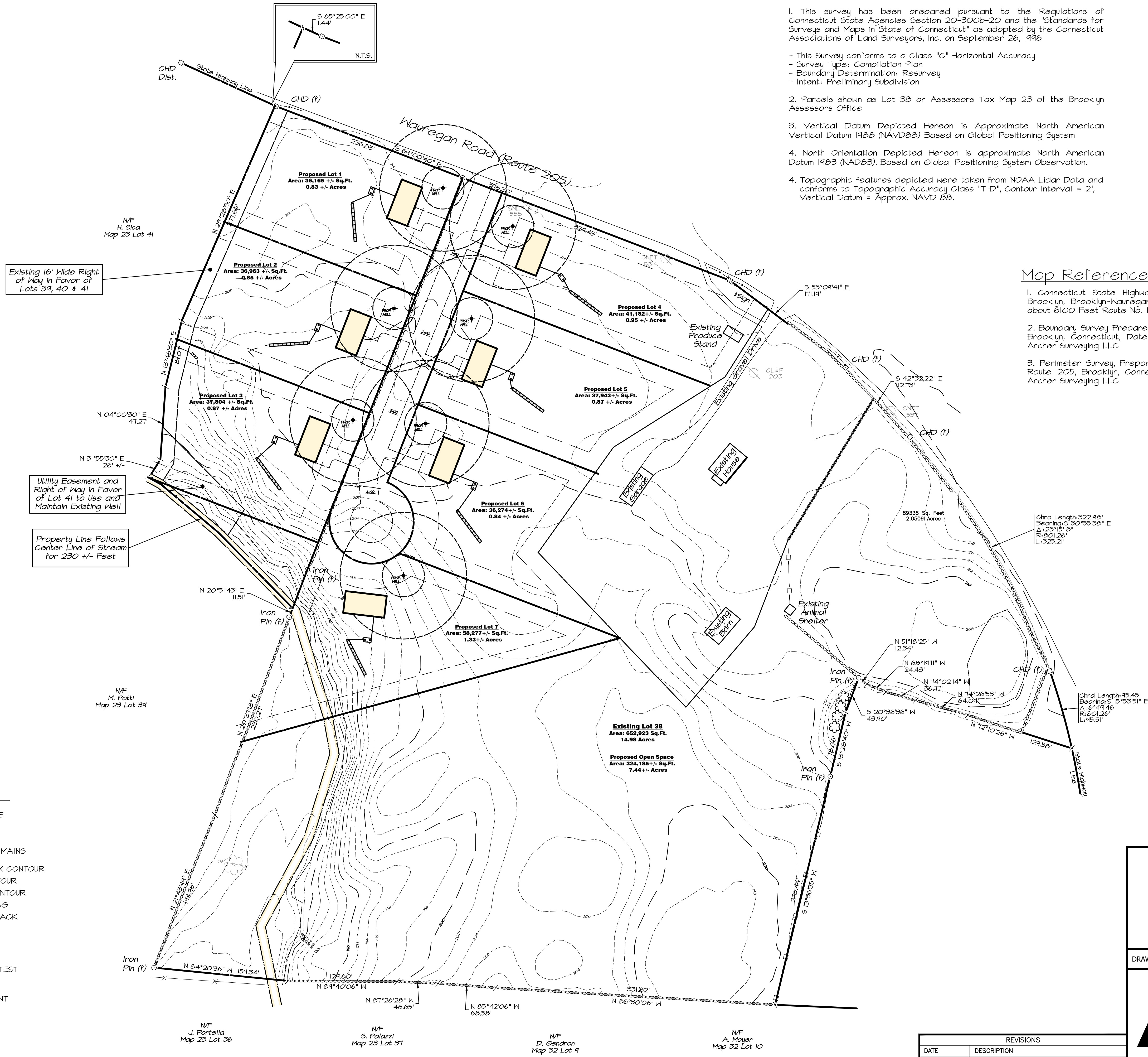
Grantor	Grantee	Date	Vol. / Pg.
	Michael & Sara Lancer	October 1969	48 / 266
Michael & Sara Lancer	Harold Lancer	July 1989	96 / 379
Harold Lancer	Harold Lancer Trustee	July 1997	184 / 89
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 299
Jeffrey A Weaver	Jeffrey A Weaver	June 2018	611 / 81

**History Plan**  
 "2 Lot Subdivision"  
 Prepared For:  
 Jeffrey Weaver  
 Day Street  
 Brooklyn, Connecticut

**ARCHER Surveying LLC**  
 18 Providence Road, Brooklyn, CT  
 (860) 779-2240

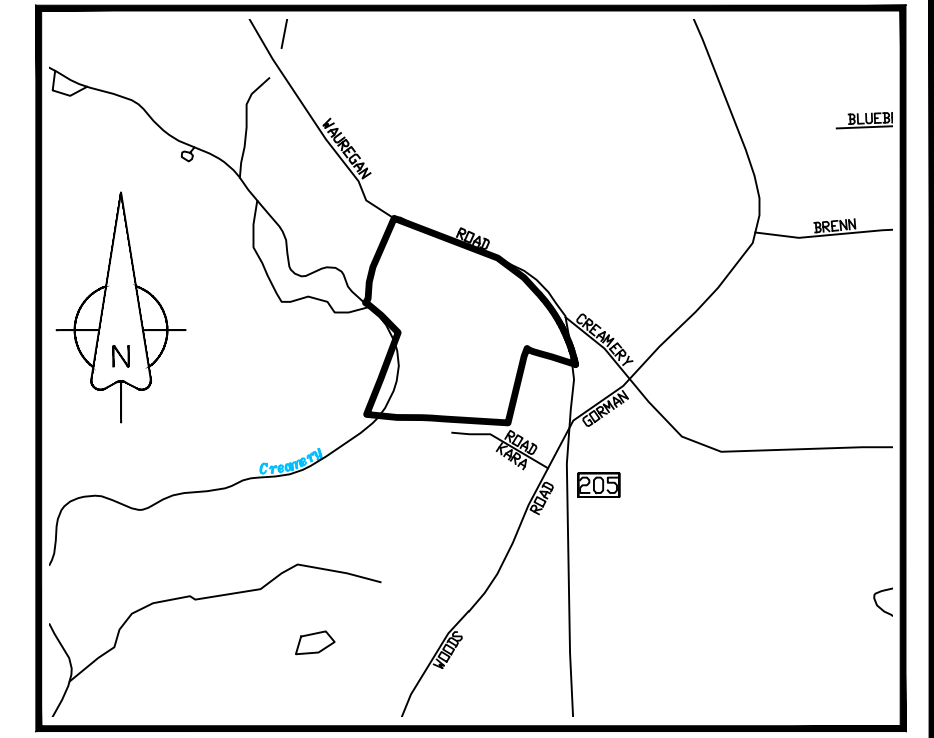
REVISIONS	
DATE	DESCRIPTION





**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996
  - This Survey conforms to a Class "C" Horizontal Accuracy
  - Survey Type: Compilation Plan
  - Boundary Determination: Resurvey
  - Intent: Preliminary Subdivision
- Parcels shown as Lot 38 on Assessors Tax Map 23 of the Brooklyn Assessors Office
- Vertical Datum Depicted Hereon is Approximate North American Vertical Datum 1988 (NAVD88) Based on Global Positioning System
- North Orientation Depicted Hereon is approximate North American Datum 1983 (NAD83), Based on Global Positioning System Observation.
- Topographic features depicted were taken from NOAA Lidar Data and conforms to Topographic Accuracy Class "T-D", Contour Interval = 2', Vertical Datum = Approx. NAVD 88.



**Location Map**  
SCALE  
1000 0 1000  
1" = 1000 FT

**Map Reference**

- Connecticut State Highway Department Right of Way Map Town of Brooklyn, Brooklyn-Wauregan Road from The Harris Property Southerly about 6100 Feet Route No. 144, Scale: 1" = 40', Date: May 1930
- Boundary Survey Prepared for Jack Kirby, Wauregan Road-Route 205, Brooklyn, Connecticut, Dated: June 2006, Scale: 1"=40" Prepared by Archer Surveying LLC
- Perimeter Survey, Prepared For: Teresa Masse, 173 Wauregan Road, Route 205, Brooklyn, Connecticut, Date: November 2015, Prepared by: Archer Surveying LLC

Existing 16' Wide Right of Way In Favor of Lots 39, 40 & 41

Utility Easement and Right of Way In Favor of Lot 41 to Use and Maintain Existing Well

Property Line Follows Center Line of Stream for 230 +/- Feet

**LEGEND**

- PROPERTY LINE
- - - - - EASEMENT
- ⋯⋯⋯ STONEWALL
- ⋯⋯⋯ STONEWALL REMAINS
- - - - - 100 EXISTING INDEX CONTOUR
- - - - - 100 EXISTING CONTOUR
- - - - - 100 PROPOSED CONTOUR
- ⊞ WETLANDS FLAG
- ⊞ BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT
- ⊗ PERCOLATION TEST
- ⊗ TEST PIT
- PROPERTY POINT
- UTILITY POLE

REVISIONS	
DATE	DESCRIPTION

**Preliminary Division Plan**  
"Conservation Subdivision"  
Prepared For:  
**Tetreault Building Company**  
Wauregan Road - Route #205  
Brooklyn, Connecticut

DRAWING SCALE: 1"=60'

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240 / (860) 928-1921

**KVP** **LOUIS J. SOJA, JR.**  
SURVEYING - ENGINEERING - SITE PLANNING  
LAND SURVEYING - LAND PLANNING





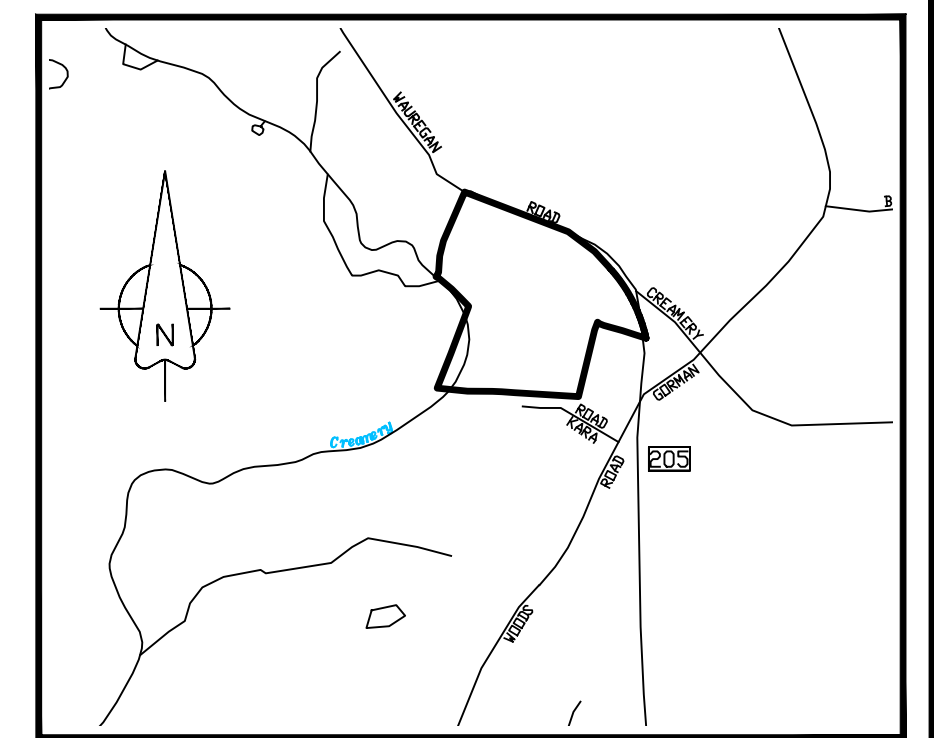
Existing 16' Wide Right of Way in Favor of Lots 39, 40 & 41

Utility Easement and Right of Way in Favor of Lot 41 to Use and Maintain Existing Well

Property Line Follows Center Line of Stream for 230 +/- Feet

**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1986
  - This Survey conforms to a Class "C" Horizontal Accuracy
  - Survey Type: Compilation Plan
  - Boundary Determination: Resurvey
  - Intent: Preliminary Subdivision
- Parcels shown as Lot 38 on Assessors Tax Map 23 of the Brooklyn Assessors Office
- Vertical Datum Depicted Hereon is Approximate North American Vertical Datum 1988 (NAVD88) Based on Global Positioning System
- North Orientation Depicted Hereon is approximate North American Datum 1983 (NAD83), Based on Global Positioning System Observation.
- Topographic features depicted were taken from NOAA Lidar Data and conforms to Topographic Accuracy Class "T-D", Contour Interval = 2', Vertical Datum = Approx. NAVD 88.



**Location Map**  
SCALE  
1000 0 1000  
1" = 1000 FT

**Map Reference**

- Connecticut State Highway Department Right of Way Map Town of Brooklyn, Brooklyn-Wauregan Road from The Harris Property Southerly about 6100 Feet Route No. 144, Scale: 1" = 40', Date: May 1930
- Boundary Survey Prepared for Jack Kirby, Wauregan Road-Route 205, Brooklyn, Connecticut, Dated: June 2006, Scale: 1"=40' Prepared by Archer Surveying LLC
- Perimeter Survey, Prepared For: Teresa Masse, 173 Wauregan Road, Route 205, Brooklyn, Connecticut, Date: November 2015, Prepared by: Archer Surveying LLC

**LEGEND**

- PROPERTY LINE
- EASEMENT
- STONEWALL
- STONEWALL REMAINS
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT
- ⊗ PERCOLATION TEST
- ⊗ TEST PIT
- ⊗ PROPERTY POINT
- ⊗ UTILITY POLE

**Lot 38**  
Area: 741,842 Sq.Ft.  
17.03 Acres

NF  
M. Patti  
Map 23 Lot 39

NF  
J. Portella  
Map 23 Lot 36

NF  
S. Palazzo  
Map 23 Lot 37

NF  
D. Gendron  
Map 32 Lot 9

NF  
A. Moyer  
Map 32 Lot 10

**Proposed Lot 7**  
Area: 88,578 +/- Sq.Ft.  
2.03 +/- Acres

**Proposed Lot 6**  
Area: 88,057 +/- Sq.Ft.  
2.02 +/- Acres

**Proposed Lot 5**  
Area: 90,075 +/- Sq.Ft.  
2.07 +/- Acres

**Proposed Lot 4**  
Area: 85,338 +/- Sq.Ft.  
2.05 +/- Acres

**Proposed Lot 2**  
Area: 87,548 +/- Sq.Ft.  
2.01 +/- Acres

**Proposed Lot 3**  
Area: 93,049 +/- Sq.Ft.  
2.14 +/- Acres

**Proposed Lot 1**  
Area: 88,600 +/- Sq.Ft.  
2.03 +/- Acres

Chrd Length: 322.98'  
Bearing: S 30°55'38" E  
Δ: 223.15'  
R: 801.26'  
L: 325.21'

Chrd Length: 45.45'  
Bearing: S 15°55'51" E  
Δ: 16.44'46"  
R: 801.26'  
L: 45.51'

REVISIONS	
DATE	DESCRIPTION

**Preliminary Division Plan**  
"Conventional Subdivision"  
Prepared For:  
**Tetreault Building Company**  
Wauregan Road - Route #205  
Brooklyn, Connecticut

DRAWING SCALE: 1"=60'  
0 30 60 120



Sheet No. 1 OF 1 Project No. AS 2223 Date: July 10, 2023



# Town of Brooklyn

## P&Z Budget FY23

From Date: 7/1/2023

To Date: 7/31/2023

Fiscal Year: 2023-2024

- Subtotal by Collapse Mask   
  Include pre encumbrance   
  Print accounts with zero balance   
  Filter Encumbrance Detail by Date Range  
 Exclude Inactive Accounts with zero balance

Account Number	Description	GL Budget	Range To Date	YTD	Balance	Encumbrance	Budget Balance	% Bud
1005.41.4153.51620	Planning & Zoning-Wages PT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
1005.41.4153.51900	Planning & Zoning-Wages-Rec. S	\$4,800.00	\$0.00	\$0.00	\$4,800.00	\$0.00	\$4,800.00	100.00%
1005.41.4153.53020	Planning & Zoning-Legal Servic	\$10,000.00	\$0.00	\$0.00	\$10,000.00	\$0.00	\$10,000.00	100.00%
1005.41.4153.53200	Planning & Zoning-Professional	\$110.00	\$0.00	\$0.00	\$110.00	\$0.00	\$110.00	100.00%
1005.41.4153.53220	Planning & Zoning-In Service T	\$500.00	\$0.00	\$0.00	\$500.00	\$0.00	\$500.00	100.00%
1005.41.4153.53400	Planning & Zoning-Other Profes	\$1,000.00	\$0.00	\$0.00	\$1,000.00	\$0.00	\$1,000.00	100.00%
1005.41.4153.55400	Planning & Zoning-Advertising	\$1,000.00	\$0.00	\$0.00	\$1,000.00	\$0.00	\$1,000.00	100.00%
1005.41.4153.55500	Planning & Zoning-Printing & P	\$1,000.00	\$0.00	\$0.00	\$1,000.00	\$0.00	\$1,000.00	100.00%
1005.41.4153.55800	Planning & Zoning-Transportati	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
1005.41.4153.56900	Planning & Zoning-Other Suppli	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
1005.41.4153.56950	Planning & Zoning-State Marsha	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
<b>Grand Total:</b>		\$18,410.00	\$0.00	\$0.00	\$18,410.00	\$0.00	\$18,410.00	100.00%

End of Report



# Town of Brooklyn

## Revenue Report

From Date: 7/1/2023

To Date: 7/31/2023

Fiscal Year: 2023-2024

Subtotal by Collapse Mask

Include pre encumbrance

Print accounts with zero balance

Filter Encumbrance Detail by Date Range

Exclude Inactive Accounts with zero balance

Account Number	Description	GL Budget	Range To Date	YTD	Balance	Encumbrance	Budget Balance	% Bud
1005.00.0000.42203	Planning & Zoning Fees	(\$8,000.00)	\$0.00	\$0.00	(\$8,000.00)	\$0.00	(\$8,000.00)	100.00%
<b>Grand Total:</b>		(\$8,000.00)	\$0.00	\$0.00	(\$8,000.00)	\$0.00	(\$8,000.00)	100.00%

End of Report





**TOWN OF CANTERBURY  
LAND USE OFFICE**

1 MUNICIPAL DRIVE  
CANTERBURY, CT 06331  
PHONE 860-546-6857

TO: Town Brooklyn  
FROM: Town of Canterbury Planning & Zoning Commission  
DATE: July 13, 2023  
SUBJECT: Public Hearing

Please be advised that the Canterbury Planning & Zoning Commission received an application for a Special Exception for the establishment and operation of a disk golf course. The address for the proposal is located at 452 North Canterbury Road, within 500' of the town of Brooklyn.

The Planning & Zoning Commission will hold a public hearing on the application on Thursday, August 10, 2023, at 7:00 p.m. at the Canterbury Municipal Building, 1 Municipal Drive. At that time comments will be heard, and written statements received. All interested parties are urged to attend. A copy of the application is attached and plans are available at the Land Use Office.

If you have any questions, please contact the Land Use Office at 546-6857.

RECEIVED  
TOWN CLERK'S OFFICE

2023 JUL 20 AM 11:41

RECORDED VOL. PAGE  
*Katherine Bissar*  
TOWN CLERK BROOKLYN, CT



Planning & Zoning Application for:  
(check only one)

**FOR OFFICE USE**  
Application Rcv'd: 7-6-23  
Application Date: 7-13-23  
Application Fee: 100 pd.

- Subdivision
- Resubdivision
- Modification of Approved Subdivision
- Site Plan Review
- Special Exception
- Home Occupation
- Permit Extension
- Permit Renewal

Name of Applicant(s): David Ethier

Mailing Address: 452 North Canterbury Road, Canterbury, CT 06331

Home Phone #: 865-801-1197 Business Phone #: \_\_\_\_\_

If different than above information, please give:

Name of Property Owner(s): \_\_\_\_\_

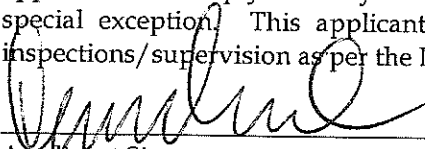
Location of Property involved in application: \_\_\_\_\_

Map#: 59 Lot#: 2B & 8 Vol#: 269 Pg#: 337  
271 123

Please describe the proposed activity: Establishment and operation of a disk golf course.

Briefly list any accompanying materials submitted with the application (such as maps, soil testing, NDDH reports and/or reviews, etc.):  
Site plans and application narrative

The applicant guarantees that all the applicable requirements of these Zoning Regulations will be met and that the applicant will comply with any terms, conditions, or restrictions which the Planning & Zoning Commission places on this special exception. This applicant is required to pay all costs incurred for engineering review of plans and site inspections/supervision as per the Land Use Fee Schedules.

  
Applicant Signature

7/2/23  
Date

FOR COMMISSION USE:  
 Date of Application Action: \_\_\_\_\_ Date Notice of Action Published: \_\_\_\_\_  
 Application Approved                       Application Denied  
 \_\_\_\_\_  
 Chairman Signature



P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

July 5, 2023

Town of Canterbury  
Planning & Zoning Commission  
1 Municipal Drive  
Canterbury, CT 06331

**RE: David Ethier – Proposed Disk Golf Course – North Canterbury Road (Route 169)  
P&R Job No. 223046**

Dear Commissioners:

This letter accompanies an application by David Ethier for a special exception to establish and operate a disk golf course on property shown as lots 2B and 8 on assessor's map 59. These two parcels comprise approximately 136.23 acres on the westerly side of North Canterbury Road. The subject property is located in the Rural District zone. Approval is sought in accordance with sections 9.1, 9.2 and 13 of the Canterbury Zoning Regulations. The intent of the applicant is to host several competition events per year which may require parking for approximately 50 vehicles. The course may also be opened to paid public use at a much less intense level when competition events are not going on.

The following information is offered pursuant to section 9.1 of the Canterbury Zoning Regulations:

9.1.B. *The minimum tract area shall be five (5) acres or more as required by the Commission to assure adequate separation from the neighboring properties for the particular use proposed.*

The subject property consists of two parcels, each of which is greater than five acres. The total area of both parcels is 136.23 acres.

9.1.C. *Evidence of adequate potable water supply and sanitary sewage disposal to provide for the maximum requirements of the proposed uses shall be submitted for approval by the Director of Health, and by state agencies having jurisdiction.*

No permanent water supply or sanitary facilities are required or proposed for the disk golf course. Portable restrooms will be utilized at the parking area. If necessary, bottled water may be provided during competition events.

9.1.D. *No structure except a single-family dwelling shall be less than one hundred (100) feet from the nearest street or less than five hundred (500) feet from the nearest dwelling located on land under other ownership.*

No permanent structures or buildings are proposed as part of this project.

9.1.E. *Off-street parking shall be provided as required in Section 11 of these Regulations. No parking areas shall be located less than forty (40) feet from a public highway and located less than one hundred (100) feet from any other property line shall be protected by a landscaped buffer strip not less than forty (40) feet wide.*

Parking will be provided in a grass field which can be temporarily striped if necessary for competition events. It is also anticipated that during such events, personnel will be available to direct parking activities if necessary. The size of the field is based on the maximum anticipated number of vehicles during the largest annual event. The existing natural forest vegetation which will remain in place will provide the required 40' buffer width where the parking area is less than 100 feet from a property boundary.



9.1.F. *The volume of sound from music and public address systems shall be so controlled as to meet the regulations of Connecticut State Agencies Sec. 221-69-1 et. Se 22a-69-1 et. seq.*

No music or public address systems are proposed as part of this project.

9.1.G. *Outdoor barbecue activities shall terminate at ten o'clock (10:00) p.m., and all other outdoor activities shall terminate at midnight.*

Although such activities are not anticipated as part of this project, any such activities that are undertaken will be conducted in accordance with these requirements.

Because the proposed disk golf course is a special exception use in the Rural District, the following information is offered pursuant to section 13.5 of the Canterbury Zoning Regulations:

13.5.A. *Compliance with the Plan of Development for the Town of Canterbury*

The proposed disk golf course is a low impact use which allows for economic development while preserving the rural character of the town and the natural characteristics of the subject property. This is consistent with section 4 of the January 1, 2022 Plan of Conservation and Development. The project complies with all dimensional requirements of the Canterbury Zoning Regulations.

13.5.B. *Adverse Effects*

The proposed driveway entrance onto North Canterbury Road is currently under review by ConnDOT and has been designed in accordance with current ConnDOT standards. There are no other elements of the project which would have a potential effect on the health and safety of others. There are no anticipated detrimental effects on the use or development of adjacent properties or the general neighborhood.

13.5.C. *Traffic Movement*

The traffic generation from the project will be insignificant, even during competition events and will have no meaningful impact on North Canterbury Road.

13.5.D. *Orderly Development*

The project will not create unnecessary additional curb cuts on North Canterbury Road, nor will it in any way affect the potential development of surrounding properties in accordance with the Canterbury Zoning Regulations.

13.5.E. *Property Values and Character*

With the exception of the proposed curb cut and driveway, it is anticipated that the entirety of the project will not be visible from adjacent properties and therefore will have no potential to affect property values. The land is essentially being maintained in a natural state to accommodate the proposed use and will remain in harmony with adjacent properties.

13.5.F. *Parking and Loading*

Parking has been provided for the maximum anticipated vehicular traffic during an event in accordance with Section 11.

13.5.G. *Landscaping*

With the exception of clearing for the driveway and parking field and selective clearing of brush, the property will be left as a natural forest.

13.5.H. *Traffic Generation*

The proposed driveway onto North Canterbury Road is under review by ConnDOT. ConnDOT approval will only be granted after their determination that the driveway entrance is safe. Traffic generation resulting from the project will be negligible compared to background traffic on North Canterbury Road.



13.5.I. *Traffic Access*

The driveway complies with ConnDOT standards and is under ConnDOT review.

13.5.J. *Water Supply*

No water company will be created as a result of this project. No water supply of any kind is required for this project.

13.5.K. *Public Health, Safety and Environmental Protection*

Emergency vehicles can access the parking area. The project does not include any elements which may increase fire danger or any other danger to the public or surrounding properties. The project will have little or no impact on the natural environment and preserves the natural resources on the subject property.

13.5.L. *Appropriateness of Use*

The intensity of the proposed use is in keeping with the surrounding area. There will not be any detrimental impacts to existing public facilities, surrounding properties or the environment.

13.5.M. *Architectural Character, Historic Preservation and Site Design*

No buildings or structures are proposed as part of this project. With the exception of the driveway, it is anticipated that the project will not be visible from other properties.

13.5.N. *Uses In, Adjacent to, or Impacting Residential Areas*

No buildings or structures are proposed as part of this project. With the exception of the driveway, it is anticipated that the project will not be visible from other properties. As such, there will be no impacts to surrounding properties in the Rural District.

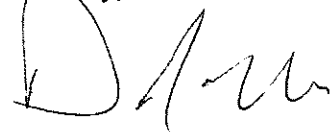
13.5.O. *Specific Recommendations and Requirements for Sites and Buildings*

No buildings or structures are proposed as part of this project. No lighting is proposed as part of this project. The project is screened by the existing natural forest from surrounding properties.

In accordance with section 12.25 of the Canterbury Zoning Regulations, we respectfully request that the Commission make a determination that the information presented herein in addition to the site plans attached hereto are sufficient to decide on this application and that any detail requirements in sections 12.13 through 12.24 which may not be included herewith are not necessary to decide on the application and need not be submitted.

If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.