

**TOWN OF BROOKLYN**  
**PLANNING AND ZONING COMMISSION**  
**Annual Organizational and Regular Meeting Agenda**  
**Tuesday, February 15, 2022 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>Clifford B. Green Meeting Center, Suite 24, 69 South Main Street, Brooklyn, CT</b> <b>Masks are optional for vaccinated individuals.</b>	
<b>Click link below:</b> <a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a>	<b>Go to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a></b> <b>Enter meeting ID: 847 6556 4828</b>
<b>Dial: 1-646-558-8656</b>	
<b>Enter meeting number: 847 6556 4828, then press #, Press # again to enter meeting</b>	

- I. Call to Order**
- II. Roll Call**
- III. Seating/Appointment of Alternates**
- IV. Election of Officers**
- V. Adoption of Minutes:** Special Meeting January 18, 2022
- VI. Public Commentary**
- VII. Unfinished Business:**
  - a. **Reading of Legal Notices:**
  - b. **New Public Hearings:**
    - 1. **ZRC 21-002:** Request to change Zoning Regulations concerning retail sale of cannabis and micro-cultivation, Applicant: PZC.
    - 2. **SP 21-003:** Special Permit for Adaptive Reuse of an Agricultural Building at 330 Day Street, Applicant: Jesse Trinque.
    - 3. **SP 21-004:** Special Permit for Accessory Apartment at 26 Herrick Road, Applicant: Michael Bunning.
    - 4. **ZRC 21-003:** Request to change Zoning Regulations concerning Adaptive Re-Use of an Agricultural Building, Sec. 6.B.3.1., Applicant: Brooklyn Self Storage, LLC.
  - c. **Continued Public Hearings: None.**
  - d. **Other Unfinished Business:**
    - 1. **ZRC 21-001:** Request to change Zoning Regulations concerning Conservation Subdivisions, Applicant: KA&G Development, LLC, c/o David Held.
    - 2. **SRC 21-001:** Request to change Subdivision Regulations concerning Conservation Subdivisions, Applicant: KA&G Development, LLC, c/o David Held.
    - 3. **ZRC 21-002:** Request to change Zoning Regulations concerning retail sale of cannabis and micro-cultivation, Applicant: PZC.
    - 4. **GBR 21-004:** Gravel Bank Renewal for Sansoucy Quarries, 248 Pomfret Road, Assessor's Map 26, Lots 19 & 19A, Applicant: Paul Sansoucy.
    - 5. **GBR 21-005:** Gravel Bank Renewal for FCR Realty LLC, 200 acres north of Brickyard Road and west of Day Street (Assessor's Map 35, Lot 7; Map 41, Lot 6; Map 42, Lot 43), Applicant: FCR Realty, LLC.
    - 6. **SP 21-003:** Special Permit for Adaptive Reuse of an Agricultural Building at 330 Day Street, Applicant: Jesse Trinque.

7. **SP 21-004:** Special Permit for Accessory Apartment at 26 Herrick Road, Applicant: Michael Bunning.
8. **ZRC 21-003:** Request to change Zoning Regulations concerning Adaptive Re-Use of an Agricultural Building, Sec. 6.B.3.1., Applicant: Brooklyn Self Storage, LLC.

**VIII. New Business:**

a. **Applications:**

1. **SP 22-001:** Special Permit for Accessory Apartment at 190 Wolf Den Road, Applicant: JP Rimoczy.

b. **Other New Business:**

1. Pre-application Review for 8 Wauregan Road and abutting parcel, A. Kausch & Sons.
2. Second Subdivision Filing Extension of SD 21-004.

**IX. Reports of Officers and Committees:**

- a. Staff Reports
- b. Budget Update
- c. Correspondence
- d. Chairman's Report

**X. Public Commentary**

**XI. Adjourn**

Michelle Sigfridson, Chairman

Article VII

Annual Meeting

Section 1. An Annual Organizational Meeting of the Planning and Zoning Commission shall be held at the beginning of the first regular meeting in January of each year. During the Annual Organizational Meeting, the Commission shall elect officers for a one (1) year term. The Annual Organizational Meeting may include other organizational business as the Chairman deems appropriate.

**Section 2. Elections of officers shall occur as follows: Nominations shall be made from the floor, beginning with nominations for Chairman, and elections shall follow immediately upon the close of the nominations for each office. A candidate receiving a majority vote from the regular members of the Commission shall be elected and shall serve for one year or until a successor shall take place. A majority vote shall consist of five (5) members.**

Section 3. Should any vacancy occur among the officers of the Planning and Zoning Commission, the vacant office shall be filled by a special election to be held at a regular meeting, following the same procedure as outlined above. Such officer shall serve the unexpired term of office in which the vacancy has occurred.

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Special Meeting  
Tuesday, January 18, 2022 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>Clifford B. Green Meeting Center, Suite 24, 69 South Main Street, Brooklyn, CT Masks are optional for vaccinated individuals.</b>	
<b>Click link below:</b> <a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a>	<b>Go to <a href="https://www.zoom.us/join">https://www.zoom.us/join</a> Enter meeting ID: 847 6556 4828</b>
<b>Dial: 1-646-558-8656</b>	
<b>Enter meeting number: 847 6556 4828, then press #, Press # again to enter meeting</b>	

**MINUTES**

**I. Call to Order** – Michelle Sigfridson, Chair, called the meeting to order at 6:32 p.m.

**II. Roll Call** – Michelle Sigfridson, Carlene Kelleher, Allen Fitzgerald, John Haeefe, Seth Pember (all present in person). J.R. Thayer was absent.

**Staff Present:** Jana Roberson, Director of Community Development; Austin Tanner, First Selectman, arrived at 6:39 p.m. (both were present in person).

**Also Present in Person:** David Held, Provost & Rovero; Keith Green; Jonathan Lisee, Trinity Solar; There were four more people present in the audience.

**Present Via Webex:** Elaine; Mary Ellen Green; Rachel Trinque.

**III. Seating/Appointment of Alternates**

Motion was made by A. Fitzgerald to appoint the following Planning and Zoning Commission Alternates to the following open positions on the Commission, Term expiring January 1, 2023 – Seth Pember and Term expiring January 1, 2025 – John Haeefe.

Second by C. Kelleher.

There was discussion regarding the third Alternate position held by J. R. Thayer. Mr. Thayer was not appointed as a Regular Member this evening since his consent had not been obtained.

Motion carried by voice vote (3-0-0).

**IV. Adoption of Minutes:** Site Walk, November 1; Reg. Meeting November 3, 2021

Motion was made by J. Haeefe to approve the Minutes of the Site Walk of November 1, 2021, and the Regular Meeting of November 3, 2021.

Second by C. Kelleher. No discussion.

Motion carried unanimously by voice vote (5-0-0).

**V. Public Commentary** – None.

**VI. Unfinished Business:**

- a. **Reading of Legal Notices:** None.
- b. **New Public Hearings:** None.
- c. **Continued Public Hearings:** None.

d. **Other Unfinished Business:**

1. **ZRC 21-001:** Request to change Zoning Regulations concerning Conservation Subdivisions, Applicant: David Held.

J. Roberson explained that draft language (dated 11/23/2021) for the following Sections of the Regulations was included in packets for review by Commission Members. Ms. Roberson stated that she had confirmed the changes with Mr. Held.

- Section 6.G of the Zoning Regulations
- Article 5A of the Subdivision Regulations

Ms. Roberson stated that six votes in the affirmative would be needed to pass a change to the Zoning Regulations. Therefore, the Commission would not be able to take action at this meeting since only five Members are present. She explained the process and that Mr. Held had granted a 30-day extension.

M. Sigfridson encouraged Commission Members to review the draft language, if needed, to be ready to take action at the next meeting on February 2<sup>nd</sup>.

There was discussion regarding timeline.

Motion was made by A. Fitzgerald to continue: **ZRC 21-001:** Request to change Zoning Regulations concerning Conservation Subdivisions, Applicant: David Held; and **SRC 21-001:** Request to change Subdivision Regulations concerning Conservation Subdivisions, Applicant: David Held, to the next regularly scheduled meeting of the Planning and Zoning Commission to be held on February 2, 2022, at 6:30 p.m., in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT. Second by S. Pember. No discussion.  
Motion carried unanimously by voice vote (5-0-0).

2. **SRC 21-001:** Request to change Subdivision Regulations concerning Conservation Subdivisions, Applicant: David Held.

Continued to February 2, 2022 (see above).

3. **ZRC 21-002:** Request to change Zoning Regulations concerning retail sale of cannabis and micro-cultivation, Applicant: PZC **\*No action until after Public Hearing rescheduled to 2-2-2022\***

Ms. Roberson explained that this Application needed to be republished and she suggested that it be formally rescheduled to the February 2<sup>nd</sup> meeting.

Motion was made by J. Haefele to reschedule the public hearing for ZRC 21-002: Request to change Zoning Regulations concerning retail sale of cannabis and micro-cultivation, Applicant: PZC for the regular meeting of the Planning and Zoning Commission to be held on February 2, 2022, at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom. Second by C. Kelleher. No discussion.  
Motion carried unanimously by voice vote (5-0-0).

## VII. New Business:

### a. Applications:

1. **SPR 21-005:** Site Plan Review application for roof-mounted solar panels visible from the road in the Village District at 17 Pierce Road, Applicant: J. Lisee.

Jonathan Lisee was present and explained that he works for Trinity Solar and that a special permit is required for panels to go on the front of the house. He said that he does not believe that the panels will compromise the character of the site or the surrounding historic district because the neighbor has 25 panels on the front of the house and in discussions with Ms. Roberson and the Building Department there was no special permit required or ever applied for or on file for neighbor to have panels on the front of the house. Mr. Lisee stated that he had recorded a video of the front of that house while driving by it which shows that it is visible from the street.

Mr. Lisee stated that the home was built in 1963 and the roofing material is a regular asphalt shingle so any roof repairs or replacements would be done with a material that is a standard material that is used today which would not be difficult to find.

There is a requirement that the installation of the solar panels be reversible. It is in their agreement that, at the end of the agreement, if the homeowner chooses they would remove the entire system at no cost to the homeowner.

Mr. Lisee stated that, in his opinion, they are capable of meeting everything that is required to be approved. He added that all panels are black on black and they look nice.

J. Roberson explained photos (summer time/leaf-on conditions) that were included in packets to Commission Members. She submitted an additional photo (leaf-off conditions) that was not included in the packets. Ms. Roberson explained that the house is set way back from Route 169 and that is not very visible in leaf-on conditions and is somewhat visible in leaf-off conditions. She explained that a contemporary structure, like this one, would be considered a non-contributing structure in the Historic District. She stated that the Commission would need to make a decision as to whether or not they think it is appropriate.

Regarding the comments about the neighbor, which Ms. Sigfridson and Ms. Roberson agreed are irrelevant, Ms. Roberson stated that they did look into it, but did not find any permits at all and she stated that it was before the adoption of our current set of Regulations. Ms. Roberson explained that the Commission would need to review what development is proposed to make sure that it is generally consistent with the character of the Zone.

Mr. Lisee stated that between looking at the photos, the site map/drawings, he does not think that this is, in any way, going to be an issue as far as the Village District goes. C. Kelleher agreed. Ms. Sigfridson asked if anyone disagreed or had any concerns or further questions. J. Haefele stated that he doesn't think there will be a problem. A. Fitzgerald stated that he thinks that it's fine.

Motion was made by A. Fitzgerald to approve the Site Plan Review Application SPR 21-005 for roof-mounted solar panels visible from the road in the Village District at 17 Pierce Road with the finding that the proposal complies with Section 6.N of the Brooklyn Zoning Regulations, will not compromise the character of the site or the surrounding historic district, is minimally visible from the public right of way, will not damage historic roofing material, and is reversible.

Second by C. Kelleher.

Discussion: M. Sigfridson stated agreement with statements that had been made by the other Commissioners.

Motion carried unanimously by voice vote (5-0-0).

2. **GBR 21-004:** Gravel Bank Renewal for Sansoucy Quarries, 248 Pomfret Road, Assessor's Map 26, Lots 19 & 19A, Applicant: Paul Sansoucy.

J. Roberson explained that they are still waiting for the survey for this Application. It is in the hands of Bruce Woodis and Archer Surveying. They have issued an extension for 65 days.

3. **GBR 21-005:** Gravel Bank Renewal for FCR Realty LLC, 200 acres north of Brickyard Road and west of Day Street (Assessor's Map 35, Lot 7; Map 41, Lot 6; Map 42, Lot 43; Map 42, Lot 43), Applicant: FCR Realty, LLC.

J. Roberson explained that there is a Cease & Desist Order for Wetlands and a Notice of Violation as well and there are corresponding zoning permit violations because the Zoning Permit is tied to the Wetlands Permit. She received a 65-day extension today via e-mail.

Ms. Roberson explained that, as part of the renewal application, Ms. Washburn visited the site with Keith Green. Ms. Roberson stated that she received a current topographic survey that shows what work has been done and they compared it to the original permit (from 2018) and they found, in one part, work beyond the permitted area, in proximity to a wetland, and that they have a Wetlands Cease & Desist Order for that. So, there is about an acre of disturbance beyond their original scope of work. They are in the process of having a Wetlands violation hearing on that. Also, separate, but related to that, they have a NOV for Wetlands for being non-compliant with their Wetlands Permit for the area within their scope of work. The orange snow fence, intended to delineate where they are supposed to stop working, was removed and work was done beyond it. They have not kept things in place that were meant to guide where they could go. There was some mitigation in the form of re-vegetating a sloped area that did not get done.

Ms. Roberson explained that, until things are worked out with Wetlands, she does not feel that it is appropriate to take action on the renewal. She said that the extension has been granted. Ms. Roberson will provide copies of the Permit and the enforcement orders and other information to Commission Members on Thursday.

Mr. Fitzgerald commented about a violation of the Phasing Plan which is a Zoning Violation. There was discussion. Ms. Roberson explained that there will be a Zoning Enforcement action, but it hasn't happened yet. She is not aware of any activity on the site at this time. Keith Green stated that, due to the cold weather, he goes there once in a while just to start up the equipment and let it run for a while.

Mr. Fitzgerald asked how the Permit is tied to the right-of-way. Ms. Roberson explained that when the PZC approved the Permit, it included that parcel and a renewal would include that parcel. Whether or not the Applicant still has access over that parcel is more of a civil matter between them and the owners of that parcel. It is referred to as the License Agreement and it is attached to the deed for that parcel.

There was discussion regarding timeline. Ms. Roberson explained that there was an issue with wetland flagging and the survey and they have to do more field work. So, it will take some time (some things are dependent on the weather). David Held explained that they will probably be flagging wetlands later this week assuming that the ground is not frozen or covered with snow. He said that some wetland delineation information on previous mapping is not reliable and they are working with Ms. Washburn to get it corrected. He said that the IWWC has asked for plans to address the NOV by February 28<sup>th</sup>.

Mr. Held commented that he was unaware that there will be some sort of a Zoning Violation issued and he feels that it seems kind of late, since Ms. Washburn visited the site on December 1<sup>st</sup>. He said that it is probably a moot point since, he assumes, that it will probably be for the same issues as the Wetlands NOV. Ms. Roberson confirmed that is correct.

Ms. Sigfridson noted that, with the extension being received today, the PZC will have until April to take action. Ms. Roberson agreed and she said that it would probably go out tomorrow.

Mr. Held asked if the NOV prevents the Applicant from going into the originally approved area to start to address some of those problems or should he not touch the entire property. Ms. Roberson said that, it is her understanding, that it is not a Cease & Desist on the originally permitted portion and she advised Mr. Held to check with Ms. Washburn.

4. **SP 21-003:** Special Permit for Adaptive Reuse of an Agricultural Building at 330 Day Street, Applicant: Jesse Trinque.

J. Roberson stated that the Application is complete and very thorough. She explained that the Applicant was not aware that a special permit is needed to conduct business uses on the property. She said that their business uses could be approved under the Adaptive Reuse of an Agricultural Building.

Motion was made by A. Fitzgerald to schedule a public hearing for SP 21-003: Special Permit for Adaptive Reuse of an Agricultural Building at 330 Day Street, Applicant: Jesse Trinque for the regular meeting of the Planning and Zoning Commission to be held on February 15, 2022, at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom. Second by J. Haefele. No discussion.

Motion carried unanimously by voice vote (5-0-0).

5. **SP 21-004:** Special Permit for Accessory Apartment at 26 Herrick Road, Applicant: Michael Bunning.

J. Roberson stated that it is by special permit (Section 6.C) because it is in a detached garage. She explained that the new legislation does not take effect until January 1, 2023.



Motion was made by C. Kelleher to schedule a public hearing for SP 21-004: Special Permit for Accessory Apartment at 26 Herrick Road, Applicant: Michael Bunning for the regular meeting of the Planning and Zoning Commission to be held on February 15, 2022, at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom.  
Second by J. Haefele. No discussion.  
Motion carried unanimously by voice vote (5-0-0).

6. **ZRC 21-003:** Request to change Zoning Regulations concerning Adaptive Re-Use of an Agricultural Building, Sec. 6.B.3.1., Applicant: Brooklyn Self Storage, LLC.

J. Roberson explained that the Applicant has plans to improve the property within the existing footprint. They were not able to do it under the existing Regulations, therefore, they have proposed a minor change to the Zoning Regulations which would allow them to tear down some existing buildings and replace them.

C. Kelleher questioned if an expansion was involved. Ms. Roberson referred to the proposed amendment (included in packets to Commission Members) and she stated that they, specifically, left out anything about expansion.

An unidentified gentleman in the audience stated that it would allow you to tear down a building and replace it with one of the same size or smaller. Mr. Fitzgerald suggested adding that it would need to have some kind of agricultural look to it. Ms. Kelleher commented that item “C” does not state anything about utilizing the same footprint. Ms. Roberson stated that it could be addressed/revised during the public hearing. Ms. Roberson stated that she has seen the plans for what they want to do and she confirmed that it is not an expansion. The gentleman in the audience offered that they could make it more clear. Ms. Sigfridson stated agreement with Ms. Kelleher.

Motion was made by A. Fitzgerald to schedule a public hearing for ZRC 21-003: Request to change Zoning Regulations concerning Adaptive Re-Use of an Agricultural Building, Sec. 6.B.3.1., Applicant: Brooklyn Self Storage, LLC for the regular meeting of the Planning and Zoning Commission to be held on February 15, 2022, at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom.  
Second by J. Haefele. No discussion.  
Motion carried unanimously by voice vote (5-0-0).

**b. Other New Business:**

1. Preliminary discussion for subdivision on South Street at Map 40 Lot 12 (Golf Course) KA&G Development LLC.

David Held, Provost & Rovero, represented the Applicant and gave an overview. There was discussion regarding conventional vs. conservation subdivision. Mr. Held noted that this property abuts the Town’s large open-space parcel (the former Davis property) so, the Town may prefer that this be a conservation subdivision design to add to the open space. He presented conceptual plans for both a conservation subdivision layout and a conventional subdivision layout (21 Lots) which he displayed as he explained them indicating boundaries, wetlands, irrigation pond, the Town’s open space, the land that would be proposed to be conserved (contiguous with the Town’s open space) as a deed restricted area or

conservation easement rather than deeding the land to the Town, etc. Mr. Held asked the Commission for guidance as to whether they would prefer conservation subdivision or conventional subdivision.

- M. Sigfridson commented that, comparing the two conceptual plans, the conservation subdivision looks really promising and interesting for this site. There was discussion regarding Lot #13 including the pond in the conservation proposal.
- A.Fitzgerald commented about the pond area and that it would create a lot of open space. He said that the lot sizes are a concern.
- Mr. Haeefele stated that he prefers the conservation subdivision.
- C. Kelleher agreed.

Ms. Sigfridson asked if there were further comments. There were none.

Mr. Held asked if the consensus is that the Commission would prefer the conservation layout. Ms. Sigfridson stated that it sounds that way. Ms. Roberson commented that it is a larger parcel having adjacent open space and some natural resources, so it does lend itself to that.

#### **VIII. Reports of Officers and Committees:**

a. Approval of 2022 regular meeting dates

The Commission reviewed the dates (included in packets). Ms. Sigfridson and Ms. Roberson commented that they like having all regular meetings. There was discussion regarding the time and it was decided to keep it at 6:30 p.m. Ms. Roberson will remove the January dates. Mr. Fitzgerald stated that he will not be able to attend in May or June and he commented that it is important to recruit more members.

Motion was made by J. Haeefele to approve the schedule of 2022 regular meeting dates.

Second by A. Fitzgerald

Motion carried unanimously by voice vote (5-0-0).

b. Staff Reports (two reports from Margaret Washburn were included in packets to Commission Members).

There was discussion regarding things that are done without getting a permit first. Mr. Fitzgerald commented that people may not be aware that they need a permit, but licensed contractors should know. Ms. Roberson will speak with Ms. Washburn.

There was discussion regarding a metal barn being built in front of a house on Wauregan Road. Mr. Fitzgerald stated that he feels that it should have required a special permit. Ms. Roberson stated that the change to the Regulations was made and it became effective July 30, 2020. Discussion continued. Ms. Sigfridson referred to RA Section 3.C.4.1.2 requires special permit if not subordinate in size to the dwelling. Ms. Roberson will speak with Ms. Washburn about it. Ms. Roberson will provide copies of revisions (dated March 30, 2021) to Commission Members at the next meeting.

Mr. Tanner gave an update on finding a Hearings Officer. There will be a meeting on Thursday.

Ms. Sigfridson commented that she is happy to know that Ms. Washburn is issuing violations for gravel issues as it is important to keep it in order.

Mr. Fitzgerald asked if an Executive Session is needed regarding the Green's permit. Ms. Roberson stated that she does not see a need for it right now as there is no pending litigation. Discussion continued regarding the Commission's rights and responsibilities.

Ms. Roberson's Staff Report: She explained that the educational modules for the Housing Plan (including a public input survey to get feedback) are on the Town website. She explained that it takes about 20 minutes to go through all of the modules. An article was published in the *Villager*. She explained that QR Codes will be distributed. It will be in the Town Newsletter which will be delivered by the end of the week. She asked that everyone share this information with others. Ms. Sigfridson offered to share it to the residents of Brooklyn page. Ms. Roberson stated that it could be advertised in the Turnpike Buyer (1/4 page ad is about \$82). There was discussion. She will let the Commission know, at the next meeting, how many people have completed the surveys.

c. Budget Update

Ms. Roberson explained that she still feels that the revenue numbers are not accurate. She explained that she thinks it is more like \$3,000.

Ms. Roberson will prepare a draft budget, but she wants to get the revenue numbers sorted out first.

d. Correspondence – None.

e. Chairman's Report – None.

**IX. Public Commentary**

There was discussion regarding open positions on the PZC. There are currently two Alternate positions open. Mr. Tanner stated that he may have two new members for the next meeting. There was discussion regarding expired terms.

Dan Lipke, Brickyard Road, spoke about his properties at 24 and 30 Brickyard Road. He referred to a map that he said Planning and Zoning had given to him. He said that the Green's think that they own his field. He said that the property has been in his family for 114 years (his great grandfather bought it in 1918) and the Green's came in the 1950's. He said his family had a campground on the property. He said that it needs to be addressed and the right-of-ways need to be looked at.

**X. Adjourn**

The meeting was adjourned at 8:32 p.m.

Respectfully submitted,

J.S. Perreault  
Recording Secretary

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLIC HEARING**

The Planning and Zoning Commission will hold a public hearing on Wednesday, February 2, 2022, at 6:30 p.m. via Zoom and in-person at the Clifford B. Green Memorial Center, 69 South Main Street Brooklyn, CT on the following:

**ZRC 21-002:** Request to change Zoning Regulations concerning adult-use cannabis. Applicant: PZC.

A copy of the application will be available for review on the Town of Brooklyn website, Land Use and Town Clerk offices.

All interested parties may attend the meeting, be heard and written correspondence received.

Dated this 13th day of January 2022.

\*Please publish 1/19 and 1/26\*

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLIC HEARING**

The Planning and Zoning Commission will hold a public hearing on Tuesday, February 15, 2022, at 6:30 p.m. via Zoom and in-person at the Clifford B. Green Memorial Center, 69 South Main Street Brooklyn, CT on the following:

**SP 21-003:** Special Permit for Adaptive Reuse of an Agricultural Building at 330 Day Street, Applicant: Jesse Trinque.

**SP 21-004:** Special Permit for Accessory Apartment at 26 Herrick Road, Applicant: Michael Bunning.

**ZRC 21-003:** Request to change Zoning Regulations concerning Adaptive Re-Use of an Agricultural Building, Sec. 6.B.3.1., Applicant: Brooklyn Self Storage, LLC.

A copy of these applications will be available for review on the Town of Brooklyn website and at the Land Use office. ZRC 21-003 will additionally be available at the Town Clerk's office.

All interested parties may attend the meeting, be heard and written correspondence received.

Dated this 21st day of January 2022.

\*Please publish 2/2 and 2/9\*

TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE  
IN  
ZONING REGULATIONS

Date 11/1/2021 Check # N/A Application #ZRC 21-002

Application Fee: \$250 \_\_\_\_\_ State Fee: \$60 \_\_\_\_\_ Publication Fee: \$600 \_\_\_\_\_

Public Hearing Date \_\_\_\_\_ Commission Action \_\_\_\_\_ Effective Date \_\_\_\_\_

Name of Applicant PLANNING AND ZONING COMMISSION Phone \_\_\_\_\_

Mailing Address 69 S. MAIN ST. SUITE 22 BROOKLYN, CT 06239

REQUEST TO AMEND ARTICLE(S) \_\_\_\_\_ SECTION(S) 2.B,

If more than one Article is requested please attach separate sheet for each one

4.D.2.3.18,  
4.E.2.5.3

PARAGRAPH TO CHANGE \_\_\_\_\_ OF THE ZONING REGULATIONS

REQUEST TO CHANGE:

SEE ATTACHED

REASON FOR REQUEST:

COMPLIANCE WITH P.A. 21-1 RE: ADULT-USE CANNABIS

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

- 1) *Explanation: The purpose of this change is to introduce definitions for the retail sale of adult-use cannabis, hybrid retail (combined sale of adult-use cannabis and medical marijuana), as well as micro-cultivator in accordance with P.A. 21-1.*

**2.B Definitions**

Proposed: **CANNABIS RETAILER** - A person, excluding a dispensary facility and hybrid retailer, that is licensed to purchase cannabis from producers, cultivators, micro-cultivators, product manufacturers and food and beverage manufacturers and to sell cannabis to consumers and research programs.

Proposed: **HYBRID RETAILER** - A person that is licensed to purchase cannabis and sell cannabis and medical marijuana products.

Proposed: **MICRO-CULTIVATOR** - A person licensed to engage in the cultivation, growing and propagation of the cannabis plant at an establishment containing not less than two thousand square feet and not more than ten thousand square feet of grow space, prior to any expansion authorized by the Commissioner of Consumer Protection or any designee of the commissioner.



- 2) *Explanation: The purpose of this change is to provide for the retail sale of adult-use cannabis with or without medical marijuana in the Planned Commercial Zone as provided by Public Act 21-01. Pg. 71*

**4.D.2.3.18 Permitted Principal Uses in the PC Zone – Business-Related Uses**

Proposed: Retail sale of cannabis by a Cannabis Retailer, or  
Retail sale of cannabis and medical marijuana by a Hybrid Retailer

Special Permit (PZC)



- 3) *Explanation: The purpose of this change is to provide for the micro-cultivation of the cannabis plant in the Industrial Zone as provided by Public Act 21-01. Pg. 80*

**4.E.2.5.3 Permitted Principal Uses in the I Zone – Business-Related Uses**

Proposed: Cultivation, growing and propagation of cannabis by a Micro-cultivator

Special Permit (PZC)



PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_

Application #SP 21-003

Check # 411

**APPLICATION FOR SPECIAL PERMIT**

Name of Applicant Jesse Tringue Phone 860-558-8773

Mailing Address 105 Stickney Hill Rd Union CT 06076 Phone 860-604-3413

Name of Engineer/Surveyor Andrew Bushnell Associates LLC

Address 563 Woodbridge St Manchester CT 06042

Contact Person Andrew Bushnell Phone 860-643-7875 Fax 860-643-7875

Name of Attorney \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 332 Day St Brooklyn CT 06234

Map# 43 Lot# 5 Zone RA Total Acres 3.26

Sewage Disposal: Private  Public \_\_\_\_\_ Existing  Proposed \_\_\_\_\_

Water: Private  Public \_\_\_\_\_ Existing  Proposed \_\_\_\_\_

Proposed Activity Re-use of existing agricultural buildings.  
See statement of Use document

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? \_\_\_\_\_

The following shall accompany the application when required:

Fee \$ 445.00 State Fee (\$60.00) \$60.00 3 copies of plans 1 Sanitary Report \_\_\_\_\_

4.5.5 Application/ Report of Decision from the Inland Wetlands Commission

4.5.5 Applications filed with other Agencies

12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: [Signature] Date 12/7/21

Owner: [Signature] Date 12/7/21

\*Note: All consulting fees shall be paid by the applicant

*Handwritten notes:*  
#414  
#655  
\$150 publication



Jesse Trinque  
105 Stickney Hill Rd  
Union, CT 06076  
860.558.8773  
[Jesse.trinque@gmail.com](mailto:Jesse.trinque@gmail.com)



**Residential Agricultural Re-use Application**  
**Property: 330 Day Street, Brooklyn CT 06234**  
**Owner of Record: Jesse Trinque**  
**Application prepared by: Jesse Trinque & Rachel Trinque**

### Statement(s) of Use

#### **Building #1**

**Morton Steel Building (36 x 98) Previous uses include Green Stuff Greenhouse Offices & Sales Floor, Koi Pond Supply Store, EASTCONN Alternative High School**

Statement of Current/Proposed Use:

This building is occupied by Peregrine Manufacturing, Inc, a business owned by David Singer. Peregrine Manufacturing Inc. is a sewing facility with one owner/operator and 1-3 part-time employees. The company manufactures parachute container systems for sky divers. The process consists of several industrial sewing stations and laser cutting of fabric during the production process. The facility is operated as a purely manufacturing location and does not have a customer facing component. The operating hours of the facility are 6AM – 3PM. During these hours the processes of the business are contained to the interior of the building where David Singer (business owner) and employees construct the parachute deployment rigs. The business is subject to FAA approvals and licensing, of which Peregrine Manufacturing is compliant. This business has minimal but regular vehicle traffic. There are regular Federal Express and UPS deliveries. David Singer and his employee(s) have one vehicle each that are parked on-site in designated parking areas during business hours. The parking area for this business is located on the right-most side of the property consisting of three parking spots and the upper loading dock on the right side of the building consisting of two parking spots.

#### **Building #2**

**Morton Steel Building (30 x 46) Previous uses include Green Stuff Greenhouse Equipment/Bulk Material Storage, Koi Pond Supply Store Storage Facility, Farm Equipment Storage, Laser Cutting/Manufacturing Storage Facility, Office Space/Online Retailer Warehouse**

Statement of Current/Proposed Use:

This building is occupied by Show Shine Solutions, LLC, a business owned by Jason Williamson. Show Shine Solutions, LLC is a licensed and insured premier auto detailing and ceramic coating business. The company provides services in detailing, reconditioning, paint corrections and ceramic coatings and has been in business for over 15 years. Jason's business operates on an appointment only basis. Each customer requests a detailing service on his webpage or via phone and is scheduled for a drop off time.

Once the vehicle is dropped the customer parks in the right-side rear of the building and places their key in a secure key drop. The vehicle is then moved inside by a Show Shine team member until detailing/coating services are complete. The business consists of one owner, Jason, his wife, and contracted laborers (depending on workload). All laborers/owners park their personal vehicles on the right rear side of the building in a gravel parking area. There are also two overflow parking spaces between the 36x98 building and this one. These spots are not generally occupied.

### **Building #3**

**Post & Beam Carriage House (27x27) Previous uses include Farm Stand Retail Store, Carpentry Shop, Residential Use Garage Bays**

Statement of Proposed Use:

This building would be remodeled with appropriate building code/permits to include HVAC, Insulation & retrofits. The upstairs space would be set up as an office with a ½ bath, the main floor would include two garage bays for trade supply storage and interior parking of service vehicles. It is our intention to lease this space to a craftsperson in the industry of plumbing, carpentry, electric etc. There would be no exterior storage permitted and one exterior parking space in the existing parking area.

## **Special Permit Criteria (Section 9.D.5.)**

### **1. Zoning Purposes**

Each proposed use is consistent with adaptive re-use of an agricultural building.

- Building #1 - Peregrine Manufacturing (sewing facility) can be classified as light industry or craftsperson.
- Building #2 - Show Shine Solutions, LLC (premium auto detailer) can be classified a craftsperson. This classification will be supported in a presentation where photographs will show the artistic nature and skilled execution of the trade. An example of classes and a certification process of the trade can be found here:  
<https://www.detailking.com/auto-detailing-training/auto-detailing-training-seminar-craftsman-program-3-day-class/>
- Building #3 – Proposed office and tradesperson (Carpenter, Electrician, Plumber) is listed as an approved use.

### **2. Environmental Protection and Conservation**

When we purchased the property in 2012 it was dilapidated. There was a partially collapsed greenhouse that was no longer in use and had brush overgrown around and inside it. There was a pressured treated retaining wall along the right side of Building #1 that was failing. The entry steps to Building #1 were falling apart and dangerous. The rear Building #2 was in generally fair condition, but vegetation was severely overgrown. The front carriage house, Building #3 was in fair condition but was not maintained. The siding was chipping and rotting, porticos over the doors were falling down and the windows were broken. Overall, the property had not been maintained on a regular basis and resulted in an overgrown eyesore. Neighboring owners became so fed up with its overgrown space that the owner of house located at 336 Day Street used to periodically mow to keep the brush down. Since our purchase of this property, we have put in significant time and money into beautifying it. We took great efforts to preserve existing landscaping remaining from days as a landscape supply and green house. We repaired the failing retaining wall, with an attractive concrete stone face formed wall that would last for many years to come. We also repaired the entry steps to Building #1 with a concrete ramp and decorative white PVC deck safety railing. We have also added property enhancements that we feel are appealing to a classic New England style such as the split rail fencing. We believe that every effort has been made to preserve the natural environment and great consideration has been given to the community's interests.

### **3. Overall Compatibility**

- Building #1 – Peregrine Manufacturing (sewing facility) serves a community need in regards to the proximity to Danielson Airport. This airport is a large skydiving hub and one of the main reasons Peregrine Manufacturing sought to lease our space. We do not believe that this use has a detrimental effect on neighboring properties or development of the zone, as this business is contained to the interior of the building and produces virtually no noise.

- Building #2 – Show Shine Solutions, LLC (premium auto detailer) serves a community need to property owners in Brooklyn CT and surrounding areas to maintain personal vehicles and personal property value. We do not believe that this use has a detrimental effect on neighboring properties or development of the as the business is contained to the interior of the building, produces minimal noise, and serves a clientele that takes pride in the beatification and maintenance of their personal property.
- Building #3 – The proposed use of this building, hopefully being a tradesperson will serve a community need of Plumbing, Electric, HVAC etc. In the current economy there is a large need for these types of businesses and will have a positive impact being in the town. We do not believe that any of these uses will have a detrimental effect on neighboring properties or development of the as the nature of the businesses are self-contained and fully licensed and insured.

#### **4. Suitable Location and Lot for Use**

The lot 330 & 332 Day St meets the minimum lot requirements to be zoned RA and agricultural re-use per 3.C and 6.B.3.3. The property has direct access to Day Street through a designated driveway to the far right of the lot. The total acreage of the lot is 3.26, greater than the required three acres. The total lot frontage is 165ft, greater than the required 150ft.

#### **5. Appropriate Improvements**

Each Morton building (Building #1 & #2) is sided with red metal siding and white trim that was put in place when the buildings were constructed in 1989. This siding has been maintained and taken care of to preserve the New England styling. Building #3 was resided by us in 2014 to match the existing buildings with a barn red clapboard vinyl siding and white trim. The shape and architecture of the carriage house was preserved keeping its early New England charm. This building looks very residential and appears as a two-car detached garage.

The areas of the property that abut residentially zoned land have been meticulously maintained and every effort has been made to provide an attractive screening buffer. On the left side of the property there is an existing tree line that was planted by previous owners, to extend this screening buffer we have planted three large evergreen trees 6ft on center. These trees will mature to a size sufficient to block material views of the businesses to the rear. Past this point along the left property line there is a forest tree line that screens the property from view. This forest line extends from the left side around to the rear of Building #2, shielding the gravel parking area in the rear. The right side of the property is abutted by commercially zoned land. The front of the property is abutted by newly constructed homes on the other side of Day Street. We have planted (3) giant arborvitaes that when mature will substantially block all views of parked cars and Building #2 from view for these homes. The remaining views of the buildings are screened by the home located on the lot (address 332 Day Street). Building #3 is screened from view by existing plantings including a large evergreen tree, two smaller evergreen trees and a large red maple.

## **6. Suitable Transportation Conditions**

We do not believe this requirement applies to any of the uses proposed. Each business does not have frequent traffic associated.

## **7. Adequate Public Utilities and Services**

The property does not have public sewer or waste management. Each business is responsible for their own waste disposal at the Brooklyn Transfer Station. The property has a drilled well (noted on the location survey) that provides ample water for all Buildings. Building #1 has single-phase 200amp electrical service with a meter on the exterior of the building. There is a professionally installed subpanel with a meter located on the interior of Building #1 that provides service to Building #2. Building #3 will have its own electrical service from the pole located on Day Street. This service was pre-existing in 2012 when we initially purchased the property. We cancelled this service and had the lines uninstalled to avoid paying un-needed delivery charges. We do not believe that any of these uses burden the capacity of available public utilities.

## **8. Long Term Viability**

The property is maintained by a professional lawn care service and a professional plow company at the property owners' expense to ensure a pleasing aesthetic. Any necessary improvements or repairs are done in a timely manner to ensure the tenants have adequate and appropriate spaces to conduct business.

## **9. Nuisance Avoidance**

There are no current water or drainage issues with the property nor do we expect any. There are existing yard drains and water management systems that predate our ownership.

- Building #1 – Peregrine Manufacturing, Inc. (sewing facility) hours of operation are 6AM – 3PM during these hours there are two- three vehicles on site. The parking visibility has been screened as noted in section 5. The team members conduct business inside the building only and produce no outside noise. The building is well insulated and any activity inside the building cannot be heard outside. The noise and light pollution with this use are materially consistent with that of a typical residence. We don't believe that odors, unsightly appearance, or water contamination issues apply to this use.
- Building #2 – Show Shine Solutions, LLC (premium auto detailer) hours of operation are by appointment only. Generally, these hours are 9AM – 6PM. Occasional weekend hours are a possibility. This building is extremely well-insulated, and any noise cannot be heard on outside of the building. The meticulous process by which cars are detailed with waterless washing (see video) that is contained to the interior of the building with no exterior presence, we don't expect any impact to neighboring properties.

- Building #3 – Proposed Tradesman, hours of operation would generally be 8AM – 5PM. All operations would be contained to the interior of the building and would not disturb surrounding property owners. We don't believe that odors, unsightly appearance, or water contamination issues apply to this use.

#### **10. Plan of Conservation and Development**

We believe that all the proposed uses are in accordance with the goals and objectives of the Plan of Conservation and Development.

#### **11. Mitigation**

We do not believe this section applies as the buildings have been in place since 1989 and have been materially kept in original condition. The current uses are consistent with or less than the traffic and use patterns since this property was originally developed in 1989.



# 330 Day Street Agricultural Re-Use

Presentation of Historical, Current and Proposed Use of Agricultural Buildings  
Located at 330 Day Street, Brooklyn, CT 06234

Presented by: Jesse & Rachel Trinque



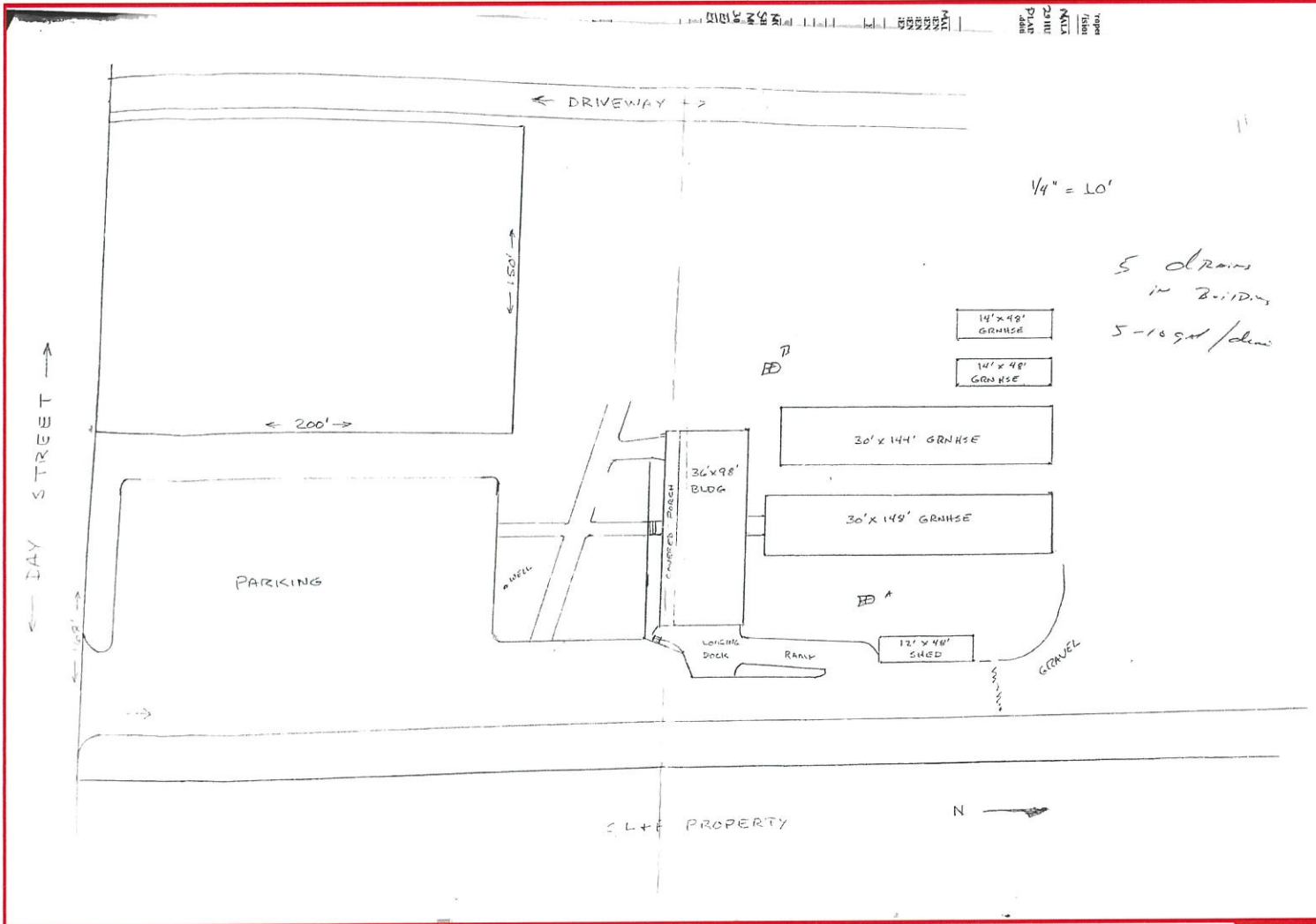
## 330 & 332 Day Street Current Aerial View

This image was obtained from Google Earth Satellite imagery and overlaid with plot points from the location survey prepared by Bushnell Associates to depict the 3.26 acre lot.





▼ Historical Use of  
Property



Earliest known owner of the property was Frederick Heckel, records obtained from NDDH. Heckel owned this property in 1989 where it was only referred to as Lot#5 Map 43 Day Street. It had not been assigned an address. Upon further research it was found that Heckel built both Morton Buildings and the carriage house as a part of his business "Green Stuff Greenhouse and Nursery". Heckel also planned to construct four greenhouses, a septic system and well. The end result varied quite a bit from this hand drawing but was never catalogued that we could find. We can infer that Building #2 was built in place of the noted 12x48 shed as there was no evidence of this shed in further records. We can also assume that the carriage house (Building #3) was also built by Heckel during his ownership, though the exact date of this construction is unknown. However, upon clean up of overgrowth evidence was found of each of the greenhouses shown here.

# NDDH Septic System Applications and As-Built Plans

## Locations of Building #1 and Building #3 Noted

NORTHEAST DISTRICT DEPARTMENT OF HEALTH  
P.O. BOX 145, ROUTE 202  
BROOKLYN, CONNECTICUT 06224

TOWN: Brooklyn  
ROAD: Day St

RECEIVED JUN 14 1989

### APPROVAL TO CONSTRUCT OR REPAIR SEWAGE DISPOSAL SYSTEM

Approval is hereby granted for the construction/repair of a sewage disposal system.  
 Located at: lot 5 map 43 Day St in the town of: Brooklyn  
 Owner: Fred Herkel Installer: Fred Herkel  
 Residential; No. of Bedrooms: \_\_\_\_\_ Non-Residential; Design Flow: 100 G.P.D.

**INSTRUCTIONS TO INSTALLER**

- (1) This office to be contacted before any change is made in the system location, size or design.
- (2) Any new sewage disposal systems must conform to all requirements of section 19-13-2103 of Public Health Code, State of Connecticut.
- (3) All construction to be under the direct supervision of an installer licensed under section 20-341 of the Connecticut General Statutes.
- (4) The installer is responsible for verifying locations of property lines, wells and buried utility lines prior to construction.

Specific Instructions: 1000 gallon tank  
1 - 50' trench  
locate in area of best pit  
maximum depth 30" into original grade

Construction Sketch

APPROVAL GRANTED BY: Lisa R DATE: 6-6-89 RENEWED: \_\_\_\_\_  
 FEE PAID: check # 1126 HOLD FOR PAYMENT: \_\_\_\_\_  
RLC#21971

### INSPECTION OF SEWAGE DISPOSAL SYSTEM

NORTHEAST DISTRICT DEPARTMENT OF HEALTH

TOWN: Brooklyn  
ROAD: Day St

OWNER: Fred Herkel LOCATION: Day St lot 5 map 43  
 INSPECTED BY: BA Macomber DATE: 7/2/89 INSTALLER: \_\_\_\_\_  
 RESIDENTIAL; NO. OF BEDROOMS: N/A NON-RESIDENTIAL; DESIGN FLOW: 100 G.P.D.

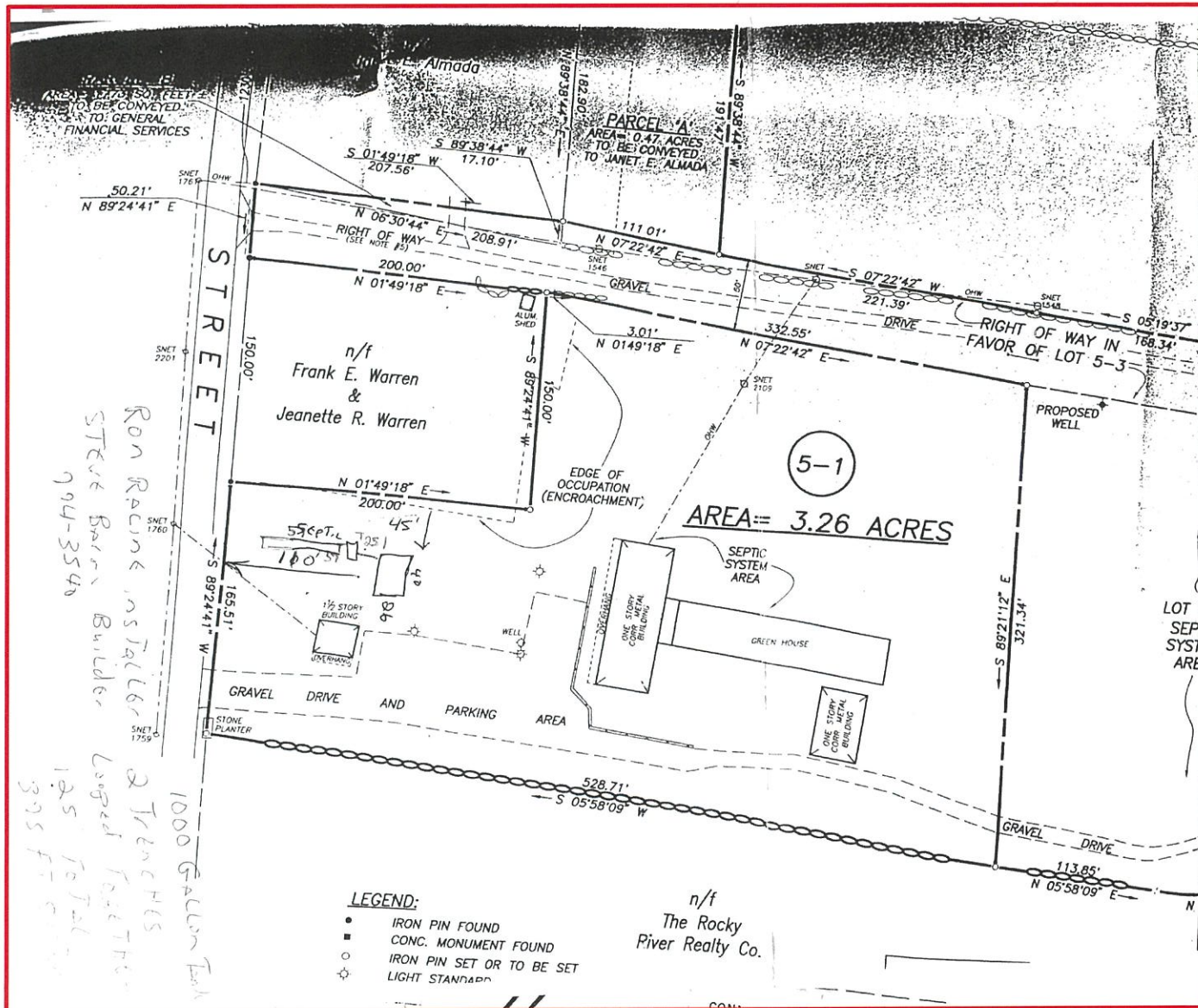
	A	B	C	D
E	18.8	46		
F			73.6	33

Day Street  
SYSTEM SKETCH NOT TO SCALE

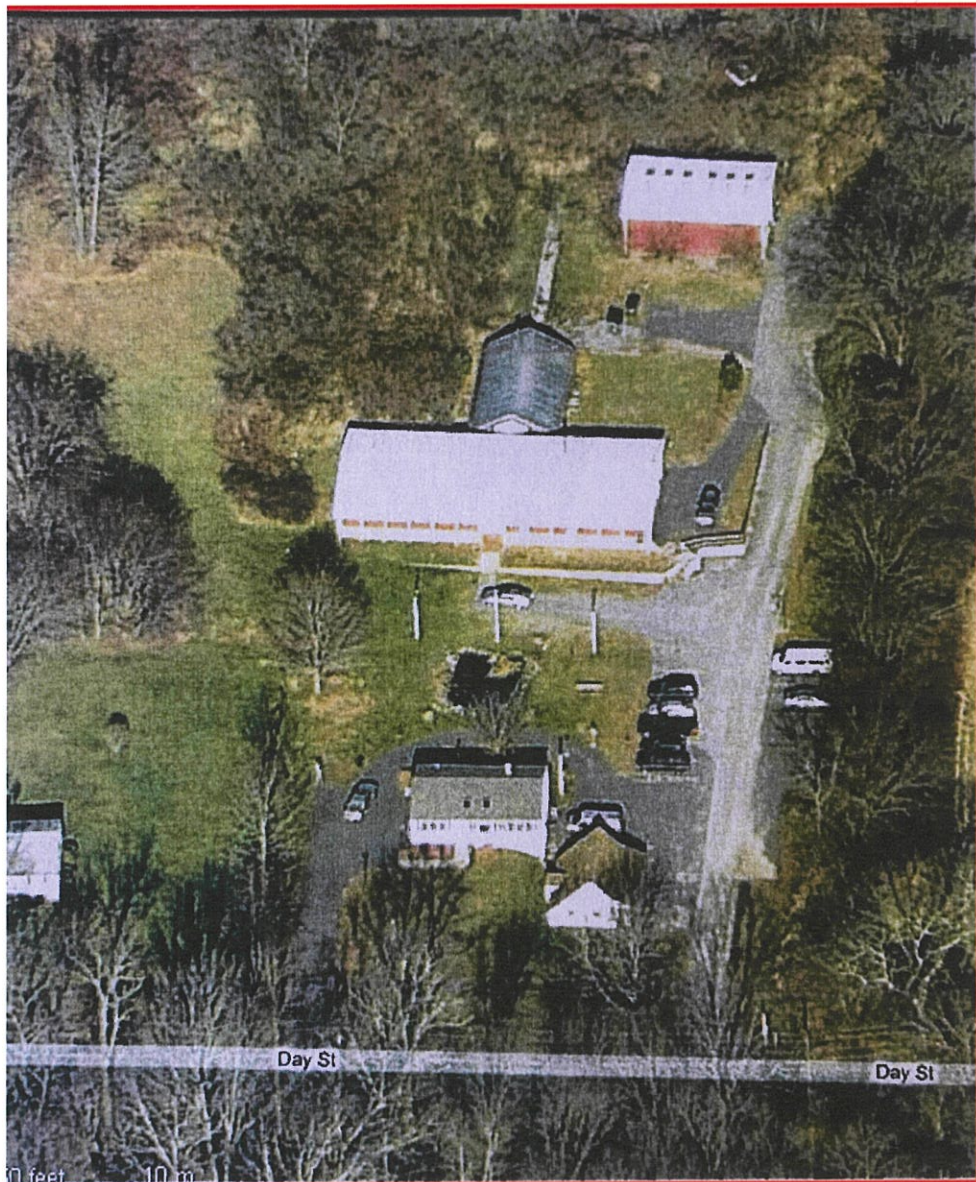
SEPTIC TANK: 1000 GALS.  
 LEACHING SYSTEM: 150 SQ. FT.  
 DEPTH TO TOP: 6-12 IN.

APPROVAL RECOMMENDED: yes

REMARKS: Change floor out  
payed for final inspection  
so house should pass for  
general inspection



This is the next site plan that was drawn on the property. We can infer that this was drawn around the year 2000, as the certificate of occupancy for the house was issued in 2001 and this plan notes a builder and septic installer. This plan accurately depicts the locations and sizes of the re-used agricultural structures on the premises. Because of these plans it would be reasonable to infer that these buildings were built soon after the 1989 proposal.



This is an image that depicts the property when EASTCONN operated an alternative high school facility in Building #1. The parking from this use has a much larger presence than proposed uses addressed in this application. We can assume that this picture was taken between 2001 (when the house was built) and mid-to-late 2000's when EASTCONN terminated their lease.

Property Location: 330 & 332 DAY ST MAP ID: 43//5-1// Bldg Name: State Use: 3510  
 Vision ID: 1298 Account # 00122800 Bldg #: 1 of 2 Sec #: 1 of 1 Card 1 of 2 Print Date: 08/23/2012 10:20

CURRENT OWNER				TOPO.	UTILITIES	STRT./ROAD	LOCATION	CURRENT ASSESSMENT										
MALARKEY LINDA								Description	Code	Appraised Value	Assessed Value	6019 BROOKLYN, CT						
29 HUNTINGTON DRIVE								DWELLING	1-3	110,800	77,600							
PLAINFIELD, CT 06374								RES OUTBL	1-4	18,900	13,200							
Additional Owners:								COM LAND	2-1	96,800	67,700							
								COM BLDG	2-2	228,100	159,700							
<b>SUPPLEMENTAL DATA</b>																		
Other ID: 43/005-01				490 PENALT														
DEED RESTRI				DEV RIGHT:														
CENSUS 9051				SUBDIVISIO														
FIRE DISTRIC				SURVEY # 12/41														
EASEMENT				DEV LOT #														
SEWER																		
GIS ID:				ASSOC PID#														
<b>Total</b>										454,600	318,200							
<b>PREVIOUS ASSESSMENTS (HISTORY)</b>																		
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	q/u	w/i	SALE PRICE	V.C.	Yr.	Code	Assessed Value	Yr.	Code	Assessed Value					
MALARKEY LINDA		498/ 209	12/07/2011	U	1	0		2011	1-3	74,700	2010	1-3	74,700					
BENOIT NORMAN R + MALARKEY LINDA M		388/ 261	05/22/2006	U	1			2011	1-4	13,200	2010	1-4	13,200					
BENOIT MARY A (L/U) & NORMAN R		388/ 258	05/22/2006	U	1			2011	2-1	67,700	2010	2-1	67,700					
BENOIT MARY A		315/ 162	11/25/2003	U	1	68,200		2011	2-2	159,700	2010	2-2	159,700					
BENOIT ROBERT J & MARY A		202/ 272	11/30/1998	U	1													
GENERAL FINANCIAL SERVICES INC		184/ 185	08/01/1997	U	1													
<b>Total:</b>										315,300	<b>Total:</b>	315,300	<b>Total:</b>	315,300				
<b>EXEMPTIONS</b>																		
Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.										
<b>OTHER ASSESSMENTS</b>																		
<b>ASSESSING NEIGHBORHOOD</b>																		
NRHD/ SUB	NBHD Name	Street Index Name	Tracing	Batch														
0001/A																		
<b>NOTES</b>																		
MORTON BLDG SHOP CONVERTED TO SCHOOL MORE LIKE OFFICE SPACE 30 X 44 GREENHOUSE ATTACHED-NOT PRICED EAST CONN ECON = MKT																		
<b>APPRAISED VALUE SUMMARY</b>																		
Appraised Bldg. Value (Card)										228,100								
Appraised XF (B) Value (Bldg)										0								
Appraised OB (L) Value (Bldg)										0								
Appraised Land Value (Bldg)										96,800								
Special Land Value										0								
Total Appraised Parcel Value										454,600								
Valuation Method:										C								
Adjustment:										0								
Net Total Appraised Parcel Value										454,600								
<b>BUILDING PERMIT RECORD</b>																		
Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	Cd	Purpose/Result				
8975	08/08/2012	RS	Residential	1,000		100	08/08/2012	CHANGE USE TO RES	12/15/2009			JL	41	Hrng Change				
6079	04/23/2002	RS	Residential	1,000		100	10/01/2002	DISMANTLE GREENH	03/30/2009			DK	00	Measur+Listed				
6080	04/23/2002	RP	Repairs	3,000		100	10/01/2002	REPAIRS TO EXIST GI										
5829	04/27/2001	NC	New Construct	85,000		100	10/01/2001	26 X 40 RANCH										
<b>LAND LINE VALUATION SECTION</b>																		
B #	Use Code	Use Description	Zone	D	Front	Depth	Units	Unit Price	I. Factor	S.A. Disc	C. Factor	ST Id:	Adj.	Notes-Adj	Special Pricing	S Adj Fact	Adj. Unit Price	Land Value
1	3510	EDUC BLDG	RA				2.07 AC	75,000.00	1.0000	5	1.0000	1.00	200	0.60		1.00		93,200
1	3510	EDUC BLDG					1.19 AC	3,000.00	1.0000	0	1.0000	1.00	0.00	EXCESS		1.00		3,600
<b>Total Land Value:</b>																		96,800
<b>Total Card Land Units: 3.26 AC Parcel Total Land Area: 3.26 AC</b>																		

To the best of our knowledge EASTCONN ran an alternative educational facility out of Building #1 and used Building #3 as auxiliary space. The alternative school had an agricultural aspect to their curriculum. From word of mouth we understand that EASTCONN utilized the greenhouse on the property and carriage house (Building #3) as a farm stand. This use is noted here. During this period, by word of mouth, we gather that Building #2 was rented out as a storage facility for an auction house.



▼ Proposed and Current  
Use of the Property



Building #2 – Front View



Building #2 – Property Line View



Property View to Show Buffers



Building #3 – Road View



Road view of Building #3, #1, & #2



Buffer trees on 336 property line





Property view during business hours for both tenants. View from back corner of lot



## Peregrine Manufacturing, Inc. Building #1

- This business has been operating with FAA approval in this facility since December 1, 2014.



**Building #1 - Interior**  
**Peregrine Manufacturing, Inc.**  
**Business Facilities**

Video Created By: David Singer, Business Owner



Peregrine Factory Tour – Building #1. David Singer gives a detailed tour of the interior of the building and day to day operations in his industry.

## Light Industry

the production of small goods that will be sold to the people who use them rather than to another manufacturer

- Peregrine Manufacturing, Inc, designs and produces parachute container systems for recreational skydiving professionals.
- The business operates on a direct-to-consumer sales model. Each container system is designed to customer specifications. Peregrine's container systems are used worldwide.
- Peregrine Manufacturing, Inc., operates on a small scale with capabilities to produce and ship a few containment "rigs" per week.



## Building #2

### Historical Uses under current ownership

- Building permit applied in March 2019  
final inspection May 2019
- Peregrine moved in June 2019 in hopes to expand, tax assessor visits at this time and revalues based on improvements.
- Due to COVID economic impacts Peregrine was not able to expand their business efforts and terminated lease, moved out June 2020.
- Building listed for lease, new tenant, an online retailer, Furtees, (producer of custom pet accessories) moved in July 2020
- Furtees defaulted on rent September 2020, lease terminated November, Tenant given 30 days to vacate premises.
- Building is once again listed for lease, Show Shine Solutions moves in January 20, 2021

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES

Town of Brooklyn  
Building Department  
P.O. Box 356, Brooklyn, CT 06234  
Tel. (860) 779-3411 Ext 12

Construction Cost: \$20,000.00  
Fee Paid: \$200.00  
Date Issued: 3/20/2019  
MBL: 43 5-1

Permit No. B-19-54  
Parent PIN

**PERMIT TO BUILD**

This certifies that **TRINQUE JESSE A**  
has permission to erect, alter, or demolish a building on: **330 & DAY ST**  
as follows: **Insulation of existing barn; installing new electrical panel and re-wire barn**  
provided that the person accepting this permit shall in every respect conform to the terms of the application therefore on file in this office, and to the provisions of regulations or ordinances relating to the Location, Inspection, Alteration and Construction of Buildings in the of Brooklyn.

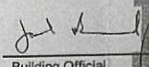
NOTE: The recipient of this permit accepts this permit on the condition that as owner or as agent of the owner, he/she agrees to comply with all Building & Zoning Regulations of the Town of Brooklyn & the State Statutes of the State of Connecticut regarding the use, occupancy, location of building or structure to be constructed, added to, demolished, or altered. The recipient also agrees that this building shall be located the proper distance from all street lines, all property yard lines & required distances from all other zones & is located in a zone in which the building & its use is allowed or has been approved. Additional contractor listed below.

Comments:

Current Use Group: <b>U: Utility and miscellaneous</b>	Proposed Use Group: <b>U: Utility and miscellaneous</b>	Construction Type: <b>VR: Any building material permitted by code</b>	Occupant Load: <b>0</b>
--	---	---	-------------------------

Contractor Name: **KEVIN B GOTTIER** Phone: **(860) 882-4499** Owner Name: **TRINQUE JESSE A** Phone: **(860) 558-8773**  
Address: **6 GEM DR ELLINGTON CT 06029-3005** Address: **654 BUCKLEY HWY UNION CT 06078**

All permits approved are subject to inspections performed by a representative of this office. Requests for inspections must be made at least 48 hours in advance, call (860) 779-3411 Ext 12.

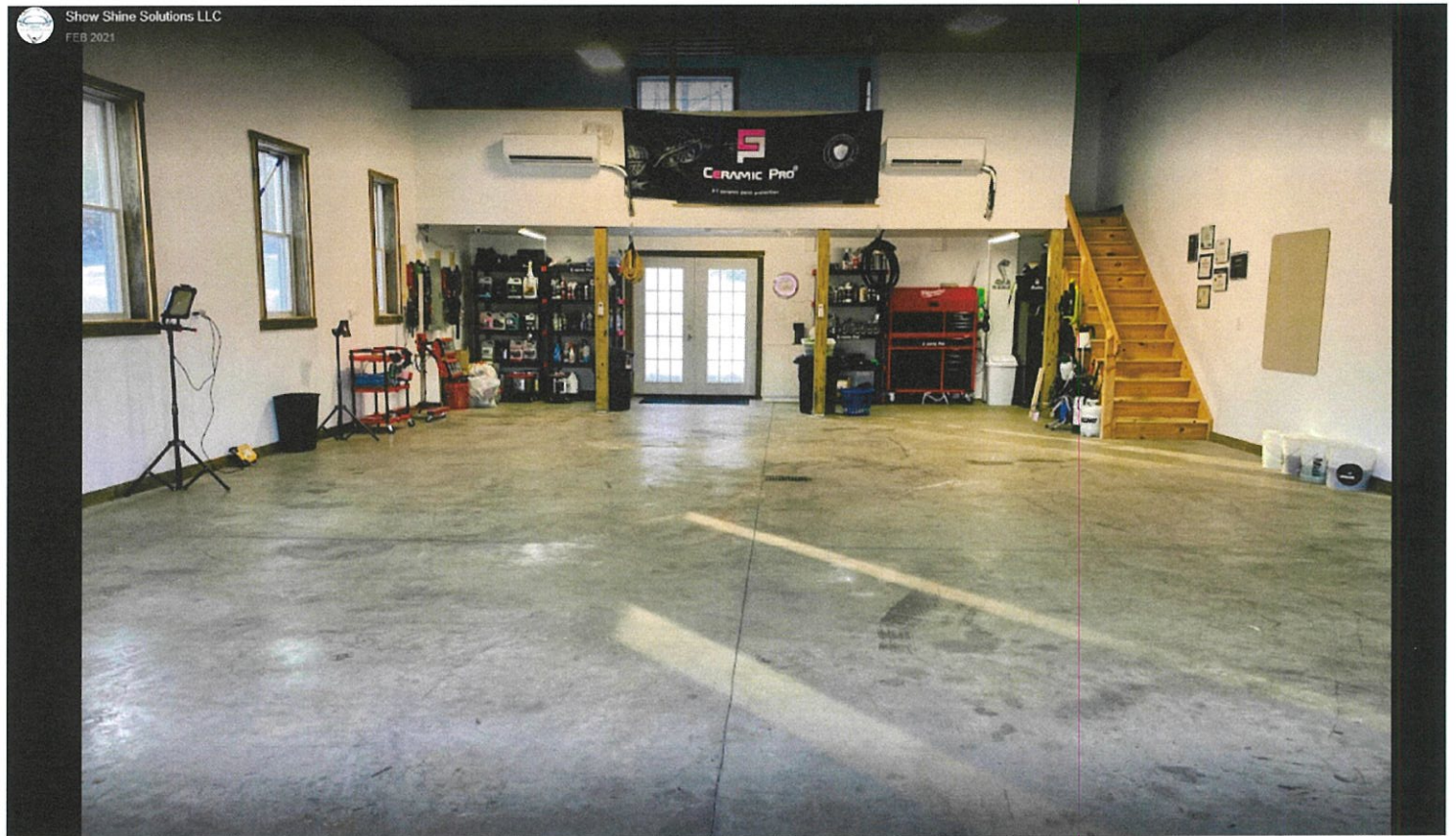
  
Building Official

3/20/2019

All Other Work and MEPs Require Sperate Permits

Call (860) 779-3411 Ext 12 For Inspection

## Show Shine Solutions, LLC Building #2



## Show Shine Solutions, LLC Building #2



This is an example of vehicles that are brought to Show Shine Solutions for services. Many of the vehicles are brand-new off the showroom floor but enthusiasts seek a better than brand new finish quality and protection on their investment.

# ▼ Show Shine Solutions, LLC

Waterless Wash Example –  
Video obtained from a youtube  
subscribed highend auto  
detailer similar to Show Shine

This video shows a similar  
process of how Show Shine  
Solutions, LLC washes vehicles  
inside the building without  
excess water or overspray.





## Craftsperson

- 1: a person who practices a trade or handcraft as a job
- 2: a person who is skilled in a craft

**This photo is of a ceramic coating cured by infrared, taken inside Show Shine Solutions.**

- Premium auto detailing typically has at least three main phases, with multiple steps to each phase. The first phase is a hand wash (described in the previous slide). The second phase is paint correction or restoration. This is where the artwork happens; where a car with swirl-marks, streaks, and water spots returns to showroom shine. The third phase is paint protection. This means applying a protective wax or sealant. For this step Show Shine Solutions offers a Ceramic Coating (pictured below). This step can only be performed by a licensed professional trained in the craft.



## Proposed Craftsperson/Tradesperson Building #3

- This building would be the perfect space for a tradesperson in the area of Electric, HVAC or plumbing. It is our hope that we can renovate this space to accommodate a business here.
- Plans are to renovate and revive the space in a similar fashion to Building #2, with a high efficiency ductless HVAC system and insulation. We would also add a dormer to accommodate a small office space upstairs. Below is the current state of the building (left) and a generic rendering (right) of what we would hope to achieve.

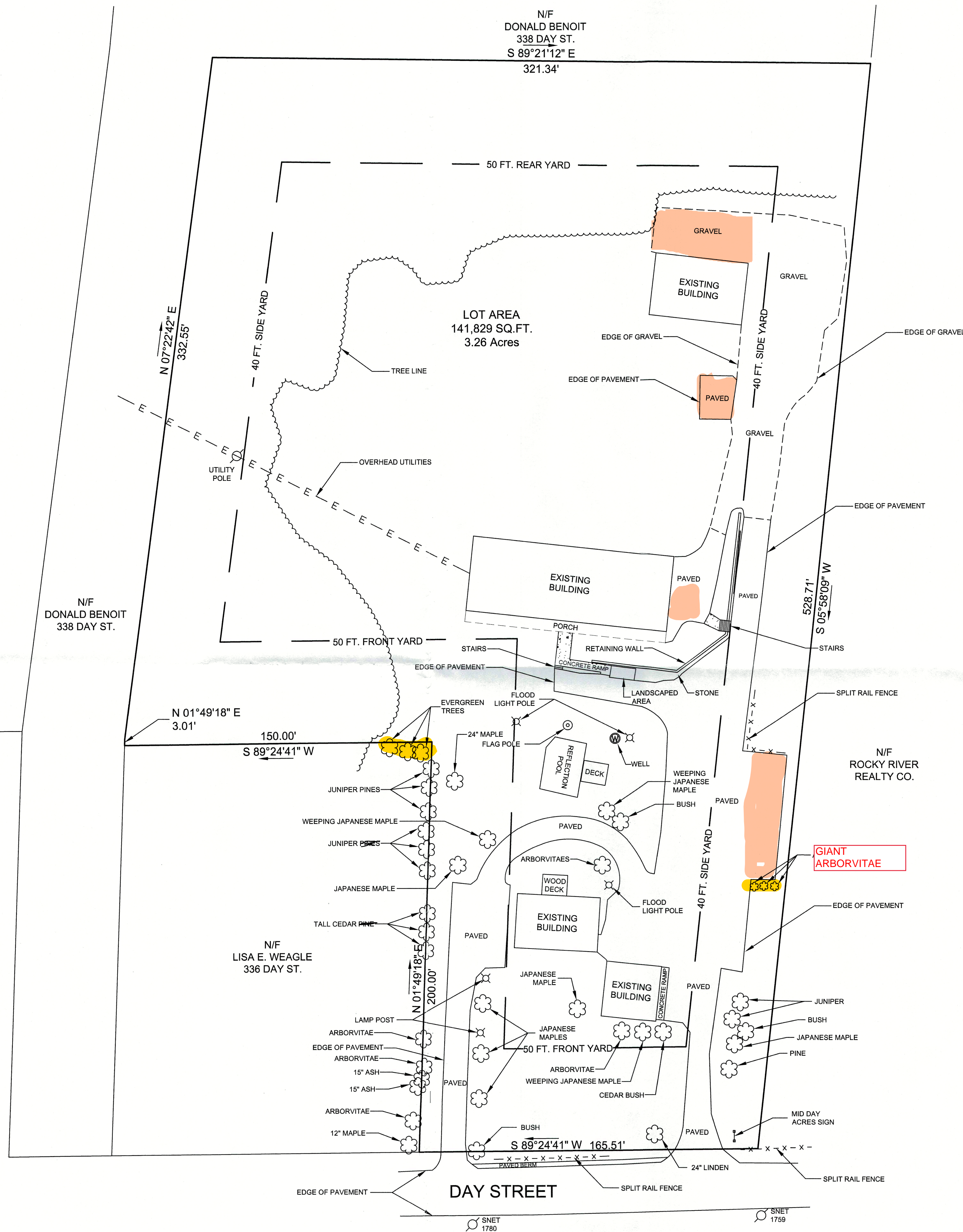


**SURVEY NOTES:**

- 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 29, 2019. IT IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL SURVEY ACCURACY CLASS A-2. THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE EXISTING IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.
- 2.) PROPERTY IS LOCATED IN A RA (RESIDENTIAL AGRICULTURAL) ZONE.
- 3.) THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE A PER FIRM FLOOD INSURANCE RATE MAP NUMBER 0901640003A EFFECTIVE JANUARY 3, 1985.

**MAP REFERENCES:**

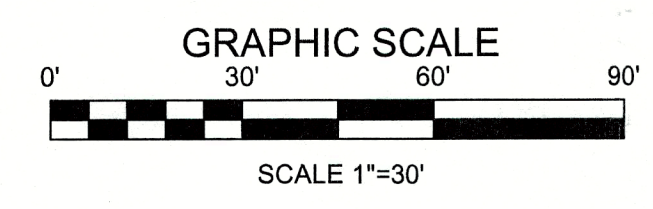
- 1.) SUBDIVISION PLAN PREPARED FOR GENERAL FINANCIAL SERVICES DAY STREET BROOKLYN, CONNECTICUT SCALE: 1"=60' DATE: 5/28/97 SHEET: 1 OF 1 PROJ # 97022 FB: 444 DWN: RAG CHK: BW KWP ASSOCIATES SURVEYING ENGINEERING SITE PLANNING 250 KILLINGLY ROAD POMFRET CENTER, CT 06259-0106



**LEGEND**

- EXISTING MERESTONE
- IRON ROD TO BE SET
- EXISTING IRON ROD
- ⊙ WELL
- ⊕ UTILITY POLE

UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANDREW F. BUSHNELL P.E., L.S. 24591  
THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.

	PLAN PREPARED FOR <b>JESSE TRINQUE</b>		
	330 DAY STREET BROOKLYN, CT.		
	ZONING LOCATION SURVEY		
	SCALE: 1"=30'	DATE: 10/21/2021	FILE NO. 2021-109
	SHEET: 1 OF 1		
<b>BUSHNELL ASSOCIATES LLC.</b> CIVIL ENGINEERING AND LAND SURVEYING 563 WOODBRIDGE STREET MANCHESTER, CT. 06042 860-643-7875			
REVISIONS: 11/09/2021			

# Killingly Engineering Associates

## Civil Engineering & Surveying



P.O. Box 421 Killingly, CT 06241  
Phone: 860-779-7299  
www.killinglengineering.com

**RECEIVED**

December 7, 2021 **DEC 15 2021**

### **Proposed In-Law Apartment**

*Michael J. Bunning*  
*26 Herrick Road*  
*Brooklyn, CT*

### **APPLICATION PACKAGE CONTENTS – Special Permit**

Application fee:

\$300.00 (Site Plan Review Fee)  
\$100.00 (Special Permit Fee)  
\$ 60.00 (State Fee)  
\$460.00 Total Fee

1. 4- full sized sets of plans– Dated: 11/30/2021
2. Special Permit Application
3. Site Plan Review Application
4. List of adjacent land owners including across the street
5. Environmental Impact Statement
6. Statement of Use
7. Sanitary Report
8. Copy of (A-2) Re-Subdivision Map
9. Floor Plan

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

DEC 15 2021

Received Date \_\_\_\_\_

Application #SP 21-004

Check # 9712

APPLICATION FOR SPECIAL PERMIT

Name of Applicant MICHAEL BUNNING Phone 860-428-5333

Mailing Address 26 HERRICK ROAD BROOKLYN CT 06234 Phone \_\_\_\_\_

Name of Engineer/Surveyor KILLINGLY ENGINEERING ASSOCIATES

Address PO BOX 421 KILLINGLY CT 06241

Contact Person NORMAN THIBEAULT Phone 779-7299 Fax \_\_\_\_\_

Name of Attorney N/A

Address \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 26 HERRICK ROAD

Map# 26 Lot# 3-1 Zone RA Total Acres 9.037

Sewage Disposal: Private  Public \_\_\_\_\_ Existing \_\_\_\_\_ Proposed

Water: Private  Public \_\_\_\_\_ Existing  Proposed \_\_\_\_\_

Proposed Activity PROPOSED 10-LOW APARTMENT IN EXISTING LOFT AREA OF GARAGE & ASSOCIATED SEPTIC SYSTEM

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? NO

The following shall accompany the application when required:

Fee \$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_

4.5.5 Application/ Report of Decision from the Inland Wetlands Commission

4.5.5 Applications filed with other Agencies

12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Michael Bunning Date 12/8/21

Owner: Michael Bunning Date 12/8/21

\*Note: All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_  
Action Date \_\_\_\_\_

Application #SPR \_\_\_\_\_  
Check# \_\_\_\_\_

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant MICHAEL BUNNING Phone 860-428-5333  
Mailing Address 26 HERRICK ROAD BROOKLYN CT 06234 Phone \_\_\_\_\_

Name of Owner SAME Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Phone \_\_\_\_\_

Name of Engineer/Surveyor KILLINGBY ENGINEERING ASSOCIATES  
Address PO BOX 421 KILLINGBY CT 06241  
Contact Person NORMAN TRIBESBULT Phone 779-7299 Fax \_\_\_\_\_

Property location/address 26 HERRICK ROAD  
Map # 26 Lot # 3-1 Zone RA Total Acres 9.037

Proposed Activity PROPOSED IN-LAW APARTMENT OVER GARAGE (IN EXISTING WFT AREA) & ASSOCIATED SEPTIC SYSTEM

Change of Use: Yes \_\_\_\_\_ No  If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion \_\_\_\_\_

Utilities - Septic: On Site  Municipal \_\_\_\_\_ Existing \_\_\_\_\_ Proposed   
Water: Private  Public \_\_\_\_\_ Existing  Proposed \_\_\_\_\_

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

Fee\$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_  
4.5.5 Application/ Report of Decision from the Inland Wetlands Commission  
4.5.5 Applications filed with other Agencies  
12.1 Erosion and Sediment Control Plans  
See also Site Plan Review Worksheet

Variances obtained N/A Date \_\_\_\_\_

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Michael Bunning Date 12/8/21  
Owner: Michael Bunning Date 12/8/21

\*Note: All consulting fees shall be paid by the applicant

**LIST OF AJACENT LAND OWNERS INCLUDING ACROSS THE STREET as of 12/07/2021 NECCOG**

*Michael J. Bunning  
26 Herrick Road  
Brooklyn, CT*

MAP/LOT	NAME
26 / 3-2	BUNNING MICHAEL 26 HERRICK RD BROOKLYN, CT 06234
26 / 3F	CREDIT SCOTT M & DANA L 46 HERRICK RD BROOKLYN, CT 06234
26 / 3A	VALENTE MICHAEL 38 HERRICK RD BROOKLYN, CT 06234
26 / 4	WHITE KIM M 32 HERRICK RD BROOKLYN, CT 06234
25 / 36-1	BOGERT KATIE LYN 19 HERRICK RD BROOKLYN, CT 06234
25 / 34	NIELSEN BOYD B 9 HERRICK RD BROOKLYN, CT 06234
25 / 41	SOKOLOWSKI RONALD A & MILDRED A P O BOX 217 BROOKLYN, CT 06234
26 / 20-1	SANSOUCY PAUL R PO BOX 917 DAYVILLE, CT 06241
26 / 20	BLAKE LORRAINE M 208 POMFRET RD BROOKLYN, CT 06234

# Killingly Engineering Associates

## *Civil Engineering & Surveying*



P.O. Box 421 Dayville, CT 06241  
Phone: 860-779-7299  
Fax: 860-774-3703

### **Michael Bunning - 26 Herrick Road Proposed In-law Apartment**

#### **Sanitary Report**

Soils on the subject property are suitable for installation of on-site septic systems. Deep test holes indicate restrictive soils at 32" to 34" with percolation rates less than 10 minutes per inch. These conditions combined the moderate slope allow for the design of a minimally sized system designed in accordance with state health code. The system footprint depicted on the plans is for a 2-bedroom in-law apartment and is currently under review by the Northeast District Department of Health.

#### **Water Supply Report**

The existing building is served with a drilled well and location depicted on the design plans provide sufficient separation distances from the proposed on-site septic system in accordance with state health code requirements. Well yields in the area have historically been very good. The existing well on the property for Mr. Bunning's home yields 25 gallons per minute and wells drilled for two single-family homes on the south side of Herrick Road yield in excess of 20 gallons per minute.

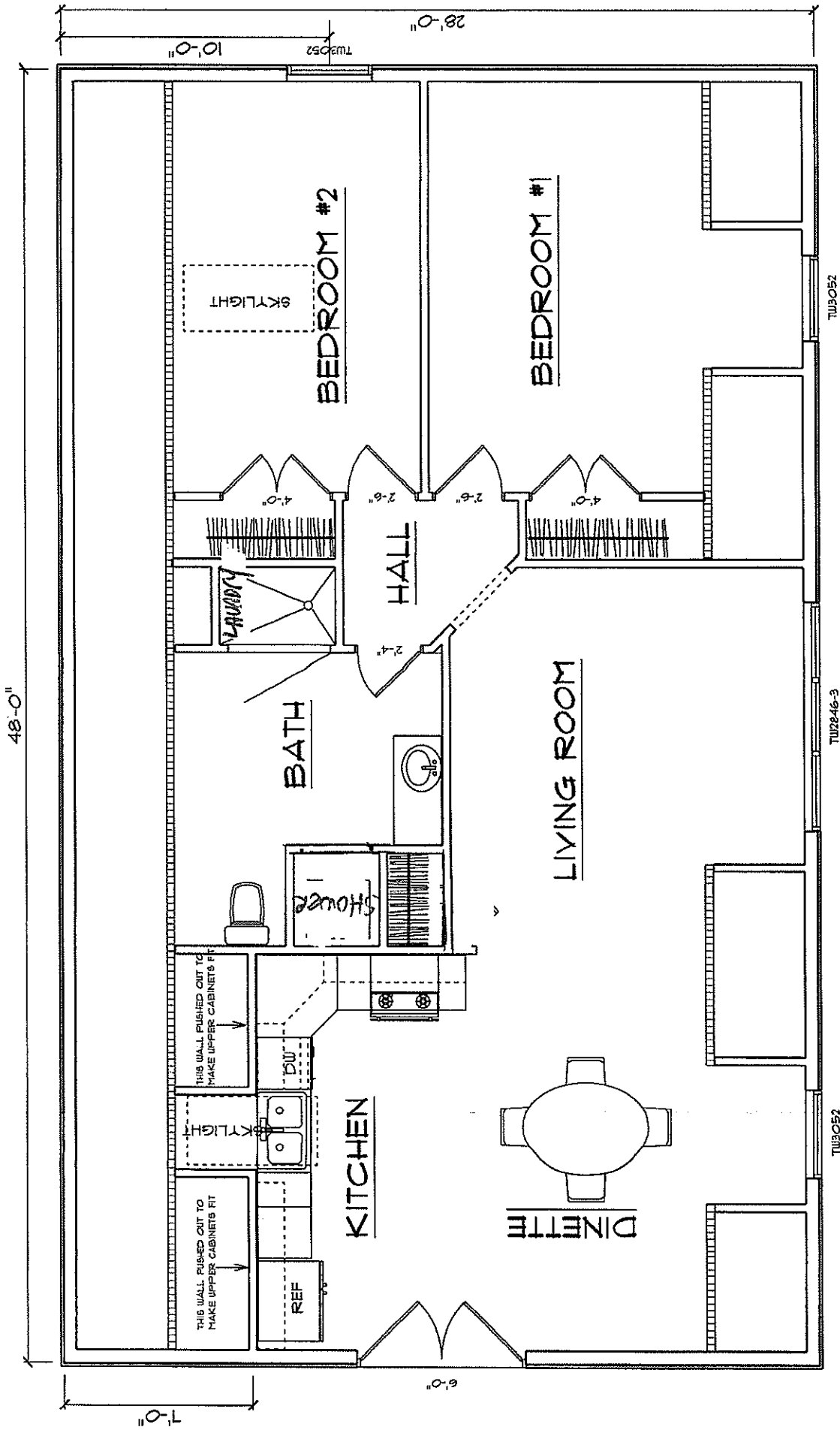
#### **Statement of Use**

The proposed in-law apartment will be constructed in a space above the existing 3-car garage that is currently vacant. A floor plan layout for the apartment is enclosed with the application.

#### **Impact Statement**

The proposed use will not have any impacts to the surrounding properties. The on-site septic system will be positioned in an area that has been previously disturbed and no additional impervious surfaces will be constructed. All improvements and modifications will be within an existing structure.





# BUNNING IN-LAW APARTMENT



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

December 21, 2021

Mike Bunning  
26 Herrick Road  
Brooklyn, CT 06234

**SUBJECT: FILE #96000206 -- HERRICK ROAD #26, MAP #26, LOT #3, BROOKLYN, CT**

Dear Mike Bunning:

The subject plan (KILLINGLY ENGINEERING ASSOCIATES, JOB# 10049, DRAWN 11/30/2021) submitted on 12/21/2021 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 2 bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil and fill material have been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
7. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations OR an Engineer's As Built will be required.
8. Septic tank must be located 5 feet from deck (field adjust) plan shows 4 feet.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist-NDDH

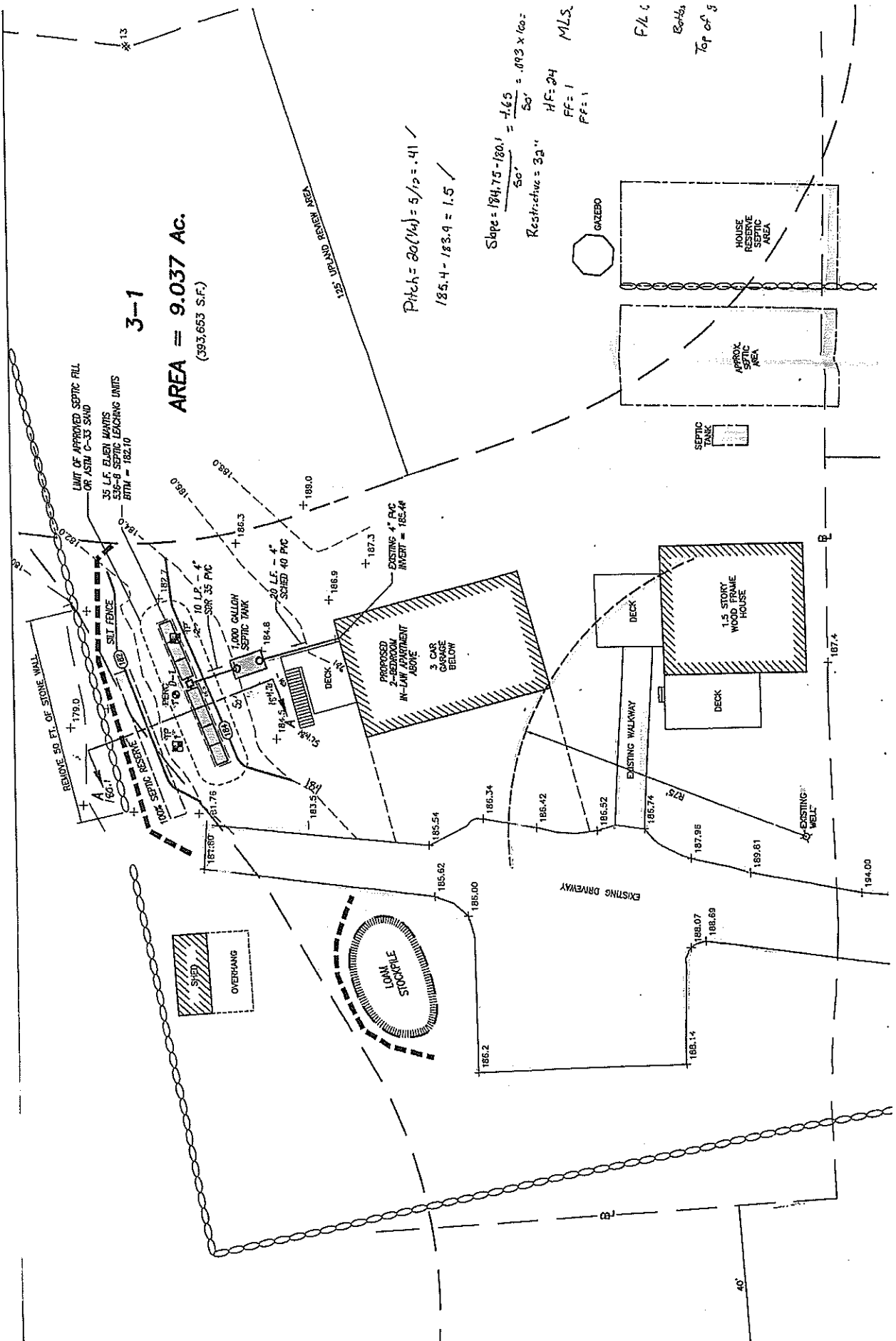
cc: Brooklyn Building Official; Killingly Engineering Associates

3-1  
 AREA = 9.037 AC.  
 (393,653 S.F.)

Pitch =  $20(1/4) = 5/12 = .41$   
 $185.4 - 183.4 = 1.5$

Slope =  $\frac{184.75 - 180.1}{50'} = \frac{4.65}{50'} = .093 \times 100 = 9.3\%$   
 Restraint =  $3.2''$   
 HF = 24  
 FF = 1  
 PFF = 1

F/L/C  
 B/b/b/b  
 TOP OF S



Certified Soil Scientist, in December 2010.

7. Soil test data taken from Northeast District Department of Health file number: 9600206.
8. Elevations based on an Assumed Datum. Contours taken from actual field survey. Contour interval = 2'.
9. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.

**MAP REFERENCE:**

"Resubdivision Map - Prepared For - Michael J. Bunning - Herrick Road & Pomfret Road (169) Brooklyn, Connecticut - Scale: 1" = 60' - Date: 5/24/2011 Revised To: 9/25/2012 - Sheet 2 Of 8 - Prepared By: Killingly Engineering Associates." On File In The Brooklyn Land Records.

DATE	DESCRIPTION
REVISIONS	

**GENERAL LOCATION SURVEY  
 SEPTIC SYSTEM DESIGN PLAN  
 PROPOSED IN-LAW APARTMENT  
 PREPARED FOR  
 MICHAEL J. BUNNING**

26 HERRICK ROAD  
 BROOKLYN, CONNECTICUT

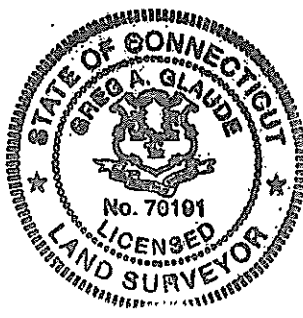
**Killingly Engineering Associates**  
*Civil Engineering & Surveying*

114 Westcott Road  
 P.O. Box 421  
 Killingly, Connecticut 06241  
 (860) 779-7299  
 www.killinglyengineering.com

DATE: 11/30/2021	DRAWN: RGS
SCALE: 1" = 20'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 10049

2021 DEC 14 A 10:43  
 NORTHEAST DISTRICT  
 DEPT OF HEALTH

**NORTHEAST DISTRICT DEPARTMENT OF HEALTH**  
 FILE # 9600206 REV #    PLAN RECD DATE 12/14/21  
 SITE PLAN:    A-2 SURVEY    T-2    REDLINE:    # OF COPIES 3  
 REVIEWED BY [Signature] Miss DATE 12/21/21  
 SENT TO STATE CO    DATE     
 APPROVED  APPROVED SEE LETTER  
 REJECTED  REVISION REQUIRED  
 RELEASE TO ENGINEER ONLY  PREPARED BY [Signature]



SUBSTANTIALLY CORRECT  
12-03-2021  
 70191 DATE

UNLESS THIS MAP BEARS THE LAND SURVEYOR.



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

December 21, 2021

Mike Bunning  
26 Herrick Road  
Brooklyn, CT 06234

**B100/APPLICATION**

**SUBJECT: FILE #96000206 -- HERRICK ROAD #26, MAP #26, LOT #3, BROOKLYN, CT**

Dear Mike Bunning:

On September 13, 2021 this department received an application proposing the addition of a 2 bedroom in-law apartment in the upper level of the existing garage to your property.

Based on the information provided and paperwork in our files this request has been approved under the following conditions:

1. Once addition is completed, a water analysis must be submitted to this office. The water sample is to be taken from the new faucet in the new in-law apartment kitchen. This is to ensure that the new plumbing has been properly disinfected prior to use of the water for drinking
2. Septic system to be taped off during construction to ensure proper separating distance is maintained and to protect from heavy traffic or storage of building materials in this area.

Approval is being granted under Section 19-13-B100a of the CT Public Health Code. This approval is given with the understanding that you will provide proper care and maintenance of the existing system (the septic tank is to be pumped every 3 years).

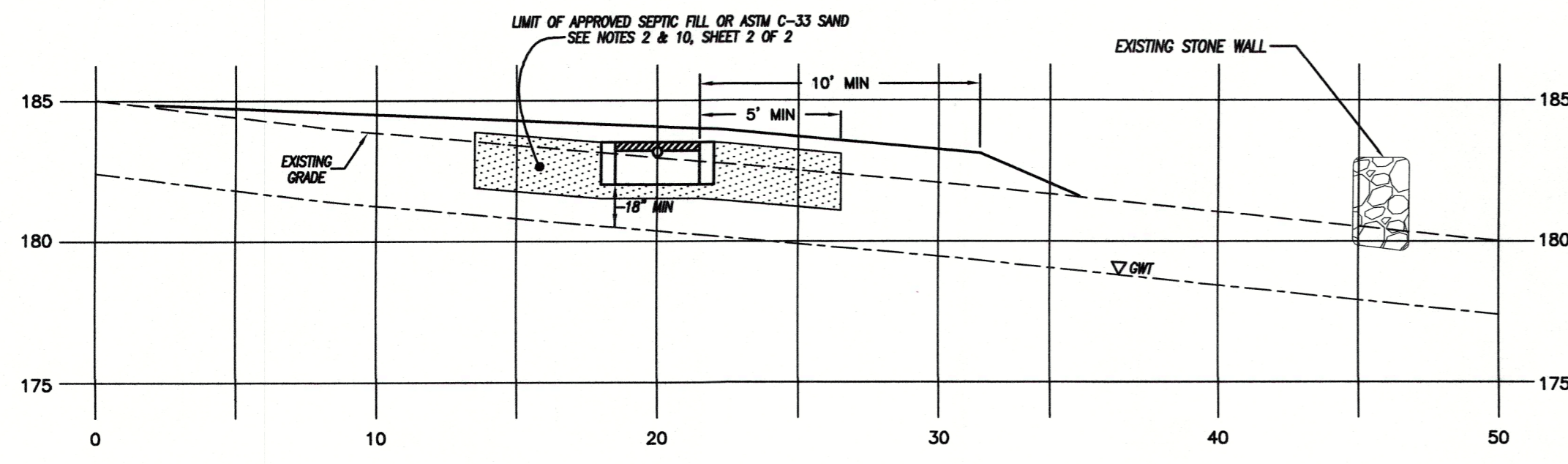
**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist-NDDH

cc: Brooklyn Building Official; Killingly Engineering Associates



PERCOLATION TEST RESULT - October 27, 2021  
NORTHEAST DISTRICT DEPARTMENT OF HEALTH.

HOLE 1  
Depth = 24\"/>

TEST HOLE DATA - October 27, 2021  
Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
1	0\"/>	
2	0\"/>	

SEPTIC SYSTEM DESIGN DATA

Percolation Rate	= 10 min. / in.
2 bedroom in-law requires	= 375 s.f. effective leaching area
Effective Leaching area	= 11 s.f. / l.f. of Eljen Mantis 536-8
Length Required	= 375/11 = 34.1 l.f.
Length Provided	= 35 l.f.
Min. Leaching System Spread (MLSS)	= 20 x 1.0 x 1.0 = 20'
MLSS Provided	= 35'

LEACHING FIELD  
One 35' row (7 sections) Eljen Mantis 536-8 Septic Leaching Units  
Maximum depth into existing grade = 14'

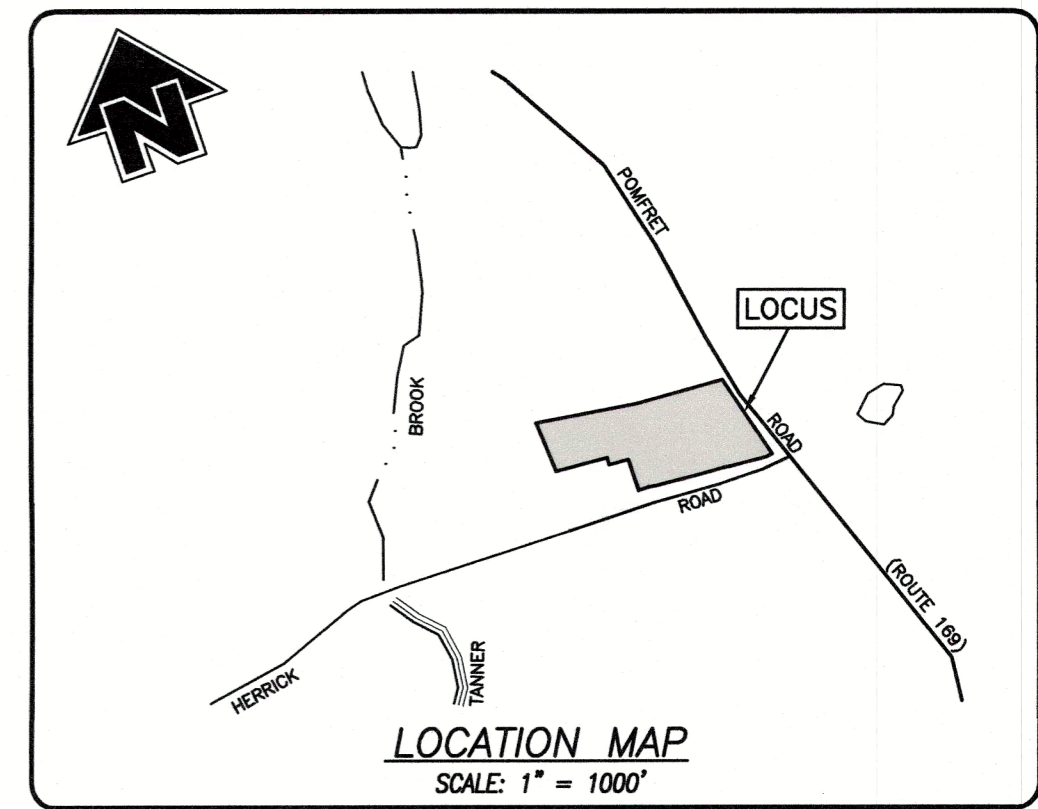


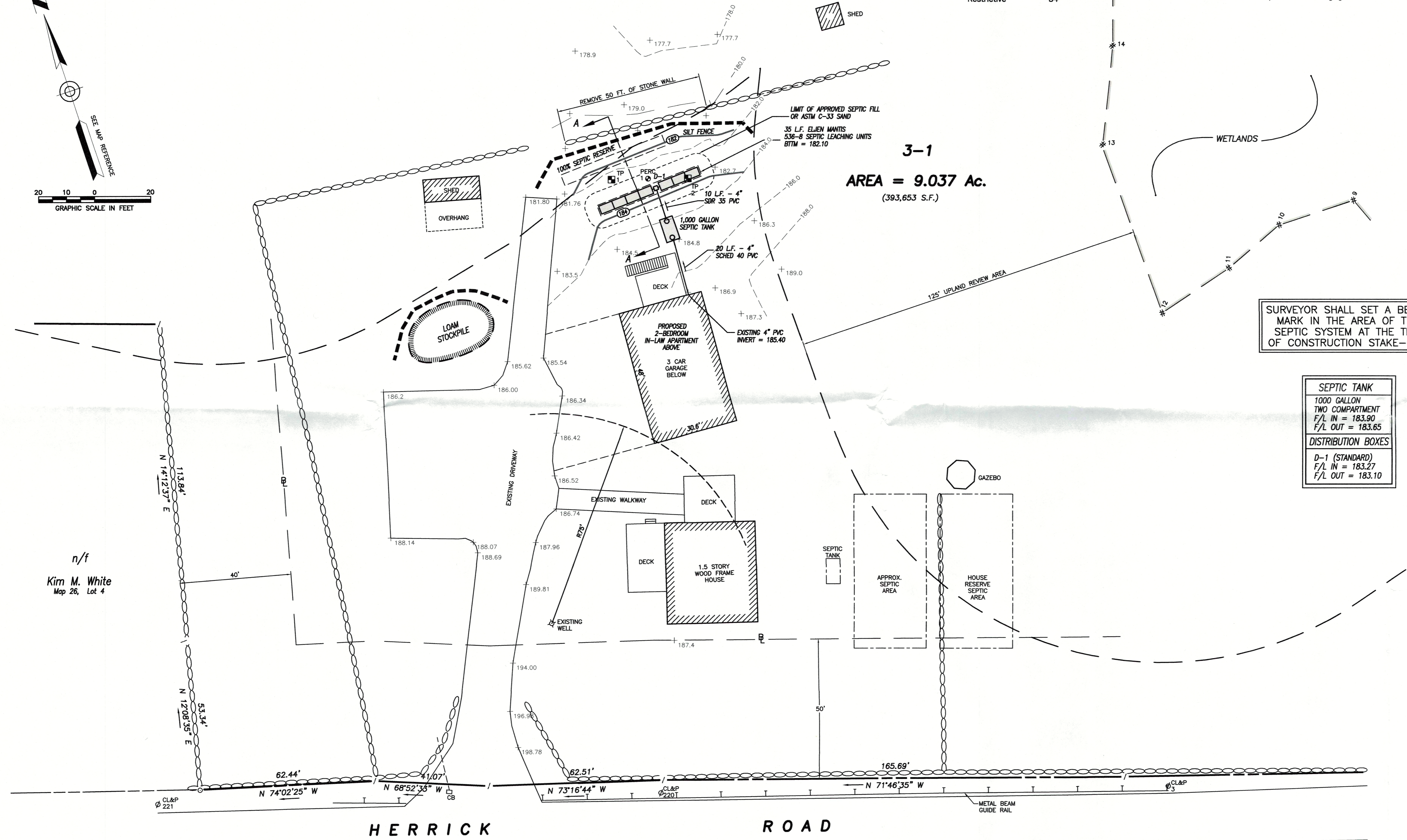
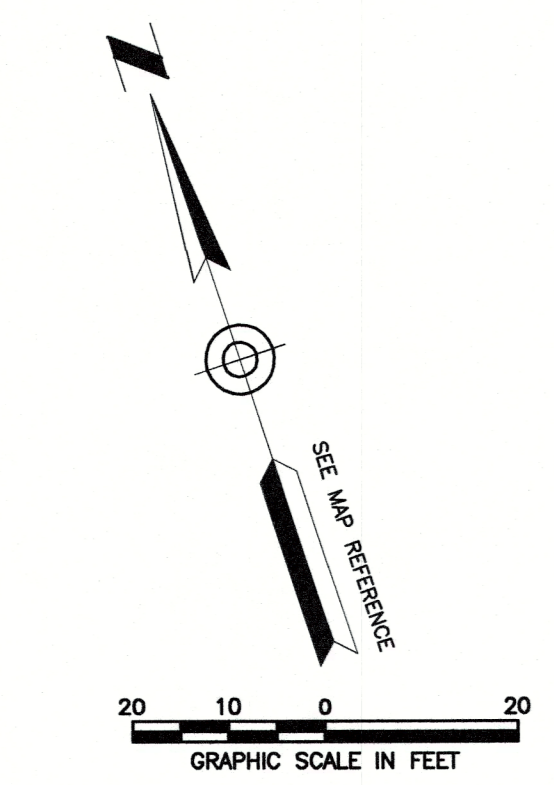
TABLE OF ZONING REQUIREMENTS

Lot Area	ZONE = RA	
	REQUIRED	PROVIDED
2 Acres	9.037 Acres	
Lot Frontage	150'	1183.48'
Front Yard Setback	50'	120.3*
Side Yard Setback	40'	164.6*
Rear Yard Setback	50'	260.6*
Building Height	35' Max.	27'

\* Proposed In-Law Apartment

NOTES

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;  
This map was prepared from record research, other maps, limited field measurements and other sources, it is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.  
- This survey conforms to a Class "C" horizontal accuracy.  
- Topographic features conform to a Class "1-2", "V-2" vertical accuracy.  
- Survey Type: General Location Survey.



SURVEYOR SHALL SET A BENCH MARK IN THE AREA OF THE SEPTIC SYSTEM AT THE TIME OF CONSTRUCTION STAKE-OUT.

SEPTIC TANK

1000 GALLON
TWO COMPARTMENT
F/L IN = 183.90
F/L OUT = 183.65

DISTRIBUTION BOXES

D-1 (STANDARD)
F/L IN = 183.27
F/L OUT = 183.10

- Zone = RA.
- Owner of record: Michael J. Bunning  
26 Herrick Road, Brooklyn, CT 06234
- Parcel is shown as Lot #3-1 on Assessors Map #26.
- Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map #090164 Panel 0002A Effective Date: January 3, 1985. This subdivision does not include land areas within the federal Emergency Management Agency's 100-year flood hazard area.
- Wetlands shown were flagged in the field by Ian Cole, Certified Soil Scientist, in December 2010.
- Soil test data taken from Northeast District Department of Health file number: 9600206.
- Elevations based on an Assumed Datum. Contours taken from actual field survey. Contour interval = 2'.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.

MAP REFERENCE:  
"Resubdivision Map - Prepared For - Michael J. Bunning - Herrick Road & Pamfret Road (169) Brooklyn, Connecticut - Scale: 1\"/>

DATE	DESCRIPTION

GENERAL LOCATION SURVEY  
SEPTIC SYSTEM DESIGN PLAN  
PROPOSED IN-LAW APARTMENT  
PREPARED FOR  
**MICHAEL J. BUNNING**  
26 HERRICK ROAD  
BROOKLYN, CONNECTICUT

**Killing Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killingengineering.com

DATE: 11/30/2021	DRAWN: RGS
SCALE: 1" = 20'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GGG
DWG. No: CLIENT FILE	JOB No: 10049

- LEGEND
- IRON PIN FOUND
  - F.F. FINISHED FLOOR
  - UTILITY POLE
  - CATCH BASIN
  - - - 100 - - - EXISTING CONTOURS
  - ⊕ PROPOSED CONTOURS
  - ⊕ INLAND WETLANDS FLAG
  - - - BUILDING SETBACK LINE
  - PERCOLATION TEST HOLE
  - TEST HOLE
  - STONE WALL
  - - - SILT FENCE

APPROVED BY THE BROOKLYN PLANNING AND ZONING COMMISSION

CHAIRMAN	DATE

Expiration date per Sec. 8.26C, Connecticut General Statutes: \_\_\_\_\_



Norman Thibault, Jr., P.E. No. 22834 DATE 12-07-2021

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Greg A. Glaude, L.S.* 12-07-2021  
GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

**PRINCIPLES OF EROSION AND SEDIMENT CONTROL**

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

**KEEP LAND DISTURBANCE TO A MINIMUM**

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

**SLOW THE FLOW**

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

**KEEP CLEAN RUNOFF SEPARATED**

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

**REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS**

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

**SEPTIC SYSTEM CONSTRUCTION NOTES**

- The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
- Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
  - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

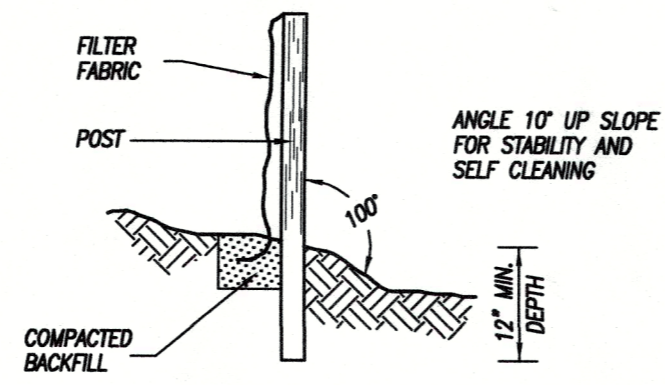
GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 20%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

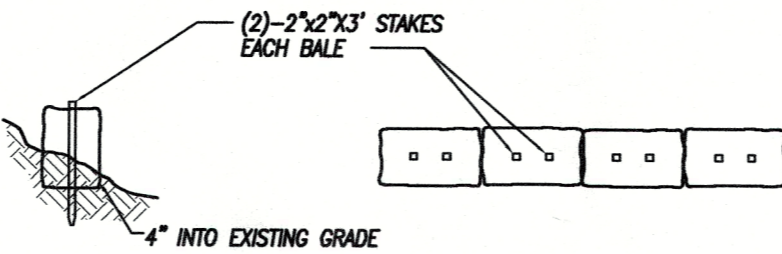
Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of five feet (5') around the perimeter of the system. Common fill shall extend an additional five feet (5') down gradient of the system (10' total) before tapering off at a maximum slope of 2H:1V.

- Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
- Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
- All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.
- Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.
- Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 or ASTM F1760 for SDR 35, or ASTM F810 for SDR 38.
- Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.
- Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.
- Septic sand shall meet the requirements of ASTM C-33 with less than 10% passing a 100 sieve and less than 5% passing a 200 sieve

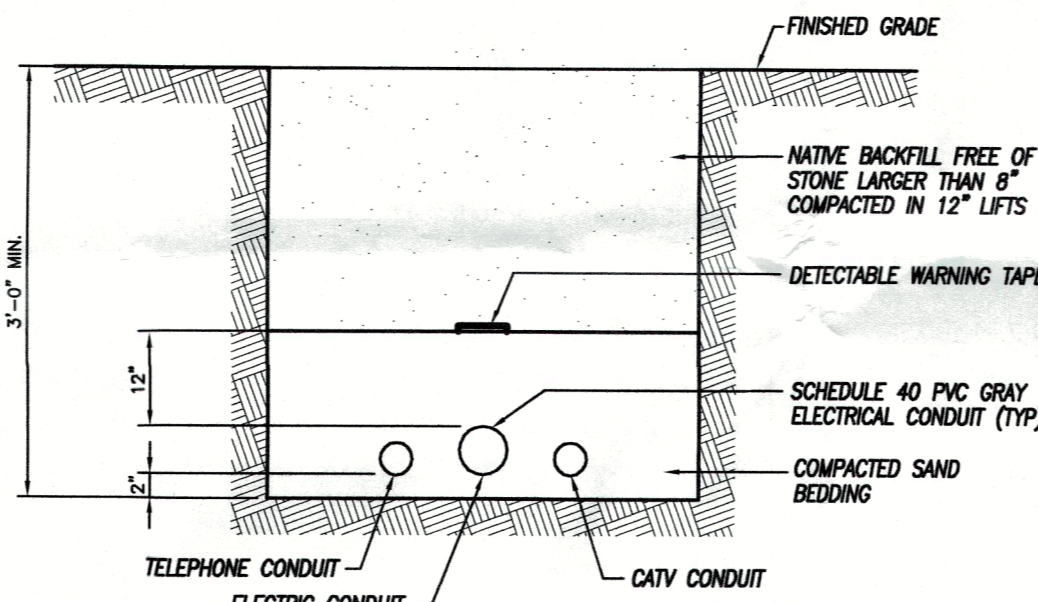
SIEVE SIZE	% PASSING
0.375	100
#4	95-100
#6	80-100
#16	60-85
#30	25-50
#50	10-30
#100	<10
#200	<5



**SILT FENCE**  
NOT TO SCALE

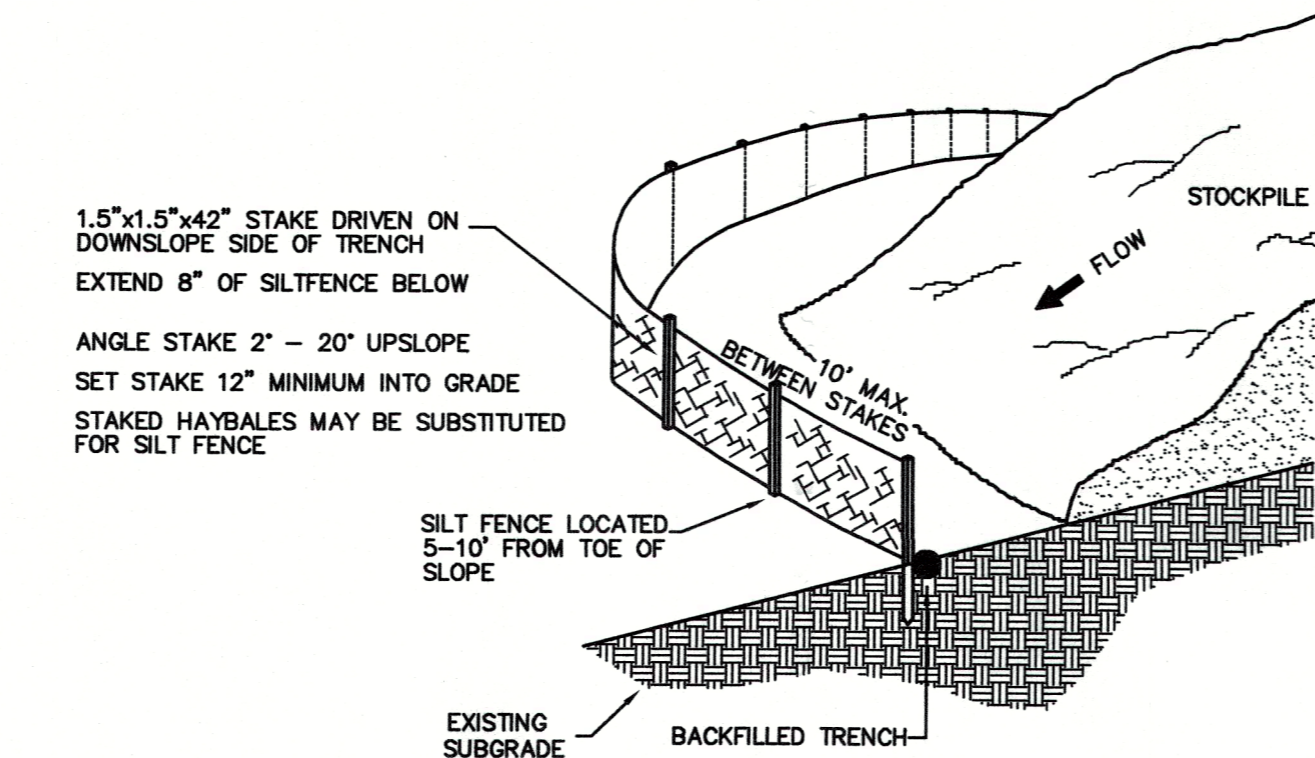


**HAYBALE BARRIER**  
NOT TO SCALE

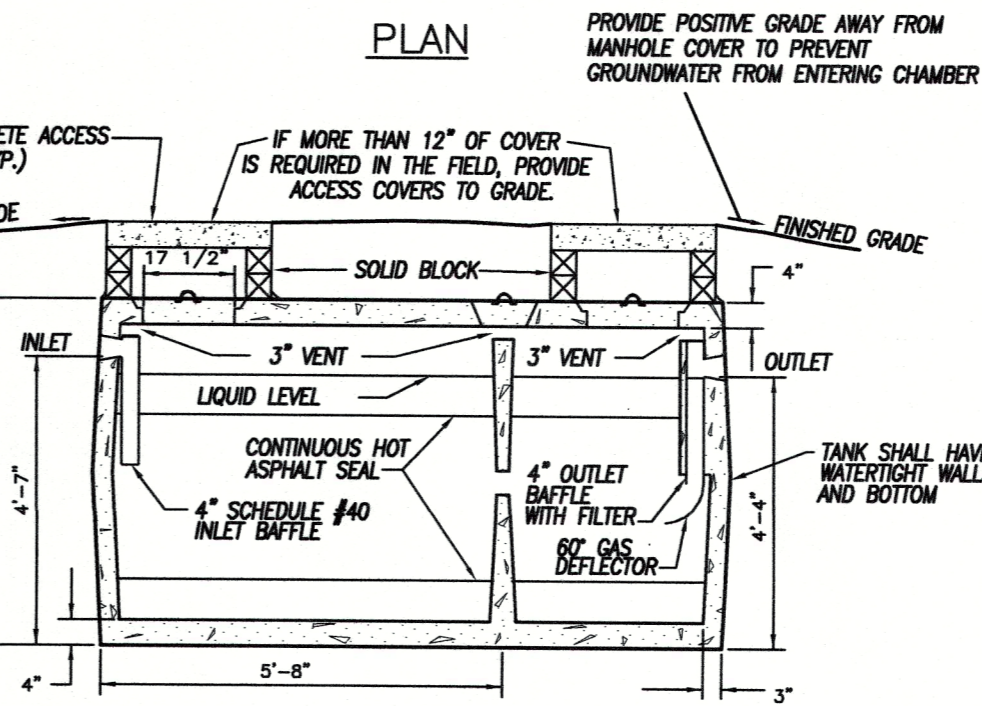
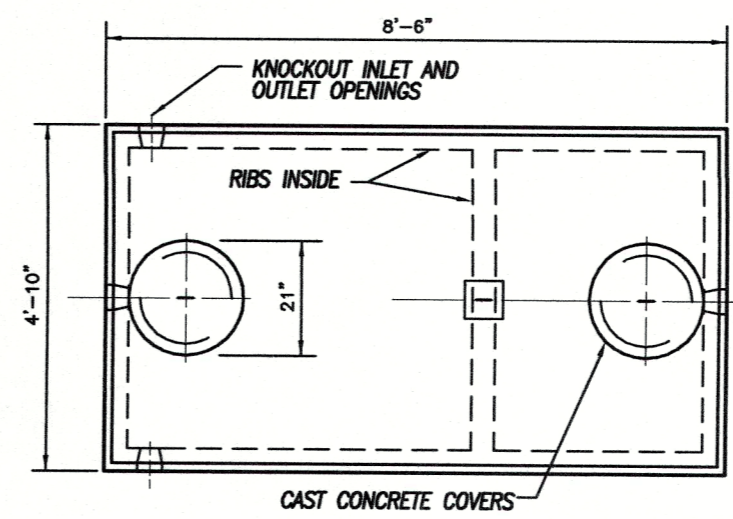


NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

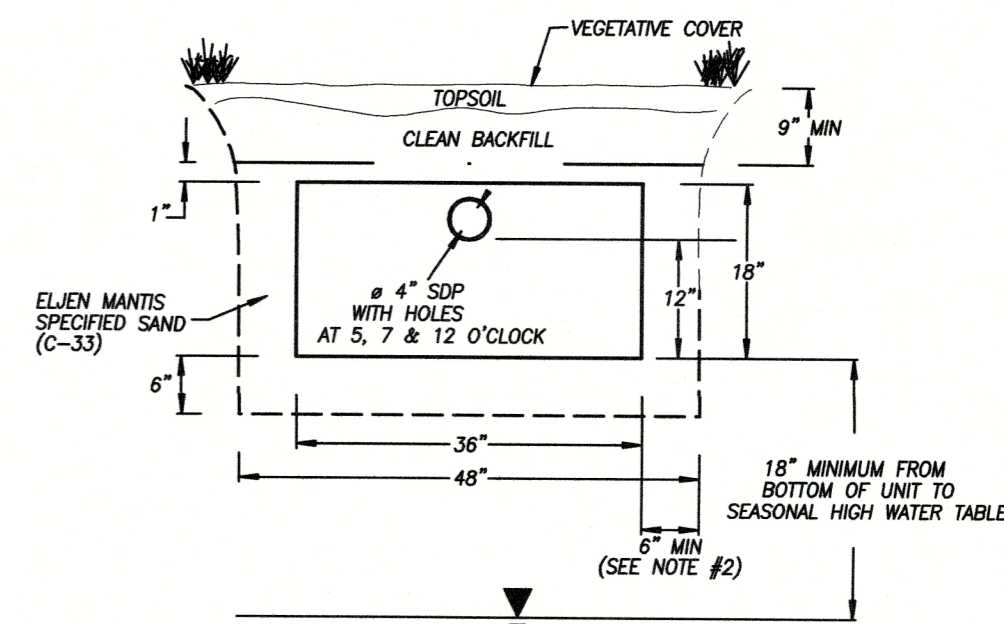
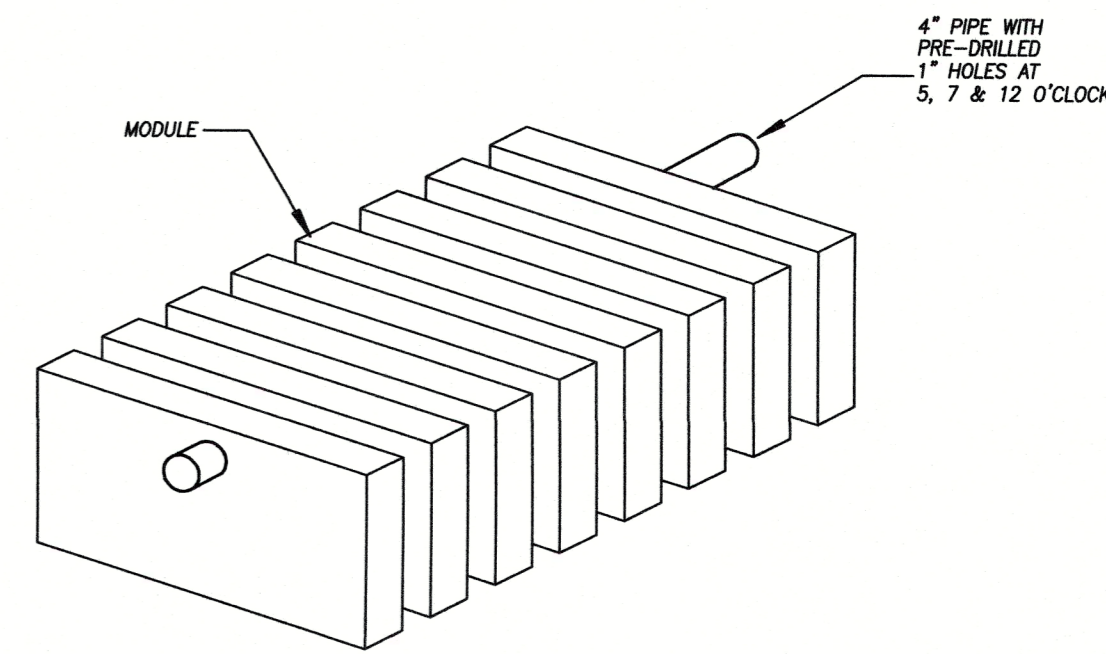
**UNDERGROUND UTILITY TRENCH**  
NOT TO SCALE



**SILT FENCE @ TOE OF SLOPE APPLICATION**  
NOT TO SCALE

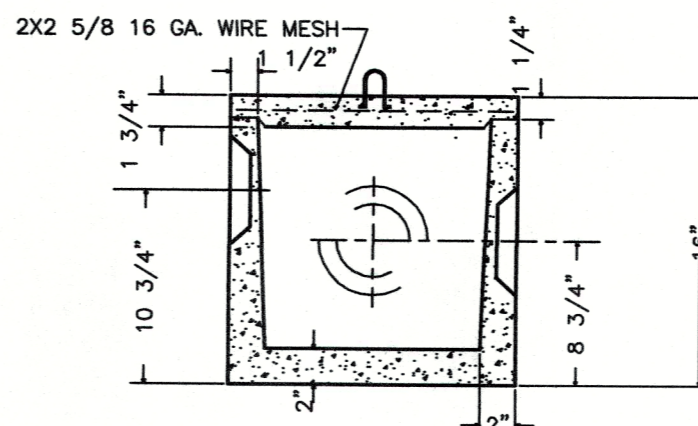


**1000 GALLON 2 COMPARTMENT SEPTIC TANK**  
NOT TO SCALE



- NOTES:
- VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE.
  - FOR SYSTEMS INSTALLED IN FILL, CONTRACTOR SHALL PROVIDE 5' OF SELECT FILL OR ASTM C-33 SAND 5' AROUND PERIMETER OF SYSTEM.

**ELJEN 536-8 WASTEWATER LEACHING SYSTEM**



**STANDARD D-BOX**  
NOT TO SCALE

DATE	DESCRIPTION

DETAIL SHEET  
PREPARED FOR

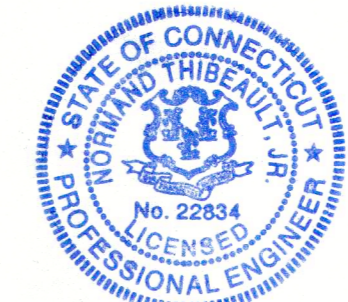
**MICHAEL J. BUNNING**

26 HERRICK ROAD  
BROOKLYN, CONNECTICUT

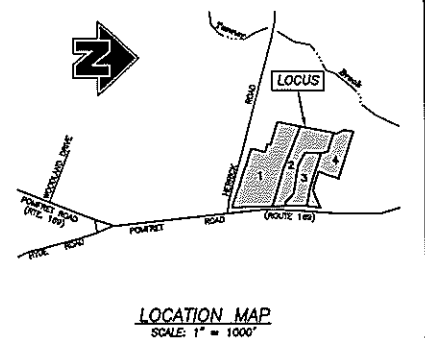
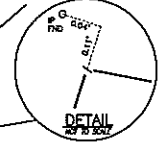
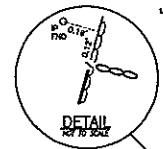
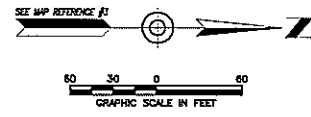
**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 11/30/2021	DRAWN: RGS
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 2 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 10049



*Norman Thibault, Jr.*  
NORMAN THIBAUT, JR., P.E. No. 2884 DATE



- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-23 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1998;
    - This survey conforms to a Class "A-2" horizontal accuracy.
    - Survey Type: Resubdivision Map.
    - Boundary Determination Category: Along existing lot lines = Dependent Resurvey. Along proposed lot lines = Original Survey.
  - Total area of subdivision = 20.907 Acres.
  - Zone = RA.
  - Owner of record: Michael J. Bunning, 26 Herrick Road, Brooklyn, CT 06234
  - Applicant: Michael J. Bunning, 26 Herrick Road, Brooklyn, CT 06234
  - Parcel is shown as Lot #3 on Assessors Map #26.
  - Parcel is not within 500 feet of an adjacent municipality.
  - Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FEMA Map #090164 Panel 002A Effective Date: January 3, 1985. This subdivision does not include land areas within the federal Emergency Management Agency's 100-year flood hazard area.
  - Wetlands shown were flagged in the field by Ian Cole, Certified Soil Scientist, in December 2010.
  - The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.
  - The applicant agrees to convey a \$4,000.00 fee in lieu of open space to the Town of Brooklyn, divided equally by each lot, payable at the time of sale of each individual Lot. A zoning or building permit shall not be issued for any Lot until this fee has been paid and the Brooklyn Planning and Zoning Department have received proof of payment.

- MAP REFERENCES:**
- "Subdivision Plan - of Land of - Lester B. Williams - Route #169 - Brooklyn, Connecticut - Scale: 1" = 40' - Date: 10/21/1979 - Prepared by: Kaeliya, Woodis & Pike". On file in the Town of Brooklyn Land Records as Map Book #5 Map #48.
  - "Property Survey / Subdivision Plan - Prepared for - Howard B. & Virginia P. Denslow - Herrick Road, Brooklyn, Connecticut - Scale: 1" = 40' - Date: December 1993 - Revised to: 2/1/94 Prepared by: Normandin & Associates". On file in the Town of Brooklyn Land Records as Map Book #11 Map #65.
  - "Monumented Perimeter Survey Map - Prepared for - Frances W. Leach - Conn. Route #169 & Herrick Road, Brooklyn, Connecticut - Scale: 1" = 60' - Date: October 1985 - Prepared by: Normandin & Associates". Not on file.

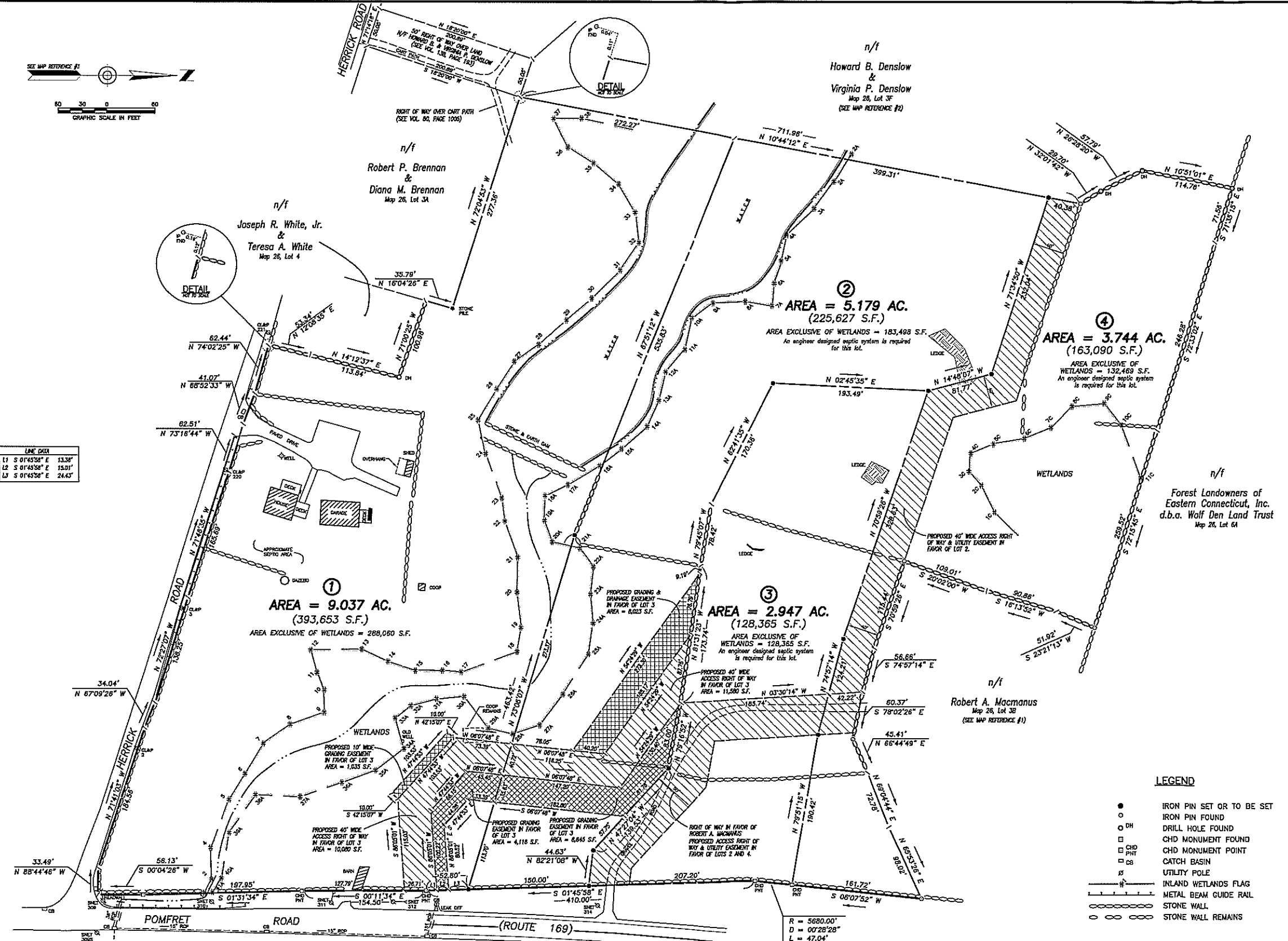
DATE	REVISIONS	CONDITIONS OF APPROVAL
9/25/2012		CONDITIONS OF APPROVAL
3/27/2012		DRIVEWAY - LOT 3
10/20/2011		CITOT COMMENTS
9/21/2011		NOAH COMMENTS
6/22/2011		FINAL PLAN REVIEW

**LEGEND**

- IRON PIN SET OR TO BE SET
- IRON PIN FOUND
- DH DRILL HOLE FOUND
- CHD CHD MONUMENT FOUND
- PNT CHD MONUMENT POINT
- CB CATCH BASIN
- UTILITY POLE
- INLAND WETLANDS FLAG
- METAL BEAM GUIDE RAIL
- STONE WALL
- STONE WALL REMAINS

**LINE DATA**

L1	S 01°45'58" E	13.30'
L2	S 01°45'58" E	15.01'
L3	S 01°45'58" E	24.45'



APPROVED BY THE BROOKLYN PLANNING AND ZONING COMMISSION  
 FINAL APPROVAL DATE: \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE BROOKLYN INLAND WETLANDS COMMISSION.

THE APPLICANT WILL CONTACT THE BROOKLYN INLAND WETLANDS COMMISSION OR ITS AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

ENDORSED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist: \_\_\_\_\_ Date: \_\_\_\_\_

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE: \_\_\_\_\_

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

**RESUBDIVISION MAP**

PREPARED FOR

**MICHAEL J. BUNNING**

HERRICK ROAD & POMFRET ROAD (ROUTE 169)  
 BROOKLYN, CONNECTICUT

**Killingly Engineering Associates**  
 Civil Engineering & Surveying

94 Wetlands Road  
 P.O. Box 421  
 Derby, Connecticut 06411  
 (860) 759-7291 - FAX: (860) 774-3703

DATE: 5/21/2011	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: —
SHEET: 2 OF 8	CHK BY: GG
DWG. No: HF 106	JOB No: 10049

K:\10049\Drawings\10049\_10049\_SUB.dwg Date: 07/20/11 10:51 AM





TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE  
IN  
ZONING REGULATIONS

Date 12/17/21 Check # 1121 Application #ZRC 21-003  
Application Fee: \$250 250 State Fee: \$60 60 Publication Fee: ~~\$600~~ <sup>150</sup> \$460 ck # 1121

Public Hearing Date \_\_\_\_\_ Commission Action \_\_\_\_\_ Effective Date \_\_\_\_\_

Name of Applicant BROOKLYN SELF STORAGE LLC Phone 860-933-5693

Mailing Address 1651 THOMAS ST. ENGLEWOOD, FL 39223

REQUEST TO AMEND ARTICLE(S) 6.B.3 SECTION(S) 1

If more than one Article is requested please attach separate sheet for each one

PARAGRAPH TO CHANGE 6.B.3. OF THE ZONING REGULATIONS

REQUEST TO CHANGE: SEE ATTACHED PROPOSED AMENDMENT

REASON FOR REQUEST: PROVIDE FOR REPLACEMENT/ADDITIONS OF SELF STORAGE BUILDINGS AS SHOWN ON THE SITE PLAN.

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

*Proposed Amendment ("Clean" Version)*

**6.B.3. ADAPTIVE RE-USE OF AN AGRICULTURAL BUILDING**

**6.B.3.1. LOCATION AND USE**

1. Adaptive re-use of an agricultural building may only be permitted:
  - a. For an agricultural building existing on February 7, 2002;
  - b. For the replacement of an agricultural building or buildings existing on February 7, 2002 provided any replacement building must utilize the same footprint as the building being replaced or provide for less Building Coverage within the same footprint as the building being replaced; and, or,
  - c. For the erection of a new building or buildings, provided:
    - i. The subject property was the site of an agricultural use or building on February 7, 2002;
    - ii. The proposed use is authorized pursuant to § 2 hereof; and
    - iii. If the subject property is already developed, the proposed use is identical to the existing use of the property.

The applicant must document the previous agricultural use and compliance with any other requirement of this section.

**6.B.2.3. STANDARDS AND CRITERIA**

1. State Route Business Enterprises shall be limited to a gross floor area not to exceed 2,400 square feet per lot.
2. State Route Business Enterprises shall:
  - a. maintain the residential character of the buildings and the lot and the neighborhood,
  - b. be developed in a manner that will minimize the conflict of such use with the surrounding residential uses and its cultural and historical heritage, and
  - c. not negatively impact the value of surrounding residential property.
3. The lot shall be of such size, shape and dimension that any exterior evidence of the proposed use or uses is screened from public view in accordance with Section 7.C, Landscape Regulations.
4. A buffer of 50 feet in width shall be required for any outside storage or parking associated with the use and must meet the Screening and Buffering Area Standards as contained in Section 7.C.6 of these Regulations.
5. The application shall show measures taken to minimize the impact of vehicular traffic on the surrounding neighborhood. The commission may require the applicant to provide a traffic analysis from a licensed professional engineer if, in the Commission's determination, the State Route Business Enterprise may cause a reduction in traffic safety or a reduction in the level of service in the public roadway.
6. As a condition to the Special Permit the Commission may establish limits on the hours and days of operation, lighting, number and type of vehicles, outside storage, and such other conditions as may be necessary to minimize the impact of the proposed activity on the surrounding residential areas.

**6.B.3. ADAPTIVE RE-USE OF AN AGRICULTURAL BUILDING**

**6.B.3.1. LOCATION AND USE**

1. Adaptive re-use of an agricultural building may only be permitted for an agricultural building existing on February 7, 2002. The applicant must document the previous agricultural use.
2. This section shall only authorize the following uses:
  - a. Light Industry,
  - b. Self-Storage Facilities,
  - c. Offices, Business or Administrative and
  - d. Shop and/or storage space for Electricians, Plumbers, Carpenters and Craftsperson's (but not including sales on the premises of craft items created by the craftsperson).

## 6.B

### USE-RELATED PROVISIONS

#### ALTERNATIVE BUSINESS ARRANGEMENTS

#### 6.B.3.2. TYPE OF APPROVAL

1. The Commission may authorize the issuance of a Special Permit for adaptive re-use of an agricultural building when it has been determined that the proposed use meets:
  - a. the standards and criteria in Section 6.B.3.3, and
  - b. the requirements of Section 9.D of these Regulations.
2. While the owner of the property may choose to lease out the agricultural building, the Special Permit for adaptive re-use of an agricultural building shall be issued to the owner of the property and the owner shall be responsible for ensuring compliance with these Regulations.
3. The Commission may authorize more than one adaptive re-use of an agricultural building on a property but the uses will be considered cumulatively when determining compliance with the Regulations.
4. Changes in uses within the agricultural building must be reviewed by the Commission and the Special Permit revised accordingly.
5. A change in in owner or lessee must be reviewed by the Commission and the approval may be amended to permit the proposed owner, or operator provided all conditions of the Regulation are satisfied.

#### 6.B.3.3. STANDARDS AND CRITERIA

1. The adaptive re-use of an agricultural building shall not:
  - a. Detract from the character of the lot or the neighborhood,
  - b. Create a conflict of such use with the surrounding residential uses, or
  - c. Negatively affect residential property values.
2. The proposed site shall:
  - a. have direct access to a State Highway or approved town road,
  - b. have an area equal to or greater than three acres, and
  - c. have frontage equal to or greater than one-hundred and fifty (150) feet.
3. The lot shall be of such size shape and dimension that any exterior evidence of the proposed use is screened from public view in accordance with Section 7.C Landscape Regulations.
4. For any outside storage or parking associated with the Home Enterprise use, a buffer of 50 feet shall be required meeting the Screening and Buffering Area Standards of Section 7.C.6.
5. The application shall show measures taken to minimize the impact of vehicular traffic on the surrounding neighborhood.
6. As a condition to the Special Permit the Commission may establish limits on the hours of operation, number and type of vehicles, outside storage, and such other conditions as may be necessary to minimize the impact of the proposed activity on the surrounding residential areas.

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

RECEIVED

OCT 04 2021

October 4, 2021

Brooklyn Planning & Zoning Commission  
C/O Jana Roberson, Director of Community Development & Town Planner  
69 South Main Street  
Suite 22  
Brooklyn, CT 06234

**RE: Proposed Zoning Text Amendment  
P&R Job No. 213050**

Dear Commissioners:

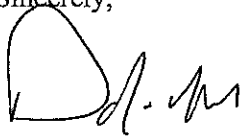
Attached, please find a completed application form, <sup>\$615<sup>00</sup></sup> \$910.00 application fee and a proposed amendment to Section 6.G of the Brooklyn Zoning Regulations. The subject section outlines the requirements for the development of Conservation Subdivisions. The requested amendment is intended to better encourage the development of Conservation Subdivisions and to simplify the application of the regulation during the design and permitting of a Conservation Subdivision. The amendments and the reasoning for each specific request are summarized as follows:

1. Allow duplex buildings in Conservation Subdivisions. *There seems to be no technical or engineering related reason not to allow duplex buildings in Conservation Subdivisions. All septic system, well and building setback requirements would apply to duplex buildings in the same manner as single family buildings. Since duplex buildings are allowed by right in a Conventional Subdivision, it seems appropriate to allow duplex buildings in a Conservation Subdivision as long as the applicable technical and dimensional requirements can be met.*
2. Remove the requirement to show trees >18" DBH as Secondary Conservation resources. *Trees are a temporary site feature, particularly larger trees which may be over-mature and near the end of their natural life cycle. Unfortunately, we also live in a time when invasive pests threaten to destroy particular species of trees. Buildings, roads and infrastructure are permanent site features. It does not seem appropriate to require the design of permanent site features around particular trees or to require developers to bear the expense of detailed tree surveys to locate every large tree on a property.*
3. Revise language on Primary and Secondary Conservation Areas. *The current language utilizing the word "shall" will create conflicts on the majority of project sites. If an application is presented for a property on which the entire parcel qualifies as either Primary or Secondary Conservation Areas, the proposed amendment alleviates any potential regulatory conflict and recognizes that in almost all cases, the development of a Conservation Subdivision will involve a compromise over which areas should be conserved and which areas should be developed.*

4. Provide full credit for conservation of wetlands, watercourses and areas of steep slopes. *Since these areas are specifically identified as Primary and Secondary Conservation Areas which should be prioritized for conservation, it is not appropriate to exclude their areas from the required open space dedication. In some instances, such as a site with a large pond, wetlands, watercourses and surrounding steep slopes may very well represent the most noteworthy natural resources on the property and full credit should be given for these land areas in open space dedication.*
5. Removal of 100' buffer requirement along Town right of way. *The perimeter of a Conservation Subdivision must comply with conventional zoning setbacks. There is no reason that development in a Conservation Subdivision would be any different aesthetically from a Conventional Subdivision. This regulation requires the use of additional land and creates additional expense to developers, both of which discourage the development of Conservation Subdivisions with no perceptible benefit.*
6. Revised rear lot access strip requirements. *25 feet wide is adequate for the installation of a residential driveway and utilities in most situations. Wider access strips can be used where required. Allowing more flexibility for development of rear lots will allow for less land consumption for subdivision development, more orderly design and potentially less need for infrastructure, all of which are in keeping with the goals of Conservation Subdivision design.*
7. Remove reference to Town Counsel. *This appears to be a typographic error which was intended to be Board of Selectmen.*

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. J. Held', with a stylized flourish at the end.

David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION**

**REQUEST FOR CHANGE  
IN  
ZONING REGULATIONS**

Date 10/4/21 Check # 1864 <sup>\$910<sup>00</sup></sup> <sup>-300<sup>00</sup></sup> <sup>-SRC-21-001</sup> Application #ZRC 21-001  
Application Fee: \$250 ~~\$250~~ State Fee: \$60 ~~\$60~~ Publication Fee: ~~\$000~~ <sup>3</sup> ~~300<sup>00</sup>~~  
Public Hearing Date 11/3/21 Commission Action \_\_\_\_\_ Effective Date \_\_\_\_\_  
Name of Applicant KA&G Development LLC, c/o David Held Phone 860-234-3183  
Mailing Address 15 Woodland Lane, Baltic, CT 06330

REQUEST TO AMEND ARTICLE(S) 6 SECTION(S) 6.G

If more than one Article is requested please attach separate sheet for each one

PARAGRAPH TO CHANGE see attached OF THE ZONING REGULATIONS

REQUEST TO CHANGE: see attached

REASON FOR REQUEST: Easier implementation of and encouragement of conservation subdivisions.

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

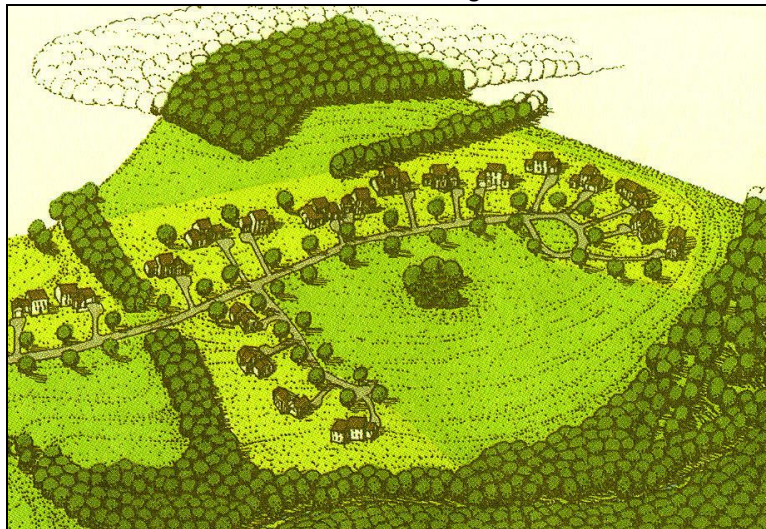
## 6.G. CONSERVATION SUBDIVISION

### 6.G.1. PURPOSE

This Section of the Regulations is intended to provide a method for development of land which permits a reduction in lot sizes without a significant increase in density of population or development, while at the same time providing for the protection of surrounding properties, persons and neighborhood value and allowing greater flexibility and creativity in the design and layout of residential and/or development in order to:

1. Protect the existing rural appearance and character of the Town of Brooklyn in accordance with the Town's Plan of Conservation and Development;
2. Minimize alteration of or damage to the natural, historic and scenic resources;
3. Avoid adverse impacts of new development on the value of existing homes and reduce sprawl;
4. Promote development that is compatible with existing neighborhoods;
5. Preserve open spaces, large unfragmented forests, wildlife habitat and other undeveloped open land particularly along Town roads;
6. Establish buffers for adjacent land uses such as agriculture and fragile ecosystems;
7. Reduce public costs for the maintenance of roads and other public infrastructure;
8. Protect water resources by reducing the amount of impervious surfaces, volume of runoff, and pollutant loads to streams and other water resources; and
9. Conserve energy resources.

Conservation Design





## 6.G.2. OVERALL STANDARDS AND DESIGN PROCESS

1. A Conservation subdivision shall:
  - a. only be permitted in the R-A zone.
  - b. only be used for detached single-family dwellings, duplex buildings, and permitted accessory uses.
  - c. require a minimum of forty (40) percent Open Space set aside.
2. Any application for a Conservation subdivision shall include the following materials prepared by a landscape architect, civil engineer, or surveyor licensed to practice in Connecticut:
  - a. a site inventory / analysis map as described below, and
  - b. an overall lot / roadway layout plan which responds to the site inventory / analysis map.
3. If the Commission is not satisfied with the quality of the analysis submitted with the application, it may hire another landscape architect, civil engineer, or surveyor licensed to practice in Connecticut to prepare such analysis and charge the applicant for the cost of such services.
4. The site inventory / analysis map shall identify Primary Conservation Areas:
  - c. wetlands and vernal pools,
  - d. watercourses,
  - e. steep slopes (15 percent or more), and
  - f. 100-year floodplain (FEMA Floodzone A).
5. The site inventory / analysis map shall also identify Secondary Conservation Areas and other environmental, scenic, and cultural resources such as:
  - g. Prime farmland soils and soils of statewide significance,
  - h. areas within 50 feet of a wetland,
  - i. areas within 100 feet of a watercourse or a vernal pool,
  - j. 500-year floodplain (FEMA Floodzone B),
  - k. Natural Diversity Database sites,
  - l. wildlife corridors,
  - m. mature woodlands,
  - ~~n.~~ n. notable individual trees (>18" DBH),
  - ~~o.~~ o. ridgelines, scenic views and vistas,
  - ~~p.~~ p. stone walls and /or farm hedgerows,
  - ~~q.~~ q. key resources identified in the Plan of Conservation and Development or other natural / cultural resource inventory,
  - ~~r.~~ r. key open space and trail connections identified in the Plan of Conservation and Development,
  - ~~s.~~ s. possible connections between conservation areas on the site and adjacent protected and unprotected open space,
  - ~~t.~~ t. proposed open space areas, and
  - ~~u.~~ u. moderately well drained to excessively drained soils.
6. Areas of the site which are not considered Primary Conservation Areas or Secondary Conservation Areas shall be considered potential development areas and lots, streets, trails, and other improvements may be sited in these areas.

7. Areas of the site which are considered Primary Conservation Areas or Secondary Conservation Areas shall be considered for permanent protection by one of the following means:
  - a. creation of a Conservation Easement in favor of the Town of Brooklyn;
  - b. creation of a Conservation Easement in favor of the Town of Brooklyn reserving specific agricultural rights and uses by the Town, as approved by the Commission;
  - c. conveyance of fee simple ownership to a Tax Exempt Organization approved by the Commission;
  - d. creation of a Conservation Easement in favor of a Tax-Exempt Organization approved by the Commission;
  - e. conveyance of fee simple ownership to a Connecticut non-stock corporation of which all owners of land within the subdivision or resubdivision are members, along with a conservation easement over the entire open space area; or
  - f. any other method deemed appropriate by the Commission which accomplishes permanent dedication in accordance with the requirements set forth in this Section.
8. Where Open Space is required by the Commission, the land to be dedicated to meet Town requirements may include wetlands or watercourses as defined in the Connecticut General statutes, and slopes over twenty five (25) percent, but the Commission has the right to require that the percentage of the dedicated land within these wetland, watercourse and steep slope categories is not greater than the percentage of wetlands, watercourses and slopes over twenty five (25) percent within the property to be subdivided and, as applicable, within previous subdivision sections where dedications were not made.
9. ~~Where at all possible, The Commission has the right to require a maintained buffer shall be maintained~~ between the Town right-of-way and the subdivision houses to screen the development from the Town road in order to maintain the appearance of a single family residential driveway, rather than a multi-lot subdivision. ~~A buffer of 100' consisting of mixed deciduous and/or evergreen trees is desired.~~
10. A pre-application meeting with Town Staff and the Commission is strongly encouraged.

### 6.G.3. DIMENSIONAL STANDARDS

1. Density in the Conservation subdivision shall not exceed 0.6 lots per acre of buildable land.
2. There shall be no minimum lot size requirement in a Conservation Subdivision but all lots shall meet the requirements of the State Health code and the Northeast District Department of Health.
3. Within a Conservation subdivision, each lot for a building site shall have at least 100 feet of frontage on a private or public road or at least 100 feet at the building line if located on a cul-de-sac.
4. Within a Conservation subdivision, all structures shall be set back at least thirty (30) feet from any front lot line and twenty (20) feet from all side and rear lot lines except that all structures at the perimeter of the parcel shall conform to the setback requirements applicable to conventional development in the underlying zone.
5. Rear lots may be permitted within a Conservation subdivisions provided that:
  - a. the access strip serving such lot(s) shall be at least ~~5~~30 feet wide.
  - b. the access strip serving such lot(s) shall be located at least ~~three one~~ hundred (3100) feet from all ~~entrances or~~ access strips on the same side of the street.
  - ~~c. the access strip serving such lots shall not exceed 400 feet in length.~~
  - ~~d.c.~~ No more than three (3) rear lots may be accessed by any one access strip.
  - ~~e.d.~~ The access strip shall be owned by the owner of the rear lot or, in the case of multiple rear lots, by the owner of the rear lot located farthest from the public or private way.
  - ~~f.e.~~ The access strip shall be encumbered by an easement if another rear lot exists, granting access to such lot.

#### 6.G.4. ROAD REQUIREMENTS

1. Roads created within a Conservation subdivision may be privately owned and maintained in perpetuity by a Homeowner's Association.
2. This arrangement shall be formalized as follows:
  - a. A note shall be placed on the final Conservation subdivision plan stating: "This subdivision is serviced by a private road (and/or common driveway) that is intended to remain private in perpetuity. The Town of Brooklyn will provide no maintenance, repair or school bus service along this private road (and/or common driveway)."
  - b. A notation shall be placed in the deed to the property stating: "This subdivision development is serviced by a private road (and/or common driveway) that is intended to remain private in perpetuity. The Town of Brooklyn will provide no maintenance, repair or school bus service along this private road (and/or common driveway)."
  - c. In such other form as is acceptable to the Commission which shall, at the Commission's discretion, be subject to review by the ~~Town Counsel~~Commission's attorney prior to filing of approved plan or other documents.
3. Private roads shall:
  - a. be identified on the subdivision plans,
  - b. have a right-of-way of 50'.
  - c. conform to the construction standards listed in the Town of Brooklyn Public Improvement Specifications including being paved with 3" bituminous concrete (1 1/2" Class I and 1 1/2" Class II) to a minimum width of eighteen 18 feet.
  - d. have a cross slope from center crown to gutter of at least 3/8" /foot.
  - e. not exceed 12% grade
  - f. not serve as a connecting road between two public streets.
  - g. have the final design be subject to the recommendation of the Town Engineer since the design may need to be site specific.
4. All dead end roads shall terminate in a cul-de-sac with an outside radius of travel way of fifty (50) feet and, if a center island is proposed, the width of the travel way around the island shall be at least twenty (20) feet.
5. Curbing and formal closed drainage systems are to be held to a minimum, except as provided below.
  - a. Curbing shall be required:
    - where a road is in a cut situation with surrounding land pitching toward the road;
    - at a low point in the road with catch basins to collect storm water runoff; and
    - where a closed drainage system is required.
  - b. Curbing is not required;
    - where the land generally has flat slopes;
    - where the road is in a fill situation and sheet flow away from the road is advantageous; and
    - where no closed drainage system is required.
  - c. A closed drainage system is required where drainage structures (e.g. catch basins) are necessitated by site conditions and subdivision design.
6. Any proposed public roads shall be constructed in accordance with Public Improvement Specifications for the Town of Brooklyn.

## **6.G.5. LEGAL ARRANGEMENTS**

1. Appropriate Certificates of Incorporation, by-laws, rules and regulations of any association or corporation of the lot owners within the proposed Conservation subdivision shall be provided as part of the application.
2. Appropriate easements shall be provided as part of the application for travelways, utilities, snow storage, maintenance, storm water drainage and to accommodate any hammerhead turnaround and associated snow shelf.
3. Following approval, a Conservation subdivision and all parcels of land within it shall be subject to the following limitations:
  - a. No lot or parcel within a Conservation subdivision may be further subdivided and:
    - A notation to that effect shall be made on the Final Plan as to be endorsed by the Commission and recorded with the Town Clerk.
    - A perpetual development restriction, running with the land, and enforceable by the Town of Brooklyn, shall be recorded with respect to the land within the Conservation subdivision and such development restriction:
      - shall provide that no lot in the Conservation subdivision may be further subdivided into additional building lots.
      - shall be in such form and substance as the Commission shall prescribe, and
      - may contain such additional restrictions on development and use of the lots as the Commission may deem appropriate.
  - b. Home offices are allowed as a matter of right per Section 6.A.2 except that there shall be no non-resident employees.
  - c. Home enterprises and home businesses are not permitted in Conservation subdivisions.

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

RECEIVED

OCT 04 2021

October 4, 2021

Brooklyn Planning & Zoning Commission  
C/O Jana Roberson, Director of Community Development & Town Planner  
69 South Main Street  
Suite 22  
Brooklyn, CT 06234

**RE: Proposed Subdivision Text Amendment  
P&R Job No. 213050**

Dear Commissioners:

\$610<sup>00</sup>

Attached, please find a completed application form, ~~\$310.00~~ application fee and a proposed amendment to Section 5A of the Brooklyn Subdivision Regulations. The subject section outlines the requirements for the development of Conservation Subdivisions. The requested amendment is intended to better encourage the development of Conservation Subdivisions and to bring the Subdivision Regulations into alignment with the Zoning Regulations.

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,

David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

#1864 overpaid ZRC 21-001 by \$300<sup>00</sup>  
which was added to application SRC 21-001.

TOWN OF BROOKLYN  
PLANNING & ZONING  
REQUEST FOR CHANGE IN  
SUBDIVISION REGULATIONS

Date 10/4/21

+300 LEGALS

FEE \$250.00 \_\_\_\_\_

State Fee \$60.00 \_\_\_\_\_

Application # SRC 21-001

Check # 1863 \$310<sup>02</sup>  
1864 \$300<sup>02</sup>

Public Hearing Date 11/3/21 Commission Action \_\_\_\_\_ Effective Date \_\_\_\_\_

Name of Applicant KA&G Development LLC, c/o David Held Phone 860-234-3183

Mailing Address 15 Woodland Lane, Baltic, CT 06330

REQUEST TO AMEND SECTION (S) 5A

If more than one Article is requested please attach separate sheet for each one

PARAGRAPH TO CHANGE see attached OF THE SUBDIVISION REGULATIONS

REQUEST TO CHANGE TO: see attached

REASON FOR REQUEST: consistency with Zoning Regulations

## Article 5A - Conservation Subdivision Regulations

**5A.1 - Purpose:** The purpose of this regulation is to provide a Conservation method for development of land which permits a reduction in lot sizes without a significant increase in density of population or development, while at the same time providing for the protection of surrounding properties, persons and neighborhood value and allowing greater flexibility and creativity in the design and layout of residential and/or development in order to:

5A.1.1 - Protect the existing rural appearance and character of the Town of Brooklyn in accordance with the Town's Plan of Conservation and Development;

5A.1.2- Minimize alteration of or damage to the natural, historic and scenic resources;

5A.1.3 - Avoid adverse impacts of new development on the value of existing homes and reduce sprawl;

5A.1.4 - Promote development that is compatible with existing neighborhoods;

5A.1.5 - Preserve open spaces, large unfragmented forests, wildlife habitat and other undeveloped open land particularly along Town roads;

5A.1.6- Establish buffers for adjacent land uses such as agriculture and fragile ecosystems;

5A.1.7 - Reduce public costs for the maintenance of roads and other public infrastructure;

5A.1.8 – Protect water resources by reducing the amount of impervious surfaces, volume of runoff, and pollutant loads to streams and other water resources; and

5A.1.9 – Conserve energy resources.

**5A.2 - General Requirements:** Conservation Subdivisions:

5A.2.1 - Shall only be permitted in the RA zone.

5A.2.2 - Shall lead to the creation of five (5) or more lots.

5A.2.3 - Shall be used only for detached single-family dwellings, duplex buildings, and permitted accessory uses.

5A.2.4 - Shall require a minimum of forty (40) percent Open Space set aside.

5A.2.5 – Density shall not exceed 0.6 lots per acre of buildable land.~~the number of lots that could be attained within a Conventional Subdivision unless a Density Bonus is granted in accordance with Section 5A.7.~~

5A.2.6 – Home enterprises and home businesses are not permitted in Conservation Subdivisions. Home offices are allowed as a matter of right per Section 6.2 with the exception that there shall be no non-resident employees. PAGE 23

**5A.3 - Applicability/Procedure:** Subdivision of land that meets the criteria listed in Section 5A.2.1 – 5A.2.3 shall be made according to the design; either Conservation or Conventional Subdivision that best promotes enhances and assists in the accomplishments of the objectives listed in Section 5A.1.

5A.3.1 –Prior to submission of a Preliminary Plan, an applicant is strongly encouraged to review with the Town Planner or other authorized agent any proposal for a Conservation Subdivision.

5A.3.2 – Prior to formal Subdivision application, any landowner/developer, whose property/proposed development or Subdivision Application meets the requirements listed in Section 5A.2.1 -5A.2.3 shall file a Preliminary Design for a Conservation Subdivision for review by the Commission.

**5A.3.3 -The Preliminary Design shall follow the requirements set forth in Section 5A.4.**

5A.3.4 - The Commission shall make a determination of the suitability of the Preliminary Design for a Conservation Subdivision based on the information provided in the Preliminary Plans and the objectives listed in Section 5A.2.

5A.3.5 - Formal Application for Conservation Subdivision shall conform to the applicable requirements for a Subdivision Plan as set forth in the Commission’s Regulations for the Subdivision of Land, and the Conservation Subdivision requirements contained herein.

~~5A.4 – Preliminary Design Review:~~

~~5A.4.1 – Informal Review of Preliminary Plans The purpose of the informal review of preliminary plans is to provide guidance to the applicant and to identify areas of concern or further study, so as to minimize delay, expense and inconvenience to the public, the applicant, and the Commission upon the future receipt, if any, of a formal application for subdivision. The applicant shall submit preliminary plans for informal review, however, neither the applicant nor the Commission shall be bound by any statement made during such informal review, nor shall the statement of any Commission member be deemed to be an indication of prejudgment or prejudice, it being acknowledged by the applicant that the Commission response like the request itself are preliminary and subject to further refinement. After review, the Commission shall, provide informal, suggestions to the applicant regarding the overall layout and design of the proposed subdivision, and a determination whether to proceed with an application under this Section or to adhere to the Conventional Subdivision requirements of the applicable Sections of the Brooklyn Subdivision Regulations.~~

~~5A.4.2 – Preliminary Plans: Land Owners/Developers are required to submit two concept plans for the proposed subdivision. One of which shall depict how the parcel could be developed as a Conventional Subdivision (Yield Plan) consisting of lot and street layouts conforming to the Brooklyn Zoning and Subdivision Regulations governing Conventional Subdivision lots, and the Town of Brooklyn’s Public Improvement Specifications, and another which shall depict how the parcel could be developed as a Conservation Subdivision. PAGE 24~~

~~Although such Plans shall be conceptual in nature, and are not intended to involve significant engineering costs, they must be realistic and must not show potential house sites or streets in areas that would not ordinarily be permitted in a Conventional Subdivision layout. Plans shall include the following elements as well as identify physical and other features that would limit or restrict the use of the parcel for development, including, but not limited to;~~



- j) ~~At Least a Class D Survey~~
- k) ~~North arrow~~
- l) ~~Scale 1"=100'~~
- m) ~~Location map (1"=1000')~~
- n) ~~Name of Applicant~~
  
- f) ~~Name of Subdivision~~
- g) ~~Date of Plan and plan number or identification~~
- h) ~~Existing Streets~~
- i) ~~Proposed streets, or private drives~~
- j) ~~Proposed lot lines~~
- s) ~~Proposed Open Space, including a narrative description of the characteristics of the proposed open space~~
- t) ~~Topographic contours, at a contour interval of no more than more than ten (10) feet;~~
- u) ~~Slopes greater than 25%~~
- v) ~~Inland wetlands and watercourses in areas of the property not being proposed for development (on either the Conventional Plan or the Conservation Subdivision Plan) may be depicted as they appear on various sources of other mapping, inland wetlands and watercourses in areas of proposed development shall be delineated by a Professional Soil Scientist;~~
- w) ~~Existing zoning on adjacent properties~~
- x) ~~Preliminary septic field and well location~~
- y) ~~100-year floodplains (Flood Zones A, as shown on FEMA maps); and easements and rights-of-way affecting the parcel.~~

~~5A.4.3 The Commission shall require that the Preliminary Plans include a "Property Survey" prepared in accordance to the Standards for "Surveys and Maps in the State of Connecticut", as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, and as may be amended.~~

~~5A.4.4 On lots that would not be served by public sewage or a centralized private sewage treatment facility, soil suitability for individual septic systems shall be demonstrated. The Commission may select a small percentage of lots (10 to 15%) to be tested, in areas considered to be marginal. If all tests on the sample lots meet applicable Public Health Code requirements, the applicant's other lots shall be deemed suitable for septic systems, for the purpose of calculating total lot yield. However, if any of the sample~~

lots fail, several others (of the Commission's choosing) shall be tested, until all the lots in a given sample pass.

Nothing herein shall be construed to prevent an applicant from presenting plans and documentation in greater detail and containing more information to the Commission, its staff or other public agencies or officials. PAGE 25

**5A.5—Dimensional Requirements:** A Conservation Subdivision may authorize the creation and use of lots meeting the following dimensional requirements in lieu of the conventional dimensional requirements:

5A.5.1—Lot Area: Each lot shall contain at least 30,000 square feet of buildable area, exclusive of wetlands, ledge, and slopes in excess of 25% and must be able to support a septic system and well approved by the local health authority or serviced by public sewer and water.

5A.5.2—Frontage: The frontage of each lot for a building site created in a Conservation Subdivision shall not be less than 100 feet on a private or public road, or, on a cul-de-sac, not less than 100 feet at the building line.

5A.5.3—Setbacks: All structures shall be set back a minimum of thirty (30) feet from any front lot line and twenty (20) feet from all side and rear lot lines, provided, however, that with respect to lot lines which abut land outside the Conservation Subdivision, setbacks from said lot lines shall conform to the setback requirements applicable to conventional development in the underlying zoning district.

5A.5.4—Interior Lots: Are permitted within Conservation Subdivisions provided;

15.5.4.1—Lots shall have a minimum of three hundred (300) feet separating all entrances or access strips on the same side of the street.

15.5.4.2—Access strips have a maximum length of 400 feet.

15.5.4.3—No more than three (3) interior lots may be accessed by any one access strip with the ownership of the access strip resting with the lot farthest from the public or private way.

15.5.4.4—The access strip shall be encumbered by an easement if another interior lot exists, granting access to such lot.

5A.5.5—Restrictions Against Further Development: No Conservation Subdivision may be further subdivided. A notation to that effect shall be made on the Final Plan as to be endorsed by the Commission and recorded with the Town Clerk. In addition, a perpetual restriction, running with the land, and enforceable by the Town of Brooklyn, shall be recorded with respect to the land within the Conservation Subdivision. Such restriction shall provide that no lot in the Conservation Subdivision may be further subdivided into additional building lots. Said restriction shall be in such form and substance as the Commission shall prescribe and may contain such additional restrictions on development and use of the lots as the Commission may deem appropriate.

5A.6—Standards: In reviewing an Application for a Conservation Subdivision, the Commission shall consider the extent to which the Application meets the purposes of a Conservation Subdivision by satisfying the following standards:

~~5A.6.1—The developed areas, roads, storm drains, sewage disposal systems, and utilities shall work with the natural features of the parcel, minimizing changes to the topography and maximizing the amount of preserved wooded areas and other open space and shall, to the extent appropriate, use low impact development techniques. PAGE 26~~

~~5A.6.2—The amount of land to be disturbed for the construction of buildings, driveways, septic systems, utilities, storm drainage systems, and roads shall be minimized.~~

~~5A.6.3—Natural and historic features of the land, as determined by the Commission with recommendations from the Conservation Commission, shall be protected.~~

~~5A.6.4—The plans demonstrate that the impacts of road and utility installations for each dwelling unit served shall be less than those generated by a conventional development of the same land.~~

~~5A.6.5—The design, number, and location of curb cuts shall be such that any conflict with existing traffic flow is minimized. Combined driveways on private drives are encouraged to reduce the number of cuts.~~

~~5A.6.6—Provision, satisfactory to the Commission, shall be made with regard to the ownership and maintenance of any and all private roads, common driveways, common land, or other common facilities within a Conservation Subdivision.~~

~~5A.6.7—The design shall minimize the size of proposed Developed Areas.~~

~~5A.6.8—The balance of the land not contained in the building lots shall be in condition, size and shape as to be readily usable for recreation or conservation, and shall be preserved in perpetuity by one of the following means:~~

~~5A.6.8.1—creation of a Conservation Easement in favor of the Town of Brooklyn;~~

~~5A.6.8.2—creation of a Conservation Easement in favor of the Town of Brooklyn reserving specific agricultural rights and uses by the Town, as approved by the Commission;~~

~~5A.6.8.3—conveyance of fee simple ownership to a Tax-Exempt Organization approved by the Commission;~~

~~5A.6.8.4—creation of a Conservation Easement in favor of a Tax-Exempt Organization approved by the Commission;~~

~~5A.6.8.5—conveyance of fee simple ownership to a Connecticut non-stock corporation of which all owners of land within the subdivision or resubdivision are members, along with a conservation easement over the entire open space area; or~~

~~5A.6.8.6—any other method deemed appropriate by the Commission which accomplishes permanent dedication in accordance with the requirements set forth in this Section.~~

~~5A.6.9—Where Open Space is required by the Commission, the land to be dedicated to meet Town requirements may include wetlands or watercourses as defined in the Connecticut General Statutes, and slopes over twenty five (25) percent, but the Commission has the right to require that the percentage of the dedicated land within these wetland, watercourse and steep slope categories is not greater than the percentage of wetlands, watercourses and slopes over twenty five (25) percent within the property to~~

~~be subdivided and, as applicable, within previous subdivision sections where dedications were not made. PAGE 27~~

~~For example, consider a tract to be subdivided with 40% of the land to be divided consisting of wetlands, watercourses and slopes over 25 percent, and 60% of the land to be subdivided without these limitations. The Commission shall have the right to require 60 % of Open Space without any limitations and to allow 40% of the Open Space to include wetlands, watercourses or slopes over 25%.~~

~~5A.7 – Density Bonuses: The maximum number of building lots may, subject to Commission approval, be increased in only one of the following ways:~~

~~5A.7.1 – A density bonus may be granted for the provision of excess Open Space, meaning the amount of any open space acreage that is greater than the minimum amount that would be required under this Article. The additional Open Space may be within the parcel to be subdivided or elsewhere within the Town of Brooklyn in accordance with Section 8 of the Subdivision Regulations, as may be amended. For each five acres of excess Open Space accepted by the Commission, one additional building lot shall be allowed, up to a maximum of fifteen percent (15%) of the total number of lots that would otherwise be allowed under Article 5A of these regulations. The decision whether to accept an applicant's offer to dedicate excess Open Space shall be at the discretion of the Commission, which shall be guided by the recommendations contained in the Town's Plan of Conservation and Development and its determination as to the value of the excess land for any of the purposes described in Article 5A of these regulations.~~

~~5A.7.2 – Where a proposed subdivision contains soils defined as prime or important agricultural soils as defined by the USDA soil classification system, for each five acre tract preserved two additional lots shall be allowed up to 20% of the total number of lots allowed under Article 5A of these regulations.~~

#### ~~5A.8 – Road Requirements~~

~~5A.8.1 – Proposed Public roads are to be constructed in accordance with Public Improvement Specifications for the Town of Brooklyn.~~

~~5A.8.2 – Private Roads created within a Conservation Subdivision shall be maintained by a Homeowner's Association, in a form acceptable to the Commission, which shall, at the Commission's discretion, be subject to review by the Town Counsel prior to filing of approved plan.~~

~~5A.8.2.1 – A note shall be placed on the final Conservation Subdivision plan, and in the deed to the property stating: **"This subdivision is serviced by a private road (and/or common driveway) that is intended to remain private in perpetuity. The Town of Brooklyn will provide no maintenance, repair or school bus service along this private road (and/or common driveway)."**~~

~~5A.8.3 – Appropriate Certificates of Incorporation, by laws, rules and regulations of any association or corporation of the lot owners within the proposed Conservation Subdivision shall be provided.~~

~~5A.8.4 – Appropriate easements shall be provided for travel, utilities, snow storage, PAGE 28~~

~~maintenance, storm water drainage and to accommodate any hammerhead turnaround and associated snow shelf. All private lanes shall be identified on the subdivision plans.~~

~~5A.8.5 – A right-of-way of 50' shall be required.~~

~~5A.8.6—Private Roads shall not exceed 12 % grade~~

~~5A.8.7—Private roads shall not serve as a connecting road between two public streets.~~

~~5A.8.8—All private roads shall be paved with 3" bituminous concrete (1 ½" Class I and 1 ½" Class II) to a minimum width of eighteen (18) feet. Final design is site specific and subject to the recommendation of the Town Engineer.~~

~~5A.8.9—Curbing and formal closed drainage systems are to be held to a minimum, except as provided below.~~

~~5A.8.9.1—Curbing shall be required: where a road is in a cut situation with surrounding land pitching toward the road; at a low point in the road with catch basins to collect storm water runoff; and where a closed drainage system is required.~~

~~5A.8.9.2—Curbing is not required; where the land generally has flat slopes; where the road is in a fill situation and sheet flow away from the road is advantageous; and where no closed drainage system is required.~~

~~5A.8.9.3—A closed drainage system is required where drainage structures (e.g. catch basins) are necessitated by site conditions and subdivision design. The cross slope from center crown to gutter shall be no less than 3/8" /foot.~~

~~5A.8.10—All dead end private roads shall terminate in a cul de sac with an outside radius of travel way of fifty (50) feet. If a center island is proposed, the width of the travel way around the island shall be at least twenty (20) feet.~~

~~5A.8.11—Location of private roads: Where at all possible, a buffer shall be maintained between the Town right of way and the subdivision houses to screen the development from the Town road in order to maintain the appearance of a single family residential driveway, rather than a multi-lot subdivision. A buffer of 100' consisting of mixed deciduous and/or evergreen trees is desired.~~

~~Amended 1-5-11~~

~~Effective 1-26-11~~

#### **5A.4 Overall Standards and Design Process**

1. Any application for a Conservation subdivision shall include the following materials prepared by a landscape architect, civil engineer, or surveyor licensed to practice in Connecticut:
  - a. a site inventory / analysis map as described below, and
  - b. an overall lot / roadway layout plan which responds to the site inventory / analysis map.
2. If the Commission is not satisfied with the quality of the analysis submitted with the application, it may hire another landscape architect, civil engineer, or surveyor licensed to practice in Connecticut to prepare such analysis and charge the applicant for the cost of such services.
3. The site inventory / analysis map shall identify Primary Conservation Areas:
  - c. wetlands and vernal pools,
  - d. watercourses,
  - e. steep slopes (25 percent or more), and
  - f. 100-year floodplain (FEMA Floodzone A).

4. The site inventory / analysis map shall also identify Secondary Conservation Areas and other environmental, scenic, and cultural resources such as:
  - a. Prime farmland soils and soils of statewide significance,
  - b. areas within 50 feet of a wetland,
  - c. areas within 100 feet of a watercourse or a vernal pool,
  - d. 500-year floodplain (FEMA Floodzone B),
  - e. Natural Diversity Database sites,
  - f. wildlife corridors,
  - g. mature woodlands,
  - h. ridgelines, scenic views and vistas,
  - i. stone walls and /or farm hedgerows,
  - j. key resources identified in the Plan of Conservation and Development or other natural / cultural resource inventory,
  - k. key open space and trail connections identified in the Plan of Conservation and Development,
  - l. possible connections between conservation areas on the site and adjacent protected and unprotected open space,
  - m. proposed open space areas, and
  - n. moderately well drained to excessively drained soils.
5. Areas of the site which are not considered Primary Conservation Areas or Secondary Conservation Areas shall be considered potential development areas and lots, streets, trails, and other improvements may be sited in these areas.
6. Areas of the site which are considered Primary Conservation Areas or Secondary Conservation Areas shall be considered for permanent protection by one of the following means:
  - a. creation of a Conservation Easement in favor of the Town of Brooklyn;
  - b. creation of a Conservation Easement in favor of the Town of Brooklyn reserving specific agricultural rights and uses by the Town, as approved by the Commission;
  - c. conveyance of fee simple ownership to a Tax Exempt Organization approved by the Commission;
  - d. creation of a Conservation Easement in favor of a Tax-Exempt Organization approved by the Commission;
  - e. conveyance of fee simple ownership to a Connecticut non-stock corporation of which all owners of land within the subdivision or resubdivision are members, along with a conservation easement over the entire open space area; or
  - f. any other method deemed appropriate by the Commission which accomplishes permanent dedication in accordance with the requirements set forth in this Section.
7. Where Open Space is required by the Commission, the land to be dedicated to meet Town requirements may include wetlands or watercourses as defined in the Connecticut General statutes, and slopes over twenty five (25) percent, but the Commission has the right to require that the percentage of the dedicated land within these wetland, watercourse and steep slope categories is not greater than the percentage of wetlands, watercourses and slopes over twenty five (25) percent within the property to be subdivided and, as applicable, within previous subdivision sections where dedications were not made.
8. The Commission has the right to require a maintained buffer between the Town right-of-way and the subdivision houses to screen the development from the Town road in order to maintain the appearance of a single family residential driveway, rather than a multi-lot subdivision.
9. A pre-application meeting with Town Staff and the Commission is strongly encouraged.

### **5A.5 Dimensional Standards**

1. Density in the Conservation subdivision shall not exceed 0.6 lots per acre of buildable land. Buildable land is the area of the parcel after subtracting any areas designated as wetlands, watercourses, slopes of 25% or greater, areas within the 100 year flood boundary, and areas encumbered by any rights-of-way or easements.
2. There shall be no minimum lot size requirement in a Conservation Subdivision but all lots shall meet the requirements of the State Health code and the Northeast District Department of Health.
3. Within a Conservation subdivision, each lot for a building site shall have at least 100 feet of frontage on a private or public road or at least 100 feet at the building line if located on a cul-de-sac.
4. Within a Conservation subdivision, all structures shall be set back at least thirty (30) feet from any front lot line and twenty (20) feet from all side and rear lot lines except that all structures at the perimeter of the parcel shall conform to the setback requirements applicable to conventional development in the underlying zone.
5. Rear lots may be permitted within a Conservation subdivisions provided that:
  - a. the access strip serving such lot(s) shall be at least 30 feet wide.
  - b. the access strip serving such lot(s) shall be located at least one hundred (100) feet from all access strips on the same side of the street.
  - c. No more than three (3) rear lots may be accessed by any one access strip.
  - d. The access strip shall be owned by the owner of the rear lot or, in the case of multiple rear lots, by the owner of the rear lot located farthest from the public or private way.
  - e. The access strip shall be encumbered by an easement if another rear lot exists, granting access to such lot.

### **5A.6 Road Requirements**

1. Roads created within a Conservation subdivision may be privately owned and maintained in perpetuity by a Homeowner's Association.
2. This arrangement shall be formalized as follows:
  - a. A note shall be placed on the final Conservation subdivision plan stating: "This subdivision is serviced by a private road (and/or common driveway) that is intended to remain private in perpetuity. The Town of Brooklyn will provide no maintenance, repair or school bus service along this private road (and/or common driveway)."
  - b. A notation shall be placed in the deed to the property stating: "This subdivision development is serviced by a private road (and/or common driveway) that is intended to remain private in perpetuity. The Town of Brooklyn will provide no maintenance, repair or school bus service along this private road (and/or common driveway)."
  - c. In such other form as is acceptable to the Commission which shall, at the Commission's discretion, be subject to review by the Commission's attorney prior to filing of approved plan or other documents.
3. Private roads shall:
  - a. be identified on the subdivision plans,
  - b. have a right-of-way of 50'.
  - c. conform to the construction standards listed in the Town of Brooklyn Public Improvement

- Specifications including being paved with 3" bituminous concrete (1 ½" Class I and 1 ½" Class II) to a minimum width of eighteen 18 feet.
- d. have a cross slope from center crown to gutter of at least 3/8" /foot.
  - e. not exceed 12% grade
  - f. not serve as a connecting road between two public streets.
  - g. have the final design be subject to the recommendation of the Town Engineer since the design may need to be site specific.
4. All dead end roads shall terminate in a cul-de-sac with an outside radius of travel way of fifty (50) feet and, if a center island is proposed, the width of the travel way around the island shall be at least twenty (20) feet.
5. Curbing and formal closed drainage systems are to be held to a minimum, except as provided below.
- a. Curbing shall be required:
    - where a road is in a cut situation with surrounding land pitching toward the road;
    - at a low point in the road with catch basins to collect storm water runoff; and
    - where a closed drainage system is required.
  - b. Curbing is not required:
    - where the land generally has flat slopes;
    - where the road is in a fill situation and sheet flow away from the road is advantageous; and
    - where no closed drainage system is required.
  - c. A closed drainage system is required where drainage structures (e.g. catch basins) are necessitated by site conditions and subdivision design.
6. Any proposed public roads shall be constructed in accordance with Public Improvement Specifications for the Town of Brooklyn.

### **5A.7 Legal Arrangements**

- 1. Appropriate Certificates of Incorporation, by-laws, rules and regulations of any association or corporation of the lot owners within the proposed Conservation subdivision shall be provided as part of the application.
- 2. Appropriate easements shall be provided as part of the application for travelways, utilities, snow storage, maintenance, storm water drainage and to accommodate any hammerhead turnaround and associated snow shelf.
- 3. Following approval, a Conservation subdivision and all parcels of land within it shall be subject to the following limitations:
  - a. No lot or parcel within a Conservation subdivision may be further subdivided and:
    - A notation to that effect shall be made on the Final Plan as to be endorsed by the Commission and recorded with the Town Clerk.
    - A perpetual development restriction, running with the land, and enforceable by the Town of Brooklyn, shall be recorded with respect to the land within the Conservation subdivision and such development restriction:
      - shall provide that no lot in the Conservation subdivision may be further subdivided into additional building lots.
      - shall be in such form and substance as the Commission shall prescribe, and
      - may contain such additional restrictions on development and use of the lots as the Commission may deem appropriate.
  - b. Home offices are allowed as a matter of right per Section 6.A.2 except that there shall be no



non-resident employees.

c. Home enterprises and home businesses are not permitted in Conservation Subdivisions.

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_  
Fee \$ 250 \_\_\_\_\_ State Fee ( \$60.00) \_\_\_\_\_

Application #SPG \_\_\_\_\_  
Check # 18589

\$310.00

APPLICATION FOR GRAVEL BANK  
SPECIAL PERMIT RENEWAL

Name of Applicant PAUL SANSOUCY Phone (860) 779-9099  
Mailing Address PO BOX 917 DAYVILLE, CT 06241  
Relation SANSOUCY QUARTERS  
Property Owner SAME Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_

Name of Engineer/Surveyor Archer Surveying  
Address 18 Providence Rd. Brooklyn  
Contact Person Bruce Woods Phone 860-179-2240 Fax \_\_\_\_\_

Name of Attorney N/A  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property address 248 Pomfret Rd. Rte. 169  
Property Location EAST of Rte 169 South of BARTON Hill Rd  
Map # 26 Lot # 19A Zone RA Total Acres 4.5

Maximum Area :  
Acres of Gravel Removal 5-4.5 Cubic Yards of Gravel Removal 96,000

Is Application for Renewal? Yes  No \_\_\_\_\_  
Original Date of Issuance of Permit 12/22/2007 If Yes, Amount Removed Last Year 2,100  
Issued To: PAUL SANSOUCY

Compliance with Article 13, Gravel Banks  
Compliance with Article 5, Special Permit Requirements

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Paul Sansoucy Date 11/19/21  
Owner: Paul Sansoucy Date \_\_\_\_\_

\*Note : All consulting fees shall be paid by the applicant

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

RECEIVED

Received Date NOV 23 2021  
Fee \$ 100 ✓ State Fee ( \$60.00 ) ✓ \$150 pub

Application # SPC 21-005  
Check # 14206

APPLICATION FOR GRAVEL BANK RENEWAL  
SPECIAL PERMIT

Name of Applicant FCR Reality LLC Phone 860-774-6431  
Mailing Address P.O. Box 873 Danington CT 06230  
Relation \_\_\_\_\_

Property Owner same Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_

Name of Engineer/Surveyor Dave Held  
Address \_\_\_\_\_  
Contact Person Dave Held Phone \_\_\_\_\_ Fax \_\_\_\_\_

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property address Brickyard Rd.  
Property Location Northern of Brickyard Rd. and westerly of Bay St  
Map # 35 Lot # 7 Zone RA Total Acres 200

Maximum Area : 41  
43 (HAUL RD.)  
Acres of Gravel Removal \_\_\_\_\_ Cubic Yards of Gravel Removal 57,000

Is Application for Renewal? Yes X No \_\_\_\_\_  
Original Date of Issuance of Permit \_\_\_\_\_ If Yes, Amount Removed Last Year 20000  
Issued To: \_\_\_\_\_

Compliance with Article 13, Gravel Banks  
Compliance with Article 5, Special Permit Requirements

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

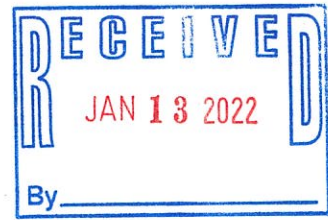
Applicant: [Signature] Date 11/23/21

Owner: \_\_\_\_\_ Date \_\_\_\_\_

\*Note : All consulting fees shall be paid by the applicant



Great Midwest Insurance Company



**CONTINUATION CERTIFICATE**

In consideration of premium charged, Great Midwest Insurance Company hereby continues in force Bond

No. **GM201301** briefly described as **Remove 97,650 Cubic Yards of Gravel over 8.8 Acres on 200 Acres North of Brickyard Road and West of Day Street - Brooklyn, CT**  
in favor of **Town of Brooklyn**

**FCR Realty, LLC**

for  
, as Principal,

in the sum of **Fifty Five Thousand and 00/100 dollars (\$55,000.00)**

, for the

term beginning

**01/15/2022**

and ending

**01/15/2023**

subject to all the covenants and conditions of the original bond referenced above.

This certificate is designed to extend only the term of the bond. It does not increase the amount which may be payable thereunder. The aggregate liability of the Company under the said bond together with this certificate shall be exactly the same as, and no greater than it would have been, if the said bond had originally been written to expire on the date to which it is now being extended.

Dated this **3rd** day of **January**, **2022**.

By \_\_\_\_\_

**Jeromey Crawford**, Attorney-In-Fact

POWER OF ATTORNEY

Great Midwest Insurance Company

KNOW ALL MEN BY THESE PRESENTS, that GREAT MIDWEST INSURANCE COMPANY, a Texas Corporation, with its principal office in Houston, TX, does hereby constitute and appoint:

Amanda M. Quigley, Andrea J. Michael Haight, Bradford J. Quiri, Ethan M. Baker, Jeremy J. Crawford, Michael D. Williams, Michael E. Konzen, Sydney R. Epema, Victoria L. Spohnholz, William V. Gerber

its true and lawful Attorney(s)-In-Fact to make, execute, seal and deliver for, and on its behalf as surety, any and all bonds, undertakings or other writings obligatory in nature of a bond.

This authority is made under and by the authority of a resolution which was passed by the Board of Directors of GREAT MIDWEST INSURANCE COMPANY, on the 1st day of October, 2018 as follows:

Resolved, that the President, or any officer, be and hereby is, authorized to appoint and empower any representative of the Company or other person or persons as Attorney-In-Fact to execute on behalf of the Company any bonds, undertakings, policies, contracts of indemnity or other writings obligatory in nature of a bond not to exceed Ten Million dollars (\$10,000,000.00), which the Company might execute through its duly elected officers, and affix the seal of the Company thereto. Any said execution of such documents by an Attorney-In-Fact shall be as binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company. Any Attorney-In-Fact, so appointed, may be removed in the Company's sole discretion and the authority so granted may be revoked as specified in the Power of Attorney.

Resolved, that the signature of the President and the seal of the Company may be affixed by facsimile on any power of attorney granted, and the signature of the Secretary, and the seal of the Company may be affixed by facsimile to any certificate of any such power and any such power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certificate so executed and sealed shall, with respect to any bond of undertaking to which it is attached, continue to be valid and binding on the Company.

IN WITNESS THEREOF, GREAT MIDWEST INSURANCE COMPANY, has caused this instrument to be signed by its President, and its Corporate Seal to be affixed this 11th day of February, 2021.

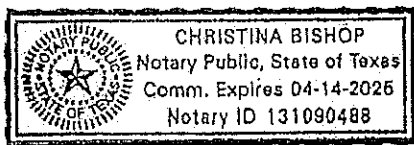


GREAT MIDWEST INSURANCE COMPANY

BY [Signature] Mark W. Haushill President

ACKNOWLEDGEMENT

On this 11th day of February, 2021, before me, personally came Mark W. Haushill to me known, who being duly sworn, did depose and say that he is the President of GREAT MIDWEST INSURANCE COMPANY, the corporation described in and which executed the above instrument; that he executed said instrument on behalf of the corporation by authority of his office under the By-laws of said corporation.



BY [Signature] Christina Bishop Notary Public

CERTIFICATE

I, the undersigned, Secretary of GREAT MIDWEST INSURANCE COMPANY, A Texas Insurance Company, DO HEREBY CERTIFY that the original Power of Attorney of which the foregoing is a true and correct copy, is in full force and effect and has not been revoked and the resolutions as set forth are now in force.

Signed and Sealed at Houston, TX this 3rd Day of January, 2022.



BY [Signature] Leslie K. Shaunty Secretary

WARNING: Any person who knowingly and with intent to defraud any insurance company or other person, files and application for insurance of claim containing any materially false information, or conceals for the purpose of misleading, information concerning any fact material thereto, commits a fraudulent insurance act, which is a crime and subjects such person to criminal and civil penalties.

# Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

November 29, 2021

Jana Butts Roberson, AICP  
Town of Brooklyn  
69 South Main Street, Suite 22  
Brooklyn, CT 06234

**RE: FCR Realty LLC – Excavation Renewal Application  
P&R Job No. 213100**

Dear Ms. Roberson:

This report accompanies a topographic survey prepared by Provost & Rovero, Inc. dated 11/26/2021 which shows the existing elevations on the subject excavation site as of 11/25/2021. Based on a comparison of the prior topographic survey (“Gravel Removal Plan – Prepared for – FCR Realty LLC – Westerly of Day Street and Northerly of Brickyard Road – Brooklyn, Connecticut – Scale: 1” = 50’ – Dated: 4/4/2018, Revised: 9/26/2018 – Sheet 2 of 3) prepared by KWP Associates with the current topographic data, approximately 65,000 cubic yards of earth have been removed from the site.

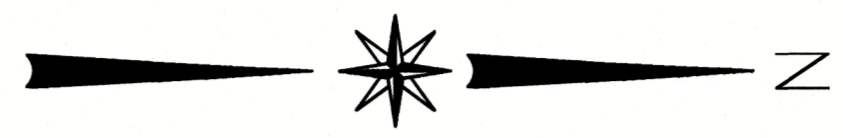
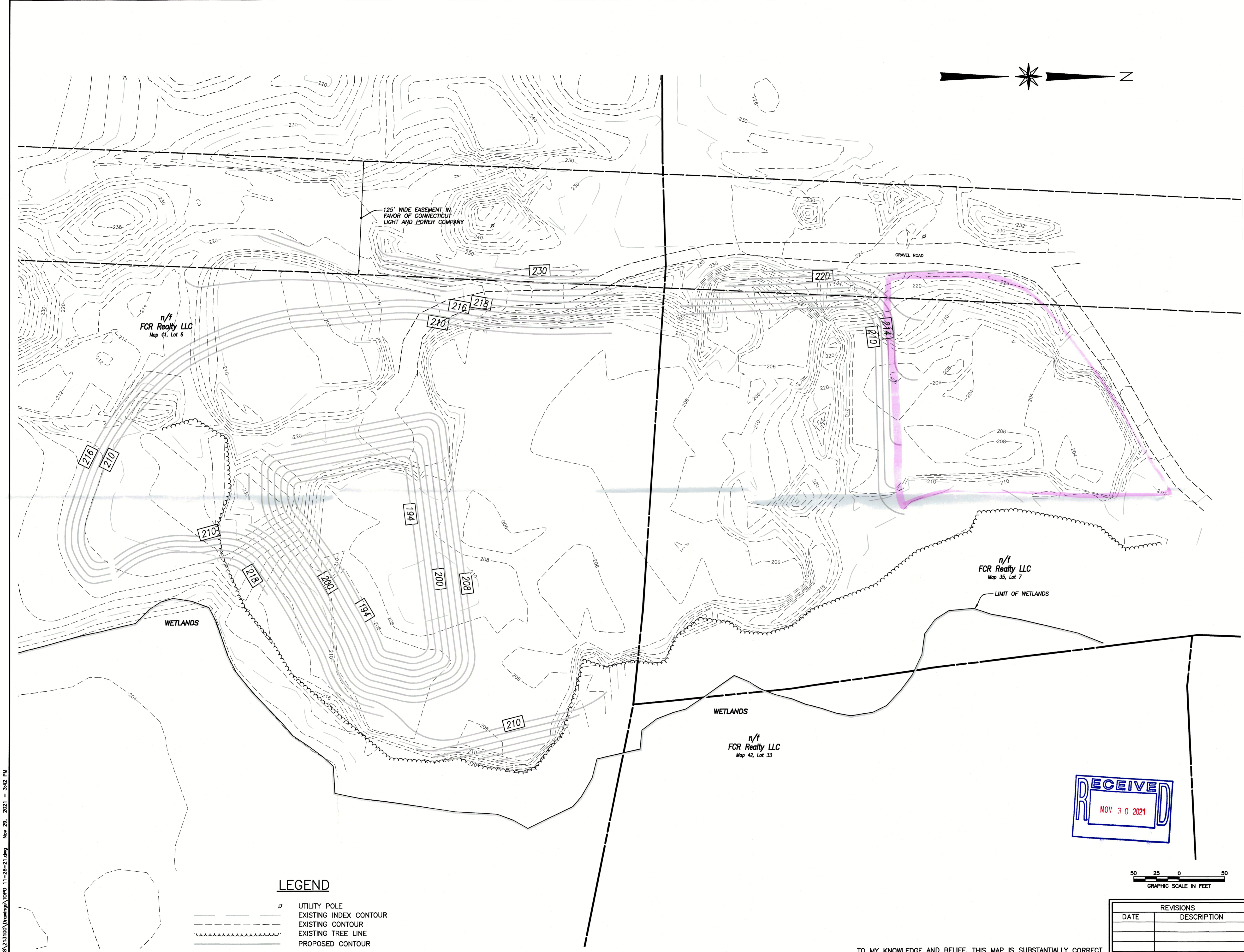
Please note that in the easterly portion of the site which was apparently wooded at the time of the previous KWP survey, the elevations which were determined by photogrammetry per the notes on the referenced plan appear to have been in error by as much as 10 feet. The determination of excavated volume in this area was based on 2016 LIDAR data which is generally extremely accurate, even in densely wooded areas.

If you have any questions or require additional information, please do not hesitate to contact me at your convenience.

Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

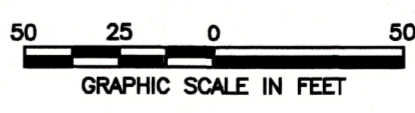


**SURVEY NOTES:**

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 as amended on October 26, 2018.
  - Topographic features conform to a Class T-2 and T-D accuracy.
  - Survey Type: Topographic Survey.
2. North orientation is referenced to Connecticut State Plane Coordinates, NAD83(2011), Epoch 2010.0000.
3. Elevations are referenced NGVD 1929. Contours within the active excavation area are taken from actual field survey and conform to Class T-2 accuracy. Contours outside of the area of active excavation are taken from the Map Reference below and conform to Class T-D accuracy. Contour interval = 2'.
4. The intent of this survey is to show current elevations for renewal of a gravel excavation permit.
5. Property lines are based on the Map Reference below and are shown for reference only and do not constitute a property boundary opinion.
6. Wetlands were flagged in the field by Joseph Theroux, certified soil scientist and are taken from the Map Reference below.
7. Proposed grading is taken from the Map Reference below and is shown for reference.

**MAP REFERENCE:**

"Gravel Removal Plan - Prepared for - F C R Realty LLC - Westerly of Day Street and Northerly of Brickyard Road - Brooklyn, Connecticut - Scale: 1" = 50' - Dated: 4/4/2018, Revised: 9/26/2018 - Sheet 2 of 3 - KWP Associates"



**LEGEND**

- UTILITY POLE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING TREE LINE
- PROPOSED CONTOUR

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

DAVID J. HELD, L.S. LIC. NO. 24267 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

REVISIONS	
DATE	DESCRIPTION

DATE: 11/26/2021	DRAWN: DJH
SCALE: 1" = 50'	DESIGN: ---
SHEET: 1 OF 1	CHK BY: ---
DWG. No: Client File	JOB No: 213100

TOPOGRAPHIC SURVEY  
AS OF 11/25/2021  
PREPARED FOR  
**FCR REALTY LLC**  
  
WESTERLY OF DAY STREET  
BROOKLYN, CONNECTICUT

**Provost & Rovero, Inc.**

Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 - FAX: (860) 230-0860  
info@prorovinc.com  
www.prorovinc.com

PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_

Application #SP 22-001  
Check # \_\_\_\_\_

APPLICATION FOR SPECIAL PERMIT

Name of Applicant JP Rimolczyk Phone 401-447-3734  
Mailing Address 188 GANNETT RD, BROOKLYN Phone \_\_\_\_\_

Name of Engineer/Surveyor ARCHER SURVEYING LLC  
Address 18 PROVIDENCE RD, BROOKLYN CT  
Contact Person PAUL ARCHER Phone 860-2240 Fax -

Name of Attorney N/A  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 190 WOLF DEN RD  
Map# 17 Lot# 29-1 Zone RA Total Acres 2.53  
Sewage Disposal: Private  Public \_\_\_\_\_ Existing \_\_\_\_\_ Proposed   
Water: Private  Public \_\_\_\_\_ Existing \_\_\_\_\_ Proposed

Proposed Activity PROPOSED IN-LAW APARTMENT ABOVE 2 CAR GARAGE ASSOCIATED WITH A PROPOSED 3 BDRM HOUSE

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? NO

The following shall accompany the application when required:

- Fee \$ \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Stephane Rimolczyk Date 1/20/2022  
Owner: Stephane Rimolczyk Date 1/20/2022

\*Note: All consulting fees shall be paid by the applicant





PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_  
Action Date \_\_\_\_\_

Application #: \_\_\_\_\_  
Check# 2566

**APPLICATION FOR SITE PLAN REVIEW**

Name of Applicant JP Rimoczky Phone 401 447-3734  
Mailing Address 188 HOLMAY RD, BROOKLYN CT Phone \_\_\_\_\_

Name of Owner SAME Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Phone \_\_\_\_\_

Name of Engineer/Surveyor ARCTER SURVEYING LLC  
Address 18 PROVIDENCE RD, BROOKLYN CT  
Contact Person PAUL ARCTER Phone 799-2240 Fax \_\_\_\_\_

Property location/address 190 WOLF DEN RD  
Map # 12 Lot # 29-1 Zone RA Total Acres 2.5

Proposed Activity In Law Apartment, Addie 2 Car Garage, Proposed  
3 Bedm House, DrivE, SEPTIC & WELL

Change of Use: Yes \_\_\_\_\_ No  If Yes, Previous Use \_\_\_\_\_  
Area of Proposed Structure(s) or Expansion \_\_\_\_\_

Utilities - Septic: On Site  Municipal \_\_\_\_\_ Existing \_\_\_\_\_ Proposed   
Water: Private  Public \_\_\_\_\_ Existing \_\_\_\_\_ Proposed

Compliance with Article 4, Site Plan Requirements

The following shall accompany the application when required:

- Fees \_\_\_\_\_ State Fee (\$60.00) \_\_\_\_\_ 3 copies of plans \_\_\_\_\_ Sanitary Report \_\_\_\_\_
- 4.5.5 Application/ Report of Decision from the Inland Wetlands Commission
- 4.5.5 Applications filed with other Agencies
- 12.1 Erosion and Sediment Control Plans
- See also Site Plan Review Worksheet

Variances obtained n/a Date \_\_\_\_\_

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Stephanie Rimoczky Date 1/20/2022

Owner: Stephanie Rimoczky Date 1/20/2022

\* Note: Any consulting fees will be paid by the applicant



18 Providence Road, Brooklyn CT 06234  
Phone: 860-779-2240 / 860-928-1921 Fax: 860-779-2240



JP & Stephanie Rimoczy  
190 Wolf Den Road  
Brooklyn, Connecticut

January 20, 2022

Re: Proposed In-law Apartment

**Statement of Use:**

The Proposed in-law apartment will be constructed in a space above the proposed 2 Car Garage that is shown on the Site Plan. We have also enclosed the floor plan layout for the apartment.

**Sanitary Report:**

Soils on the subject property are suitable for the installation of the onsite septic system. Test holes were done by the Northeast District Department of Health an indicated restrictive Soils at 22" to 34" with a percolation rate less than 5 minutes per inch. With these conditions combined with the existing terrain allows for the design of a minimally sized system for the proposed 3-bedroom house along with the in-law apartment all designed in accordance with the state health code. The septic system design as shown on the Site Plan has been approved by the Northeast District Department of Health. We have enclosed the approval letter from the Health Department.

**Water Supple:**

The Proposed House and in-law apartment will be served by a drilled well, location is depicted on the Site Plan. The location of the proposed well and capacity will all be done in accordance to the state health code.

**Impact Statement:**

We feel the proposed use will not have any impact to the surrounding properties. The Proposed Garage with the in-law apartment is located approximately 240 feet off the northerly road line of Wolf Den Road and will be located approximately 30 feet above the road.

Abutters List (Necogg)  
January 20, 2022

Map 17

Lot 29: Erik Larkin, 85 Costello Road, Brooklyn

Lot 30: Windham County Soil Conservation, Wolf Den Road, Brookly

Brooklyn Inland Wetlands  
Commission

P.O. Box 356

Brooklyn, Connecticut 06234

9489 0090 0027 6166 5939 01

CERTIFIED#

January 23, 2020

John P. and Stephanie Rimoczy  
188 Gorman Road  
Brooklyn, CT 06234

RE: Notice of Decision – 011420A (Duly Authorized) John P. and Stephanie Rimoczy, 190 Wolf Den Rd, Map 17, Lot 29-1, RA Zone; Proposed construction of single-family residence with septic system, well and driveway.

Dear Mr. and Mrs. Rimoczy:

At the January 14, 2020 Inland Wetlands and Watercourses Commission meeting application 011420A John P. and Stephanie Rimoczy, 190 Wolf Den Rd, Map 17, Lot 29-1, RA Zone; Proposed construction of single-family residence with septic system, well and driveway was approved by the wetlands vice chairman and wetlands agent as “duly authorized” approval.

All work shall be completed in accordance with all materials submitted with the application.

You are required to publish at your expense the notice of approval in the newspaper having a general circulation in the Town of Brooklyn and to provide proof of publication to the duly authorized agent. Please see the enclosed legal notice.

If you have any questions, please contact Margaret Washburn, Wetlands Agent at 860-779-3411 Extension 31.

Signed,

*Margaret Washburn*

Margaret Washburn  
Wetlands Enforcement Officer

MW/acl  
CC: File, KWP Associates

**PUBLIC NOTICE  
TOWN OF BROOKLYN**

On January 14, 2020, the duly authorized agent of the Brooklyn Inland Wetlands and Watercourses Commission approved 011420A John P. and Stephanie Rimoczy, 190 Wolf Den Rd, Map 17, Lot 29-1, RA Zone; Proposed construction of single-family residence with septic system, well and driveway within the upland review area.

Villager Newspaper Information for Publication, this paper only prints on Friday. Please submit on the Monday before the Friday publication printing of newspaper.

[legals@stonebridgepress.news](mailto:legals@stonebridgepress.news) is the e – mail address for submission.

Please provide a proof of publication to the Wetlands Agent, Margaret Washburn.



# ZONING PERMIT

Fee Paid: \$ 200.00  
Received By:  
Date Granted: 05/06/2021  
Numerical Code:  
Permit Number: 21-30ZP

Shane Pollock \_\_\_\_\_:

The Town of Brooklyn, CT \_\_\_\_\_ has approved the zoning permit application you submitted, with final revisions as applicable.

This permit authorizes the following activity(ies) for the purpose(s) stated within your application:

New Single Family Dwelling

Located at WOLF DEN RD \_\_\_\_\_ Plat/Map 17 \_\_\_\_\_ Lot/Block 0 29-1 \_\_\_\_\_ Parcel 17 0 29-1 \_\_\_\_\_

This is to certify that the building, structure, or use identified in your application referenced above is in compliance with the Local Zoning Regulations. Any other necessary approvals must be obtained.

No building permit or certificate of occupancy shall be issued for a building, use or structure subject to the zoning regulations of a municipality without certification in writing by the official charged with the enforcement of such regulations that such building, use or structure is in conformity with such regulations or is a valid nonconforming use under such regulations. Such official shall inform the applicant for any such certification that such applicant may provide notice of such certification by either (1) publication in a newspaper having substantial circulation in such municipality stating that the certification has been issued, or (2) any other method provided for by local ordinance. Any such notice shall contain (A) a description of the building, use or structure, (B) the location of the building, use or structure, (C) the identity of the applicant, and (D) a statement that an aggrieved person may appeal to the zoning board of appeals in accordance with the provisions of section 8-7. (Connecticut General Statutes)

*M Washburn*

\_\_\_\_\_  
Margaret Washburn, Zoning Enforcement Officer

## CONDITIONS/STIPULATIONS

Please see attached. This is a two-page Zoning Permit.

**CONDITIONS FOR ZONING PERMIT FOR 190 Wolf Den Road  
ISSUED 5/6/2021**

1. Erosion control measures and anti-tracking pad shall be maintained until ZEO authorizes their removal when lot is fully stabilized.
2. Prior to Certificate of Zoning Compliance and Occupancy:
  - a) Submit an as-built survey at A2 level showing all structures, footing drain outlet(s), and front, rear and side yard setbacks. The as-built survey must clearly indicate the distances from all structures and the footing drain outlet to property lines.
  - b) Finish grade, seed and mulch all disturbed areas.



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

December 06, 2021

John Paul & Stephanie Rimoczy  
188 Gorman Road  
Brooklyn, CT 06234

**SUBJECT: FILE #20000160 -- WOLF DEN ROAD #190, MAP #17, LOT #29-1, BROOKLYN, CT**

Dear John Paul & Stephanie Rimoczy:

The subject plan (KWP ASSOCIATES, RIMOCZY, PROJ#04092, DRAWN 12/22/2019, LAST REVISED 12/01/2021) submitted on 12/03/2021 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 3-bedroom house with 1-bedroom detached In Law Apartment based on the following:

1. CT licensed surveyor must stake house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
7. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations OR an Engineer's As Built will be required.
8. Notice of Exception granted by State of Connecticut Dept of Public Health for a Central System.
9. Sewer line from garage shall be sleeved and have 12" of cover.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist ~ NDDH

cc: Brooklyn Building Official; KWP Assoc., Square 1 Building Assoc., John Albrecht



# APPROVAL TO CONSTRUCT OR REPAIR SEWAGE DISPOSAL SYSTEM

NORTHEAST DISTRICT DEPARTMENT OF HEALTH  
69 SOUTH MAIN STREET UNIT 4  
BROOKLYN, CT  
860-774-7350

Approval is hereby granted for the construction/repair of a sewage disposal system at the property described below:  
FILE #210000160 MAP #17 LOT#29-1 DL #29B

TOWN: BROOKLYN

STREET: 190 WOLF DEN ROAD

PROPERTY OWNER: JOHN PAUL & STEPHANIE RIMOCZY

INSTALLER: JOHN ALBRECHT (SIG ON FILE)

CT LIC #3609 EXPIRES: 02/28/2022

Residential: No. of Bedrooms: 3 w/1 Bedroom detached In Law Apt

Non-Residential: Design Flow: 0 Gallons Per Day (GPD)

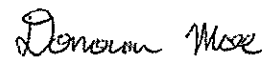
## INSTRUCTIONS FOR INSTALLER

1. Construction plot plan submitted and approved by this office must be adhered to.
2. This office must be contacted for approval if any change is going to be made in the system location, size or design, or any changes in house, well or property line locations.
3. Any *NEW* sewage disposal system must conform to *ALL* requirements of Section 19-13-BI03 of the CT Public Health Code.
4. *ALL* new construction to be under *DIRECT* supervision of a CT licensed installer under Section 20-341 of the CT General Statutes.
5. The installer is *RESPONSIBLE* for *VERIFYING LOCATIONS* of *PROPERTY LINES, WELLS,* and *BURIED UTILITY LINES* prior to construction.
6. Installer to notify N.D.D.H. 24 hours, in advance, prior to the start of construction.
7. Installer to have septic tank covers removed at the time of inspection.

## SPECIFIC INSTRUCTIONS:

- Install per plot plan (KWP Associates, Project #04092, Drawn: 12/22/2019, Revised: 12/01/2021).
- CT Licensed Surveyor must stake house, benchmark and septic system, offset stakes to include flow line or bottom of trench elevations. Benchmark is to be located within 10-15 feet of proposed system.
- Install a 1,500-gallon two compartment septic tank with outlet baffle filter.
- Sewer line from 1 bedroom apartment garage shall be sleeved with 12" of cover.
- Install 588 square feet of effective leaching area consisting of 4 49' long stone and pipe trenches (12"x48")
- Maximum depth into existing grade not to exceed 0 inches. Bottom of system shall be 2" above existing grade as shown on plan.
- Topsoil is to be removed and replaced with select septic fill/C33 sand. Current sieve analysis (within 30 days), for select fill/C33 sand is required. Perc test is to be conducted in the select fill.
- Bottom of excavation inspection is required once topsoil has been removed.
- Installer to schedule and be present for final inspection with NDDH staff and have level set up so that elevations may be verified or an
- Engineer's as-built and installer's checklist to be submitted to NDDH as required.
- Notice of Exception granted by State of Connecticut Dept of Public Health for a Central System.

GRANTED BY:

  
Donovan Moe, EHS

  
Maureen Marcoux, RS

DATE ISSUED: 12/06/2021

EXPIRES: 12/06/2021

ONE

RENEWAL:   /  /  

EXPIRES:   /  /  

THIS PERMIT IS VALID FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE. IN ACCORDANCE WITH THE CT PUBLIC HEALTH CODE SECTION 19-13-BI03e(F)(I). ONE RENEWAL IS POSSIBLE PROVIDED NDDH IS NOTIFIED PRIOR TO THE EXPIRATION DATE NOTED ABOVE. IF PERMIT EXPIRES, INSTALLERS ARE CHANGED, OR ANY OTHER DEVIATION FROM THE ORIGINAL PERMIT, A NEW APPLICATION MUST BE COMPLETED AND ALL APPLICABLE FEES MUST BE PAID.

# STATE OF CONNECTICUT

## DEPARTMENT OF PUBLIC HEALTH

Manisha Juthani, MD  
Commissioner



Ned Lamont  
Governor  
Susan Bysiewicz  
Lt. Governor

*Environmental Health Section*

### **NOTICE OF EXCEPTION**

An exception is hereby granted to the requirements of Section 19-13-B103d (d) of the Connecticut Public Health Code for a CENTRAL SUBSURFACE SEWAGE DISPOSAL SYSTEM serving a SINGLE-FAMILY HOUSE and a DETACHED INLAW APARTMENT located at 190 WOLF DEN ROAD in the Town of BROOKLYN, CT. A central system has been found to be technically preferable for the following reasons:

1. The central system shall provide for an improved distribution and treatment of sewage effluent.
2. Wastewater that is not "sewage" as defined in Section 19-13-B103b (a) of the Connecticut Public Health Code shall not be discharged to the sewage disposal system.
3. The installation shall be inspected and approved by the local health department.

Recorded at the Department of Public Health, Hartford, Connecticut.

A handwritten signature in blue ink that reads "Sean Merrigan".

---

Sean Merrigan  
Sanitary Engineer III  
Environmental Engineering Program

DECEMBER 6, 2021

---

Date



Phone: (860) 509-7296 • Fax: (860) 509-7295  
410 Capitol Avenue, MS#12SEW, P.O. Box 340308  
Hartford, Connecticut 06134-0308  
[www.ct.gov/dph](http://www.ct.gov/dph)

*Affirmative Action/Equal Opportunity Employer*



Enter Map Title

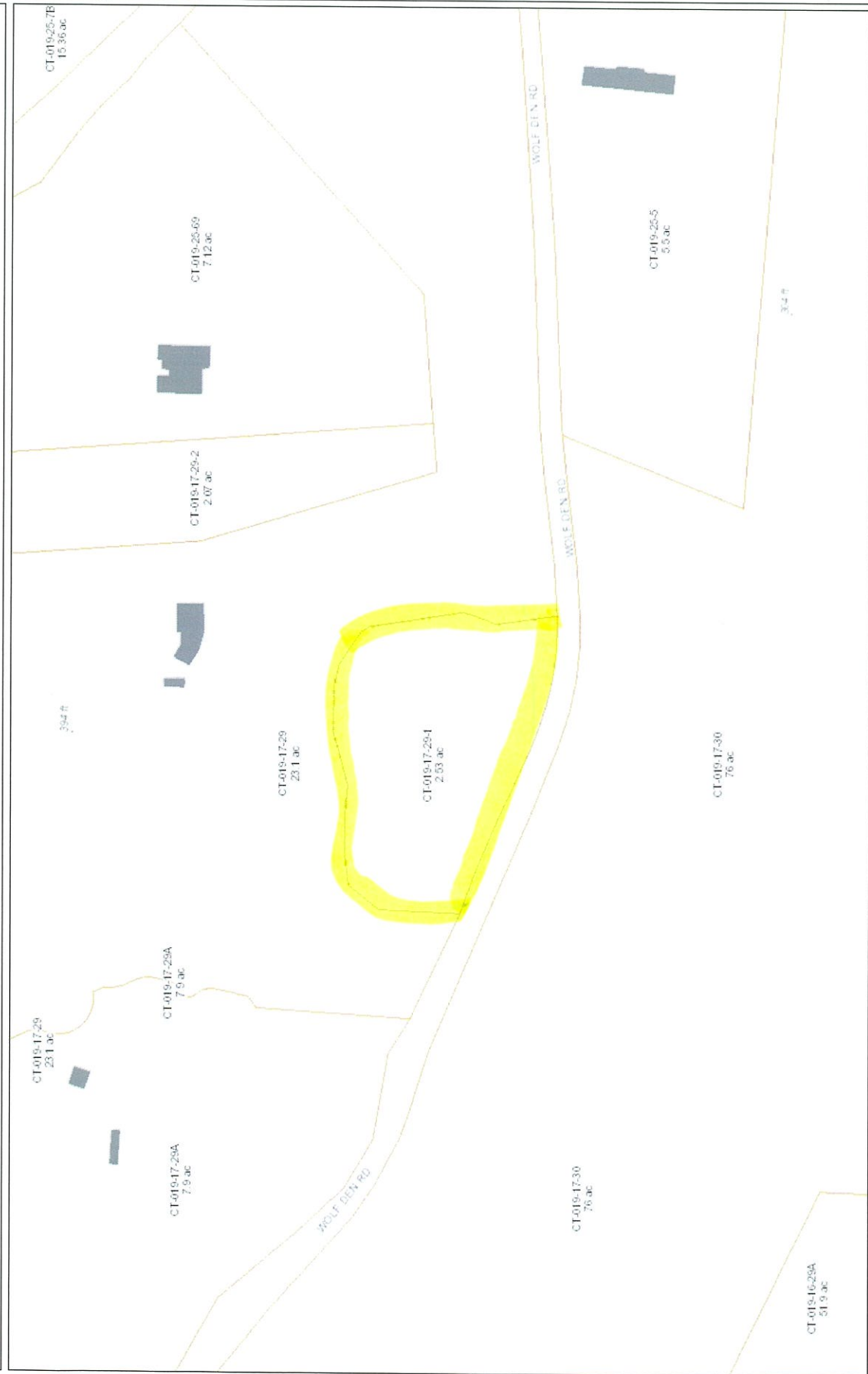


- Legend**
- Town
  - Buildings 2012
  - Parcels

1:2,257



Notes  
Enter Map Description



This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



WGCS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

Abutters List (Necogg)  
January 20, 2022

Map 17

Lot 29: Erik Larkin, 85 Costello Road, Brooklyn

Lot 30: Windham County Soil Conservation, Wolf Den Road, Brookly

**Parcel Information:**

Report Generated: 1/20/2022 11:00:37 AM

**GIS ID:** CT-019-17-30

**Assessment:**

**Owner Name:** WINDHAM COUNTY SOIL CONSERVATION

**Appraisal:** \$197,700.00

**Street Address:** WOLF DEN RD  
19

**Mailing Address:** DEPT. ENV. PROTECTION  
BROOKLYN CT 06234-2517

**Land:** 76.00

**Buildings:**

**Land Value:**

**Improvement Value:**

**Total Value:**

**Appraised**

\$0.00

\$197,700.00

**Assessed**

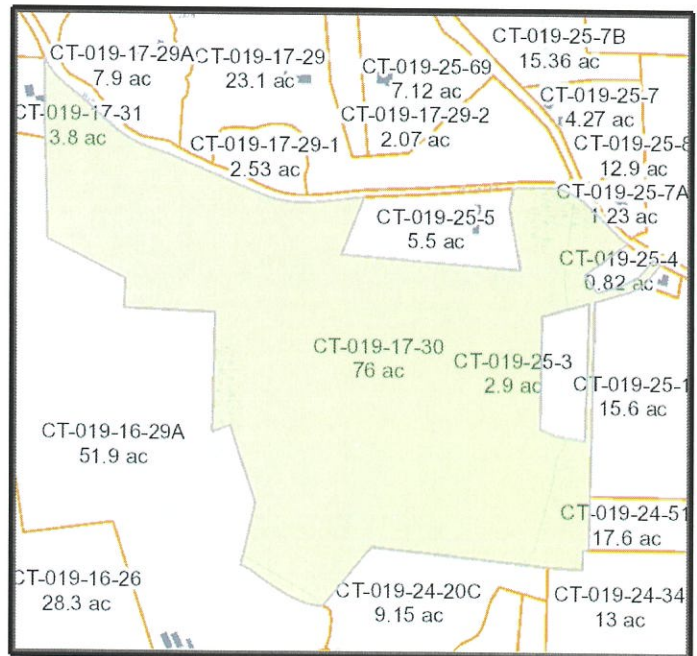
**Sale Date:**

**Sale Price:**

**Year Built:**

**Primary Structure Area:**

sq. ft.



Taxlot highlighted in blue



**Parcel Information:**

Report Generated: 1/20/2022 11:00:07 AM

GIS ID: CT-019-17-29

Assessment:

Owner Name: LARKIN ERIK M TRUSTEE OF

Appraisal: \$185,260.00

Street Address: 85 COSTELLO RD  
19

Mailing Address: 85 COSTELLO RD  
BROOKLYN CT 06234

Land: 23.10

Buildings:

Land Value:

Improvement Value:

Total Value:

**Appraised**

\$144,100.00

\$185,260.00

**Assessed**

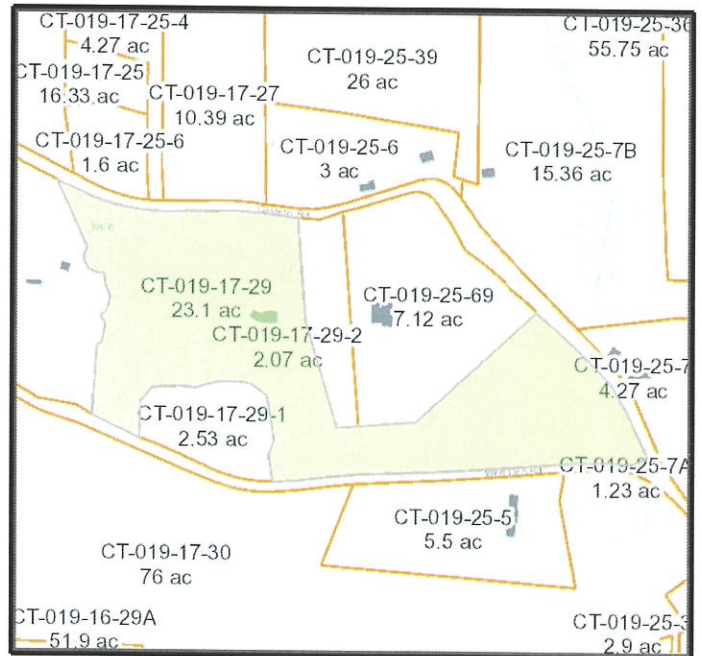
Sale Date:

Sale Price:

Year Built:

Primary Structure Area:

sq. ft.



Taxlot highlighted in blue

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

<b>CURRENT OWNER</b>		<b>TOPO</b>		<b>UTILITIES</b>		<b>STRT / ROAD</b>		<b>LOCATION</b>		<b>CURRENT ASSESSMENT</b>	
RIMOCZY JOHN PAUL & STEPHANIE		Alt Prcl ID 17/029-01		490 PEN DEVRIGH SUBDIV, LARKIN SURVEY # 17/91 DEV LOT		Census # 9051		FIRE DIST SEWER		Description: VAC RS LN	
188 GORMAN RD		06234		0637		0280		01-29-2020		Code: 5-1	
BROOKLYN CT		06234		0227		0030		06-20-2000		Appraised: 38,000	
BROOKLYN, CT		06234		0082		0871		05-27-1986		Assessed: 25,490	
BROOKLYN, CT		06234		0033		0027		04-05-1956		Total: 38,000	

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC
RIMOCZY JOHN PAUL & STEPHANIE S	0637	0280	01-29-2020	Q	V	42,500	00
LARKIN CHARLES E & PAMALA J	0227	0030	06-20-2000	U	V	0	29
CUNNEEN JOY W	0082	0871	05-27-1986	U	V	0	29
CUNNEED EDWARD F & JOY W	0033	0027	04-05-1956	U	V	0	29
Total		25,490		Total		880	

EXEMPTIONS		Description	Code	Amount
Year	Code	Description	Code	Amount
				0.00

OTHER ASSESSMENTS		Description	Number	Amount
Year	Code	Description <td>Number <td>Amount </td></td>	Number <td>Amount </td>	Amount

ASSESSING NEIGHBORHOOD		Nbhd Name	Batch
Nbhd	Code	Description <td>Batch</td>	Batch
0001	B	Tracing	

NOTES		BETWEEN 99-139 PAST COSTELLO	
Year	Code	Description <td>Amount</td>	Amount
			0

BUILDING PERMIT RECORD		Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments
Total Appraised Parcel Value: 38,000										
VISIT / CHANGE HISTORY		Date	Id	Type	Is	Cd	Purpose/Result			
Total Appraised Parcel Value: 38,000										
Valuation Method: C										
Total Appraised Parcel Value: 38,000										

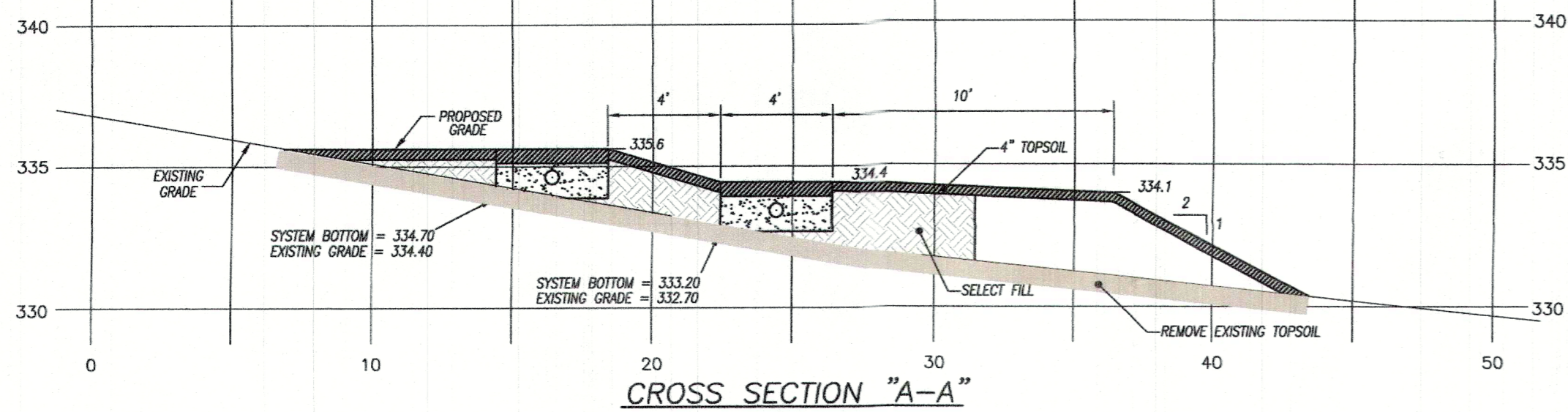
LAND LINE VALUATION SECTION		Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj
B Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj
1300	VACANT	RA	RA	AC	2.000	36,000	0.56895	5	0.80	0050	1.100
1300	VACANT	RA	RA	AC	0.530	3,600	1.00000	0	1.00		1.000
Total Card Land Units: 2.530 AC											
Parcel Total Land Area: 2.5300											
Total Land Value: 38,000											

CONSTRUCTION DETAIL		CONSTRUCTION DETAIL (CONTINUED)	
Element	Cd	Description	Description
99 00		Vacant Land Vacant	
<b>CONDO DATA</b> Parcel Id: C   B   S   Owne   Factor% Adjust Type: Code   Description   Factor% Condo Fir:       Condo Unit:			
<b>COST / MARKET VALUATION</b> Building Value New: 0 Year Built: 1 Effective Year Built: 0 Depreciation Code: Remodel Rating: Year Remodeled: Depreciation %: Functional Obsol: External Obsol: Trend Factor: Condition: Condition %: Percent Good: RCNLD: Dep % Ovr: Misc Imp Ovr: Dep Ovr Comment: Misc Imp Ovr Comment: Cost to Cure Ovr: Cost to Cure Ovr Comment:			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)		BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	L/B Units	Unit Price	Yr Bilt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
<b>BUILDING SUB-AREA SUMMARY SECTION</b> Living Area: Floor Area   Eff Area   Unit Cost   Undeprrec Value Ttl Gross Liv / Lease Area: 0   0   0   0									

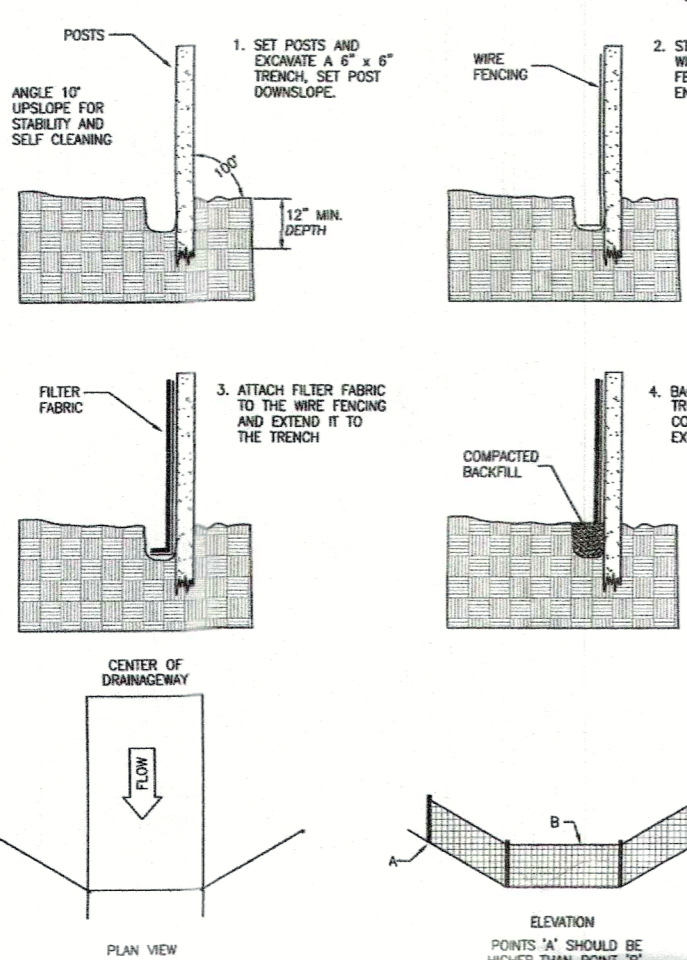
No Sketch





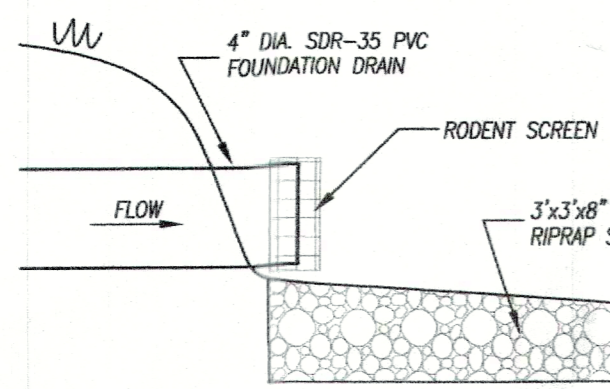
**EROSION & SEDIMENTATION NOTES AND SEQUENCE OF OPERATIONS**

- The proposed activity consists of the construction of a single family residence and appurtenant driveway, septic system and well within 100' of an inland wetland.
- Prior to any construction, excavation or filling, all improvements shall be accurately staked in the field by a land surveyor registered in the State of Connecticut.
- After field staking all erosion sedimentation control devices as shown on the plan and as detailed shall be installed. Properly installed haybales maybe used in lieu of silt fence.
- All trees and brush within the areas of disturbance shall be removed. All limbs and saplings less than 4" in caliper shall be chipped and stockpiled for later reuse as slope stabilization and mulch material. All trees in excess of 4" in caliper shall be removed from the site and disposed of in a manner consistent with State, Federal, and local regulations. Stumps shall be excavated from the area of disturbance and likewise disposed of in a manner consistent with all applicable laws.
- Final grades shall be achieved as quickly as possible, and immediately thereafter, sideslopes shall be stabilized with 4" of topsoil. The area shall be seeded and mulched with straw mulch in accordance with the specifications contained herein.
- All erosion and sedimentation control measures shall be constructed in accordance with standards and specifications of the "Erosion and Sedimentation Control Handbook", U.S. Dept. of Agriculture, Soil Conservation Service.
- All control measures shall be maintained in effective conditions throughout the construction period and shall be inspected periodically but not less than once per month, and after a total rainfall in one storm event of 1 inch in 24 hours. Sediment shall be promptly removed from control structures and disposed of on-site in upland areas outside the buffer zone of wetlands. Any silt fence or hay bales damaged as a result of a storm event or construction activities, shall be immediately repaired.
- The Town of Brooklyn shall be notified prior to commencement of construction and at key point during construction so that inspections of erosion and sedimentation control measures can be scheduled.
- The responsibility for implementation of this plan shall rest with JP Rimoczy & Stephanie Rimoczy, Telephone: (401) 263-1296.
- Seed Mixture:



**SILT FENCE**

NOT TO SCALE



**FOUNDATION DRAIN OUTLET**

NOT TO SCALE

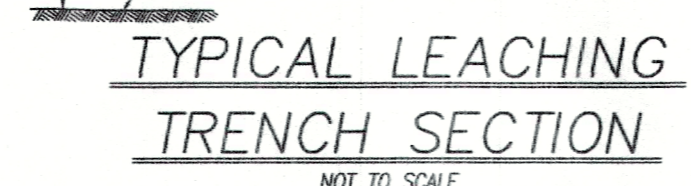
**SEPTIC SYSTEM CONSTRUCTION NOTES**

- The building and septic system shall be accurately staked in the field prior to construction by a licensed Land Surveyor in the State of Connecticut.
- Topsoil and fill material shall be removed and the area of primary leaching field scarified prior to placement of fill. Fill shall meet the gradation requirements noted below. Fill material shall be approved by the engineer or the sanitarian prior to placement. It shall be compacted in six-inch lifts and shall extend a minimum of fifteen feet (15') beyond the last leaching trench before tapering off.  
**Septic System Fill Gradation Requirements**  
 Coarse Fraction (less than 3" and greater than No. 4 sieve): 45% Max.  
 Fine Fraction:  

Sieve	WET	DRY
No. 4	100	100
No. 10	70-100	70-100
No. 40	10-50*	10-75
No. 100	0-20	0-5
No. 200	0-5	0-2.5

 Percent passing the #40 sieve can be increased to no greater than 75% if the percent passing the #100 sieve does not exceed 10% and the #200 sieve does not exceed 5%.
- All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.  
 Solid distribution pipe shall be 4" diameter SDR-35 PVC MEETING ASTM D-3034 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.  
 Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-2729 or D-3350, 1500 lb. minimum crush.
- Sewer pipe from the foundation wall to the septic tank shall be centrifugally cast iron meeting the requirements of ASTM A 74 or schedule 40 PVC meeting ASTM-1785.
- Foundation drain outlet shall be 4" diameter SDR-35 PVC meeting the requirements of ASTM D-3034 with rubber compression gasket joints and backfilled with a non free-draining material.

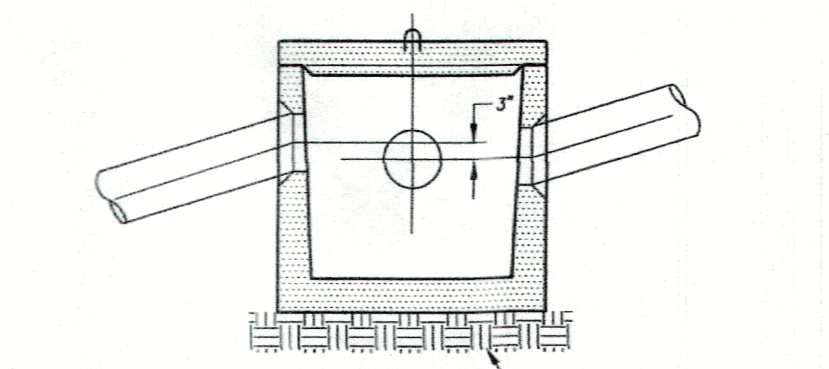
- MAP REFERENCES:**
- "Subdivision of Land - Owned by - Joy W. Cunneen - Wolf Den And Costello Roads - Brooklyn, Connecticut - Scale: 1 inch = 50 Feet - Date: 14 January 1986 - Prepared By Albert L. Fitzback, L.L.S."
  - "Plan of Land - Surveyed for - Peter F. McFarlin & Robin W. McFarlin - Wolf Den Road & Costello Road - Brooklyn, Connecticut - Scale: 1" = 40' - Date: 7/24/1978 - Prepared By Kietlyka, Woods & Pike."



TYPICAL LEACHING TRENCH SECTION NOT TO SCALE

**DISTRIBUTION BOX DETAIL**

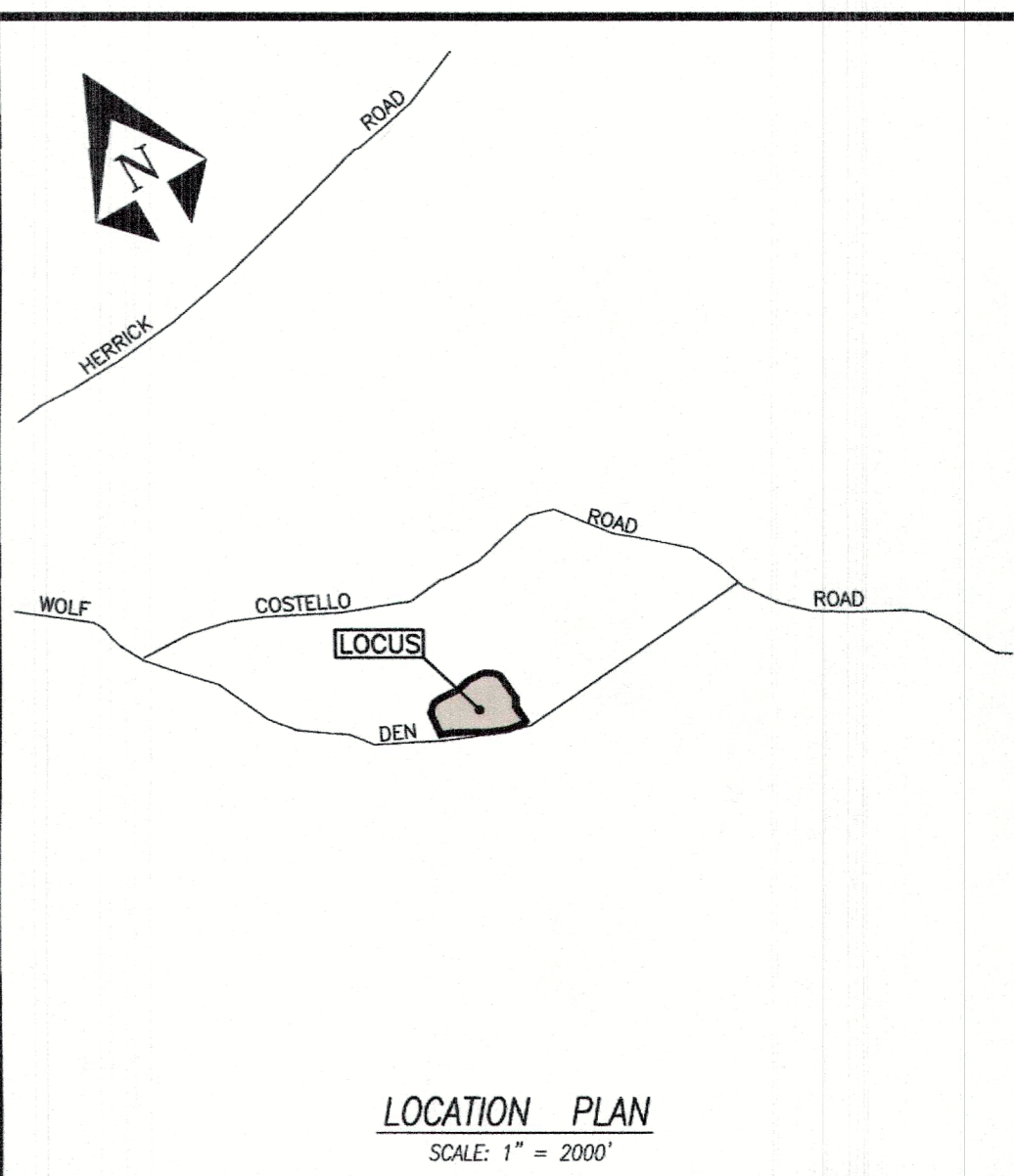
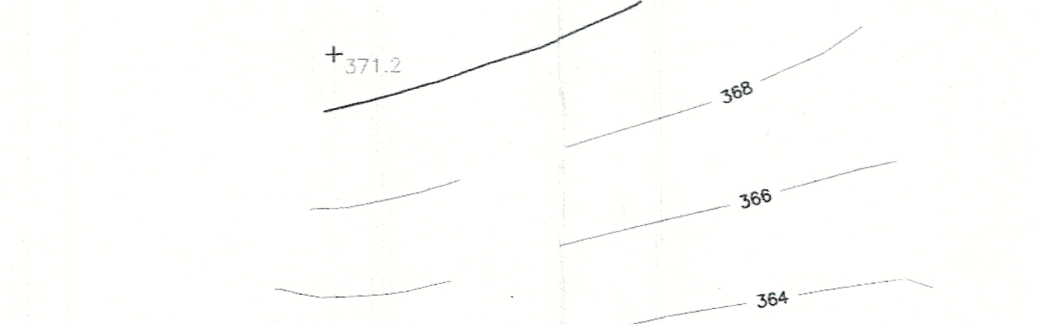
NOT TO SCALE



OVERFLOW / DISTRIBUTION BOX DETAIL NOT TO SCALE

**1,500 GALLON TWO-COMPARTMENT SEPTIC TANK**

NOT TO SCALE



DEEP TEST HOLE EVALUATION - March 29, 2005  
 Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
103	0' - 7' 7' - 29' 29' - 30'	Topsoil Reddish Brown Very Fine Sandy Loam, Stones/Rocks Compact Very Fine Sandy Loam with Stones N/A Seeps @ 76" 29"
104	0' - 8' 8' - 22' 22' - 81'	Topsoil Reddish Brown Very Fine Sandy Loam with Pebbles Compact Fine Sandy Loam N/A Seeps @ 35" 22"

PERCOLATION TEST DATA - April 5, 1994  
 Soil Technologies

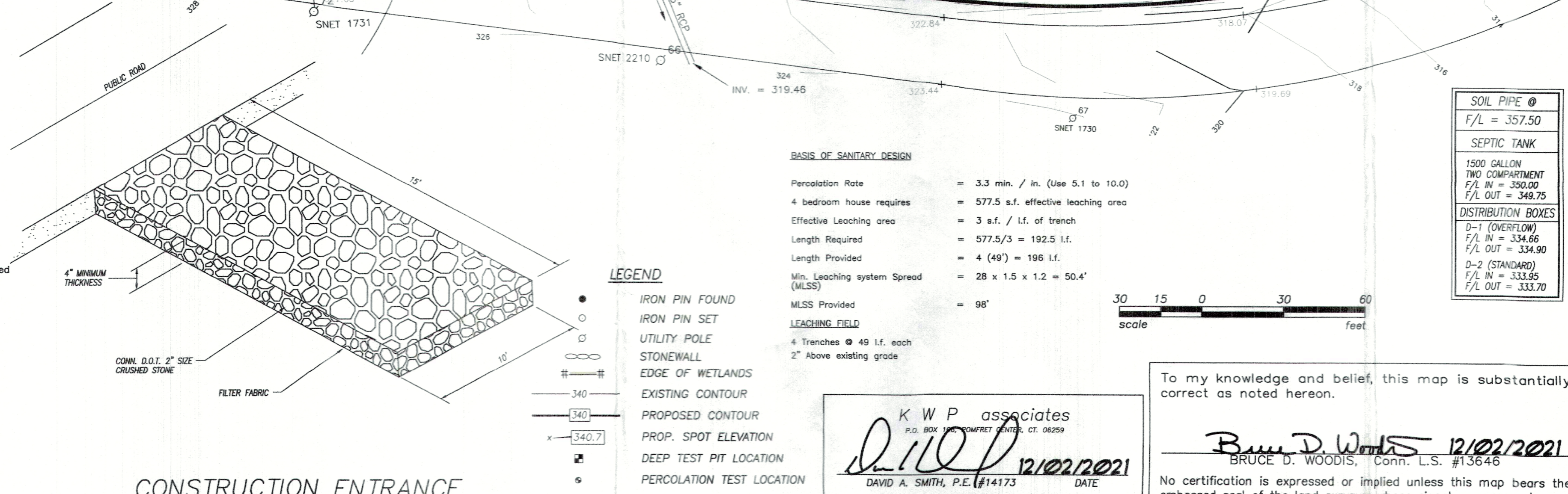
HOLE	TIME	READING
B	4:10	2"
	4:20	7 1/2"
	4:30	11 3/4"
	4:40	14"
	4:50	17"
	5:00	20"
	Depth	20"

Minimum Percolation Rate = 3.3 min/inch

DEEP TEST HOLE EVALUATION - November 18, 2021  
 Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
1	0' - 12" 12' - 34" 34' - 60"	Topsoil w/ many roots Sandy Loam w/ some roots Moderately compact, decompressed rock with loamy medium sand Ledge Mottling 34"

**WOLF DEN ROAD**



**CONSTRUCTION ENTRANCE**

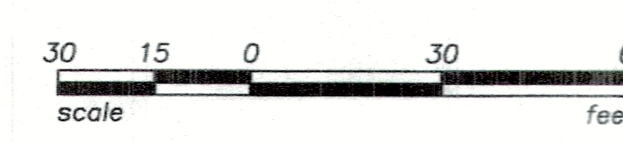
NOT TO SCALE

**LEGEND**

- IRON PIN FOUND
- IRON PIN SET
- UTILITY POLE
- STONEWALL
- EDGE OF WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROP. SPOT ELEVATION
- DEEP TEST PIT LOCATION
- PERCOLATION TEST LOCATION
- SILT FENCE

**BASIS OF SANITARY DESIGN**

- Percolation Rate = 3.3 min. / in. (Use 5.1 to 10.0)
- 4 bedroom house requires = 577.5 s.f. effective leaching area
- Effective Leaching area = 3 s.f. / l.f. of trench
- Length Required = 577.5/3 = 192.5 l.f.
- Length Provided = 4 (49') = 196 l.f.
- Min. Leaching system Spread (MLSS) = 28 x 1.5 x 1.2 = 50.4'
- MLSS Provided = 98'
- Leaching Field = 4 Trenches @ 49 l.f. each
- 2" Above existing grade



To my knowledge and belief, this map is substantially correct as noted herein.

KWP associates  
 P.O. BOX 110101, BROOKLYN, CT 06209  
 DAVID A. SMITH, P.E. #14173 DATE 12/02/2021  
 NOT VALID UNLESS SEAL IS AFFIXED HERETO

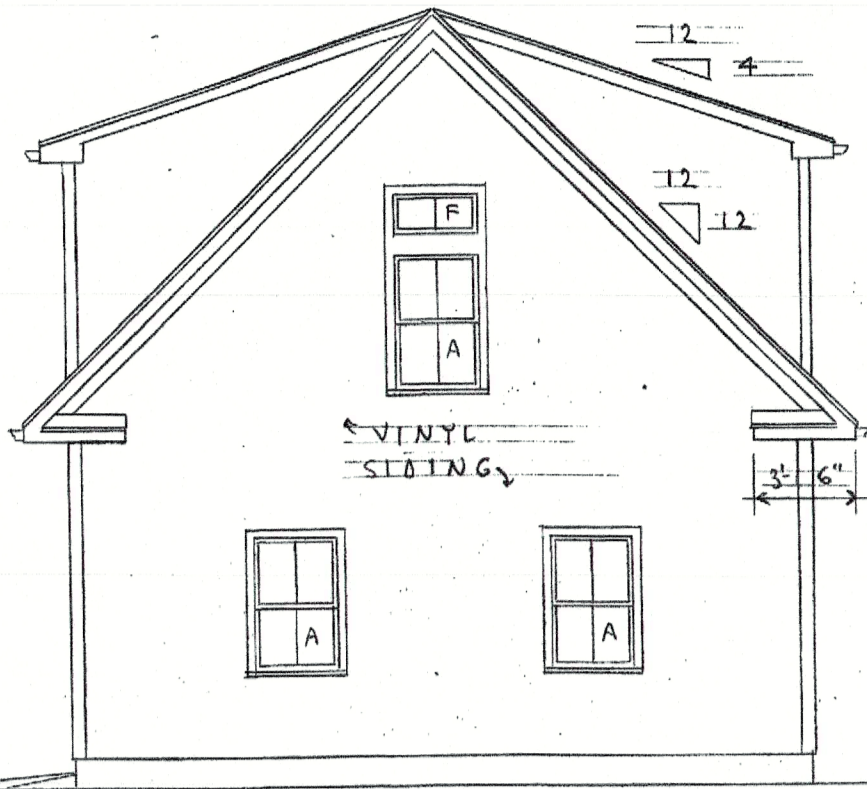
BRUCE D. WOODS 12/02/2021  
 BRUCE D. WOODS, Conn. L.S. #13646  
 No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears herein.

SNET 1729

DATE	REVISIONS DESCRIPTION	BY
12/1/2021	REVISIONS PER NDOH COMMENTS	PA
9/21/2021	REVISED SEPTIC TANK SIZE	PA
7/29/2021	REVISED GARAGE LOCATION	JES
4/23/2021	ADDED GARAGE WITH APARTMENT, REVISED HOUSE FOOTPRINT AND SEPTIC AREA	JES
1/7/2020	ADDED REGULATED AREA	JES

Site Development Plan  
 Prepared For  
**JP RIMOCZY**  
 &  
**STEPHANIE RIMOCZY**  
 #190 WOLF DEN ROAD  
 BROOKLYN, CONNECTICUT

**KWP associates**  
 SURVEYING ~ ENGINEERING ~ SITE PLANNING  
 250 Killingly Road  
 Pomfret Center, Ct. 06259-0106  
 SCALE: 1" = 30'  
 DATE: 12/22/2019  
 SHEET: 1 OF 1  
 PROJ # 04092 FB:  
 Dwn: JES Chk: .



RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"

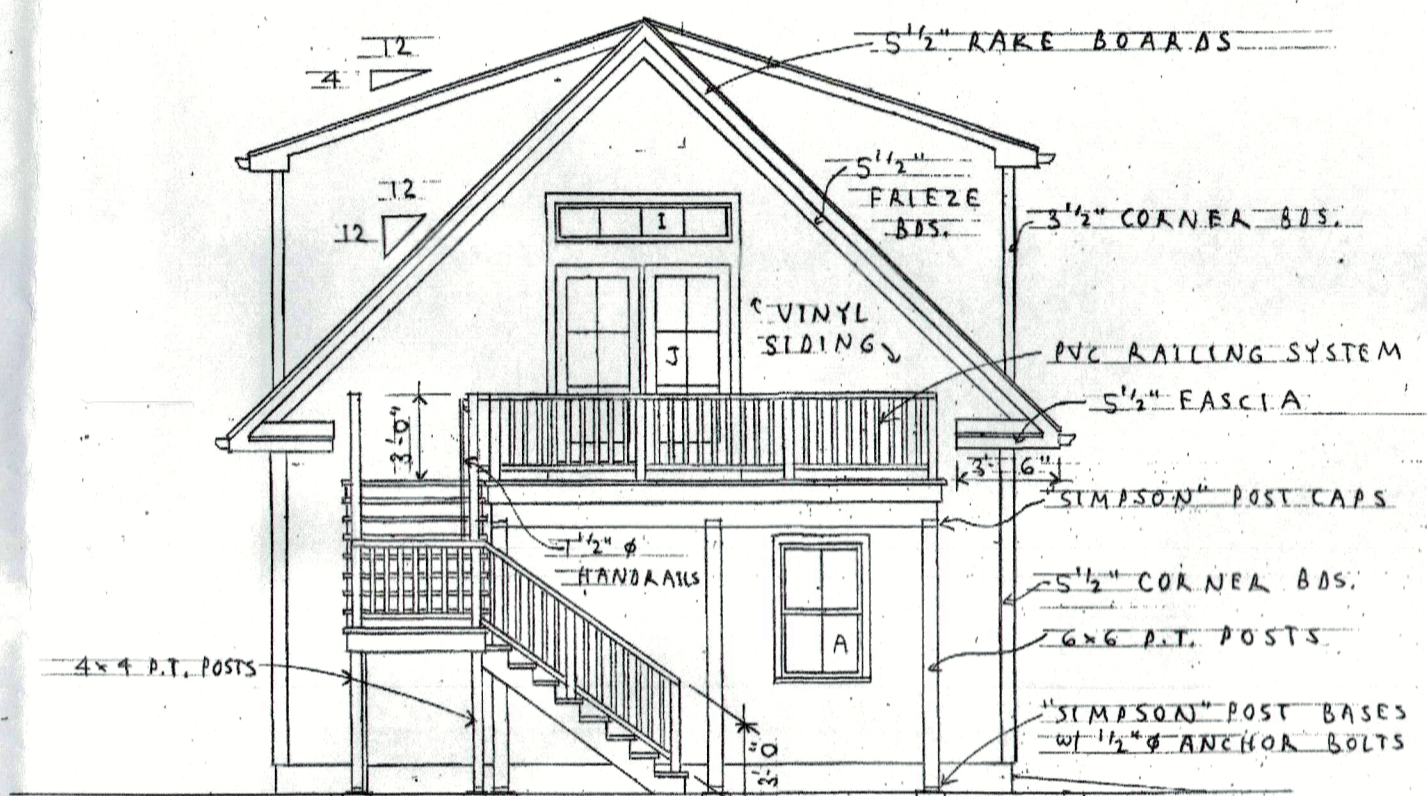


REAR ELEVATION SCALE: 1/4" = 1'-0"

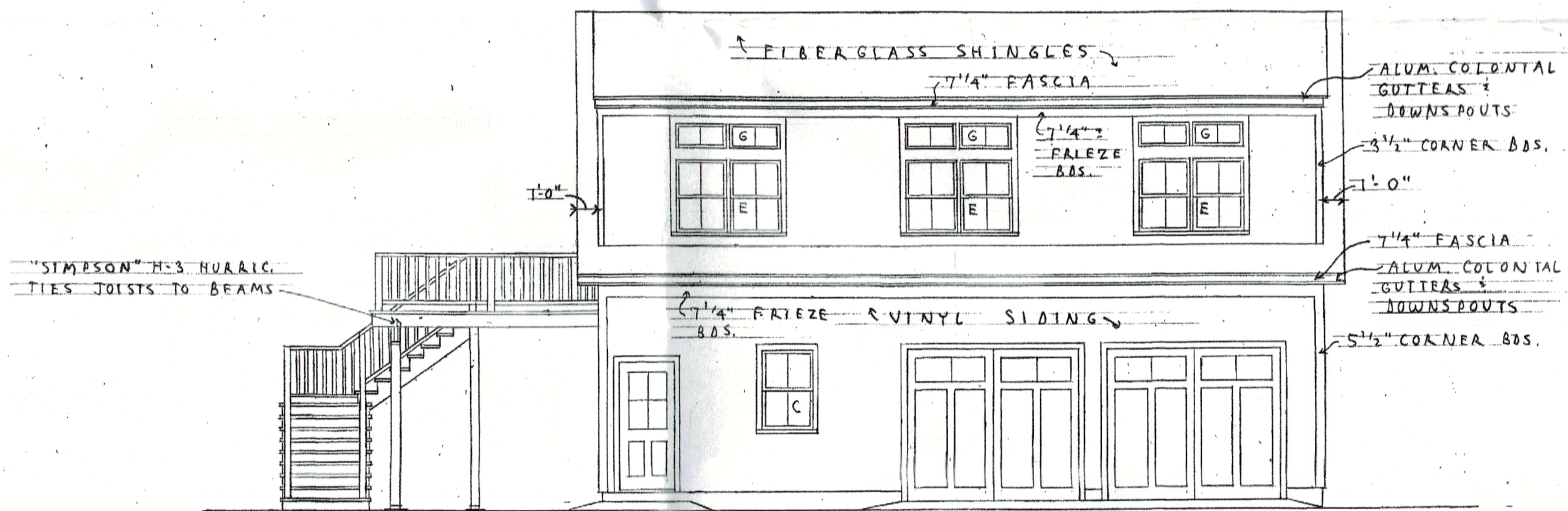
CHRISTOPHER BLEYER - RESIDENTIAL DESIGNER GARAGE AND ACCESSORY APARTMENT FOR JOHN PAUL AND STEPHANIE RIMOCZY  
 256 FAARUM PIKE, SMITHFIELD, R.I. 02917 WOLF DEN ROAD, BROOKLYN, CONN. 06221  
 SHEET 2 OF 4

DESIGNATION	TYPE / MANUF.	ROUGH OPENING	REMARKS
A	DOUBLE HUNG 2846	2'-10" x 4'-9 1/2"	
B	DOUBLE HUNG 2846-3	2'-2 1/4" x 4'-9 1/2"	
C	DOUBLE HUNG 2842	2'-10" x 4'-5 1/2"	
D	DOUBLE HUNG 28510	2'-10" x 4'-1 1/2"	UNIT @ BATH w/ TEMPERED GLASS
E	DOUBLE HUNG 28510-3	5'-6 1/4" x 4'-1 1/2"	
F	TRANSOM DTA 2816	2'-10" x 1'-6 1/2"	
G	TRANSOM DTA 2816-2	5'-6 1/4" x 1'-6 1/2"	
H	TRANSOM DTA 2816-3	8'-3 1/4" x 1'-6 1/2"	
I	TRANSOM	6'-0" x 1'-6 1/2"	
J	PATIO DOOR FLOOR GOES IN	6'-0" x 6'-11"	"AMBENSEN" UNIT

WINDOWS ARE "HARVEY" UNLESS OTHERWISE NOTED

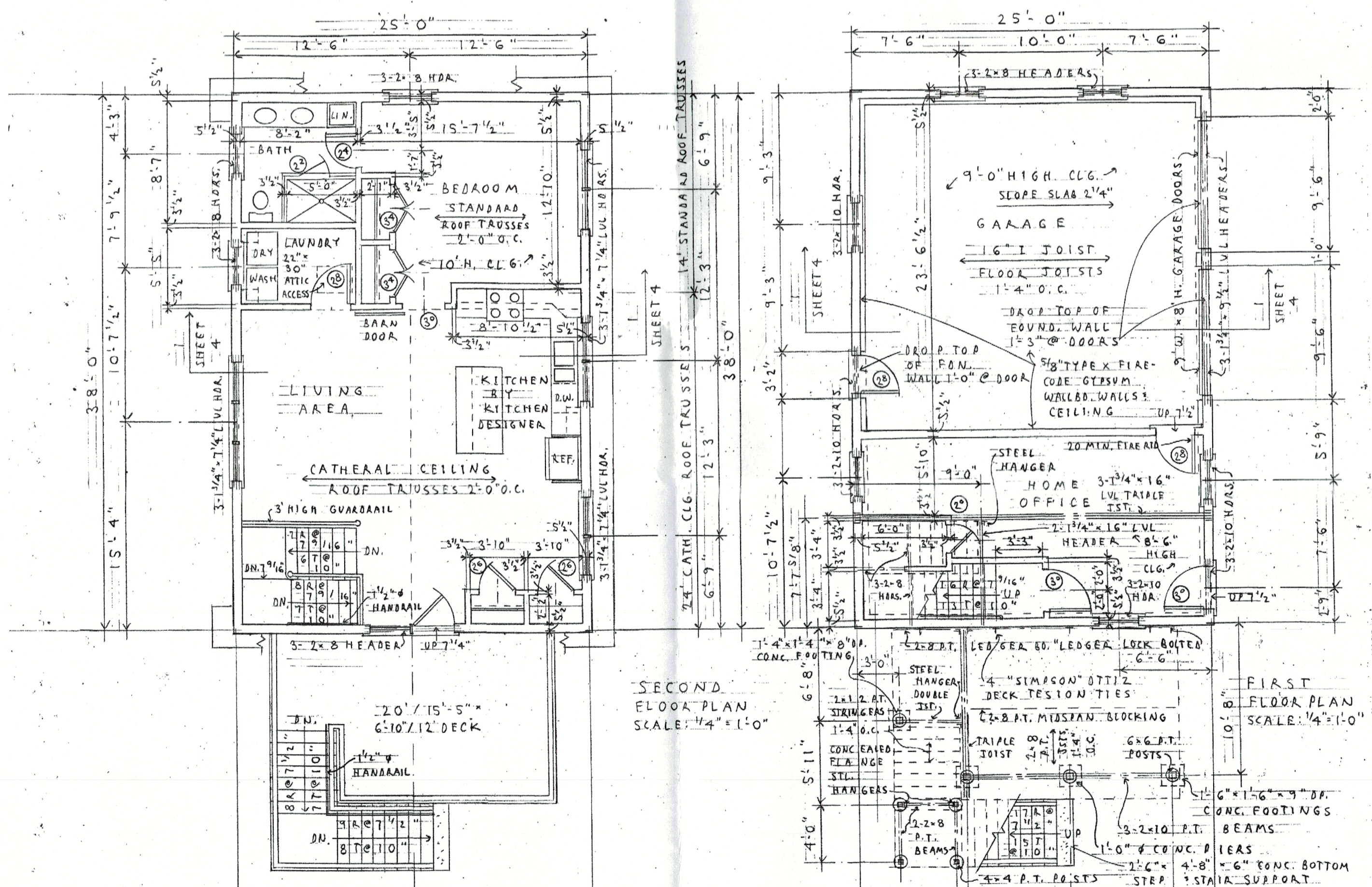


LEFT SIDE ELEVATION SCALE: 1/4" = 1'-0"



FRONT ELEVATION SCALE: 1/4" = 1'-0"

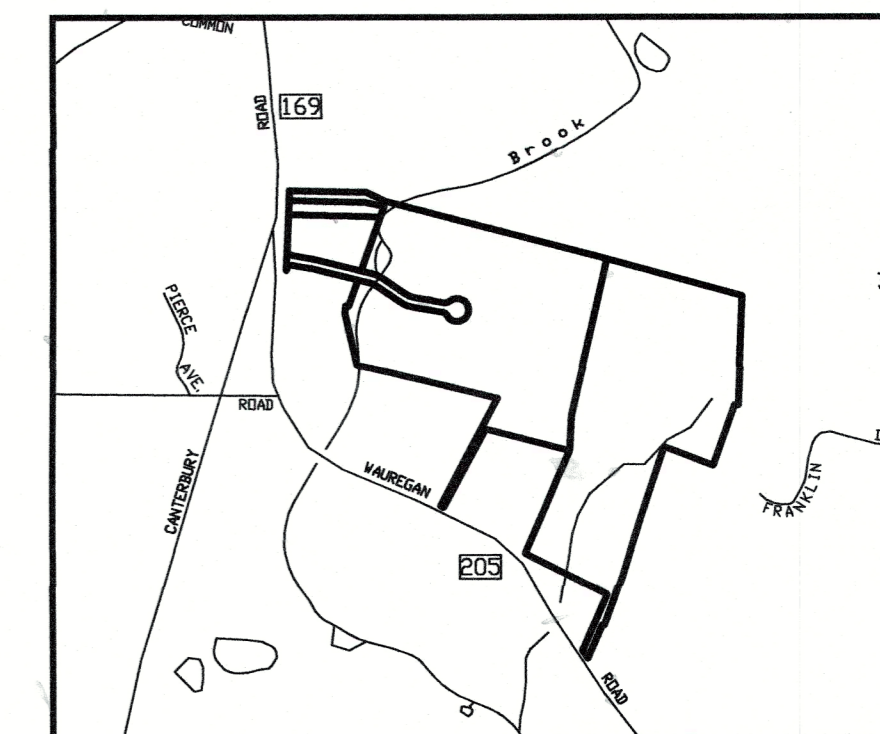
CHRISTOPHER BLEYER - RESIDENTIAL DESIGNER GARAGE AND ACCESSORY APARTMENT FOR JOHN PAUL AND STEPHANIE RIMOCZY  
 256 FAARUM PIKE, SMITHFIELD, R.I. 02917 WOLF DEN ROAD, BROOKLYN, CONN. 06221  
 SHEET 1 OF 4



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

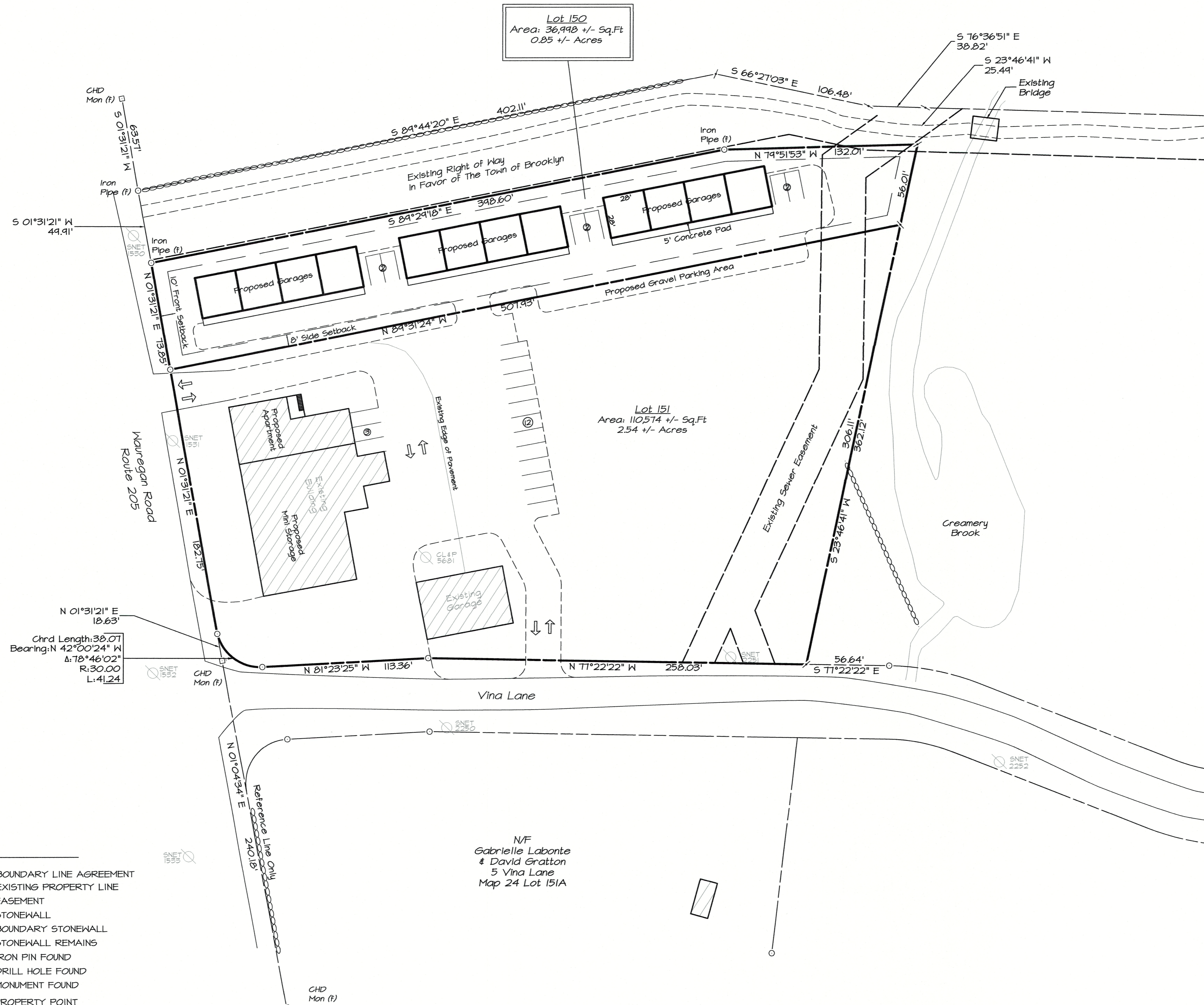
FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

CHRISTOPHER BLEYER - RESIDENTIAL DESIGNER GARAGE AND ACCESSORY APARTMENT FOR JOHN PAUL AND STEPHANIE RIMOCZY  
 256 FAARUM PIKE, SMITHFIELD, R.I. 02917 WOLF DEN ROAD, BROOKLYN, CONN. 06221  
 SHEET 3 OF 4



Location Map

SCALE  
1" = 1000 FT



Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1946.
  - This Survey conforms to a Class "A-2" Horizontal Accuracy
  - Survey Type: Perimeter Survey
  - Boundary Determination: Resurvey
  - Intent: Depicts Existing Condition as to the property lines
- Parcels shown as Lots 150 & 151 on Assessors Tax Map 24 of the Brooklyn Assessors Office
- Property is subject to Connecticut Light & Power Easements, along with Right of Ways and Easements in Favor of the Town of Brooklyn and the Sewer Company

Map References

- Perimeter Survey Prepared for Eggs Inc., Gorman Road/Franklin Drive/Wauregan Road, Brooklyn, Connecticut, Dated: October 2014, Scaled: 1"=125', Prepared by Archer Surveying LLC
- Boundary Line Modification Prepared Brooklyn Center Complex LLC, 71 Vina Lane, Brooklyn, Connecticut, Dated: January 2016, Scaled: 1"=100', Prepared by Archer Surveying LLC

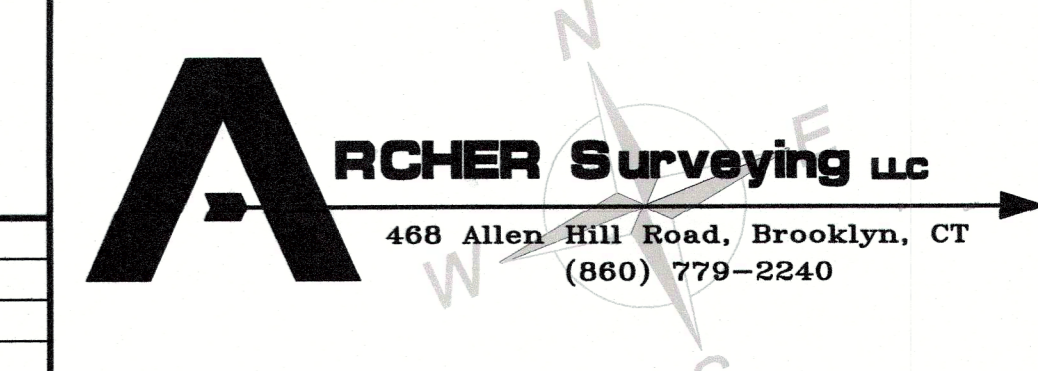
LEGEND

- BOUNDARY LINE AGREEMENT
- EXISTING PROPERTY LINE
- EASEMENT
- STONEWALL
- BOUNDARY STONEWALL
- STONEWALL REMAINS
- IRON PIN FOUND
- DRILL HOLE FOUND
- MONUMENT FOUND
- PROPERTY POINT
- UTILITY POLE
- STONE FILE

Property Survey

Prepared For:  
**A. Kausch & Sons**  
Wauregan Road & Vina Lane  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'



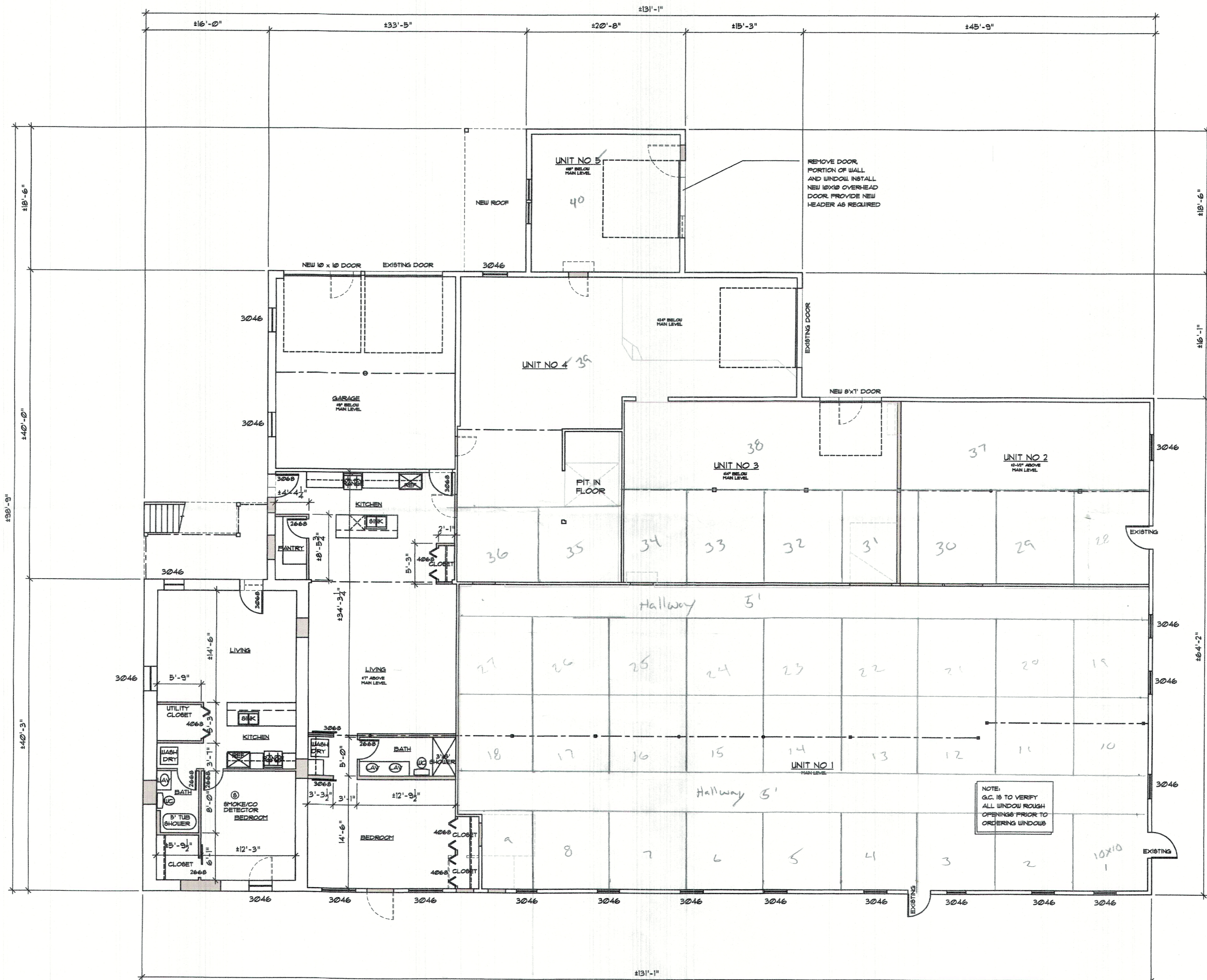
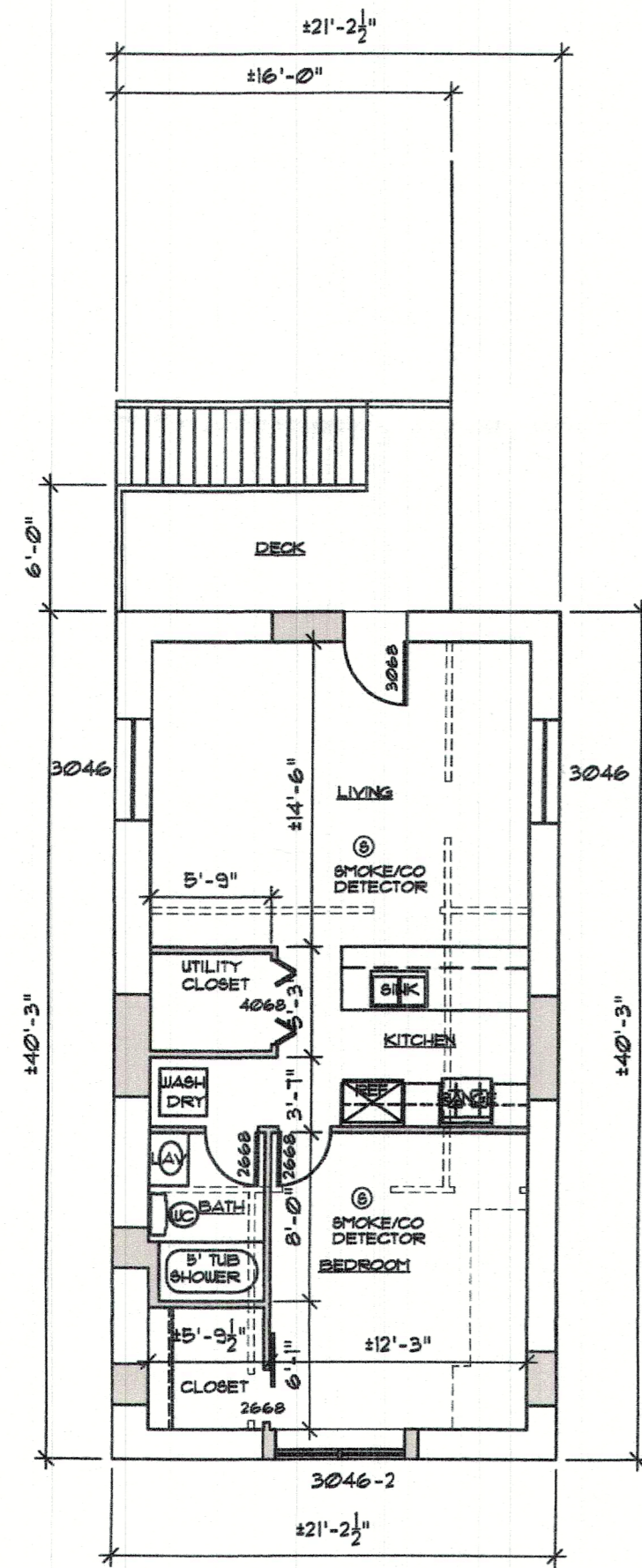
468 Allen Hill Road, Brooklyn, CT  
(860) 779-2240

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #T0013 Date

NO.	REVISIONS

Sheet No. 1 OF 1 Project No. 2006 Date: December 7, 2021



**NTH** DESIGN, LLC  
 BROOKLYN, CONNECTICUT  
 1-860-774-4378

REVISION	DATE

EXISTING CONDITIONS PLAN  
**A KAUSCH AND SONS**  
 BROOKLYN, CONNECTICUT  
 MAIN AND UPPER FLOOR PLAN

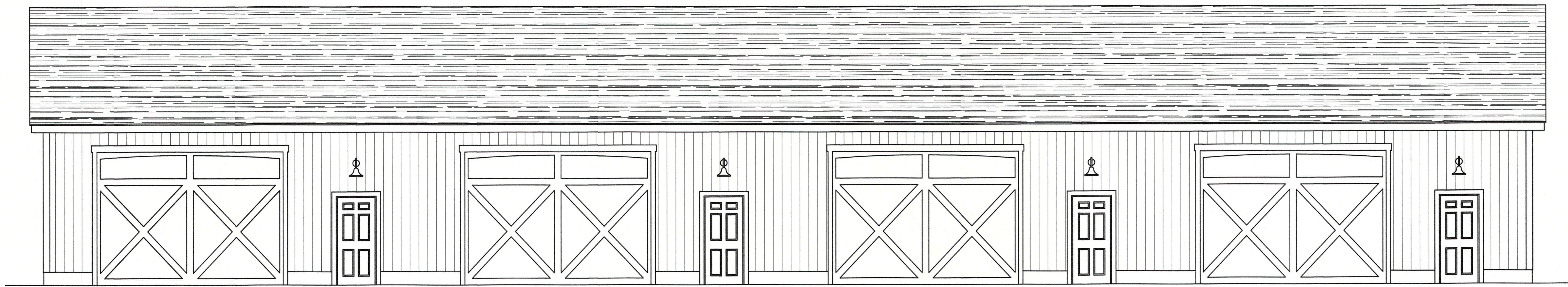
SCALE: 1/8" = 1'-0"

DATE: 1-4-22

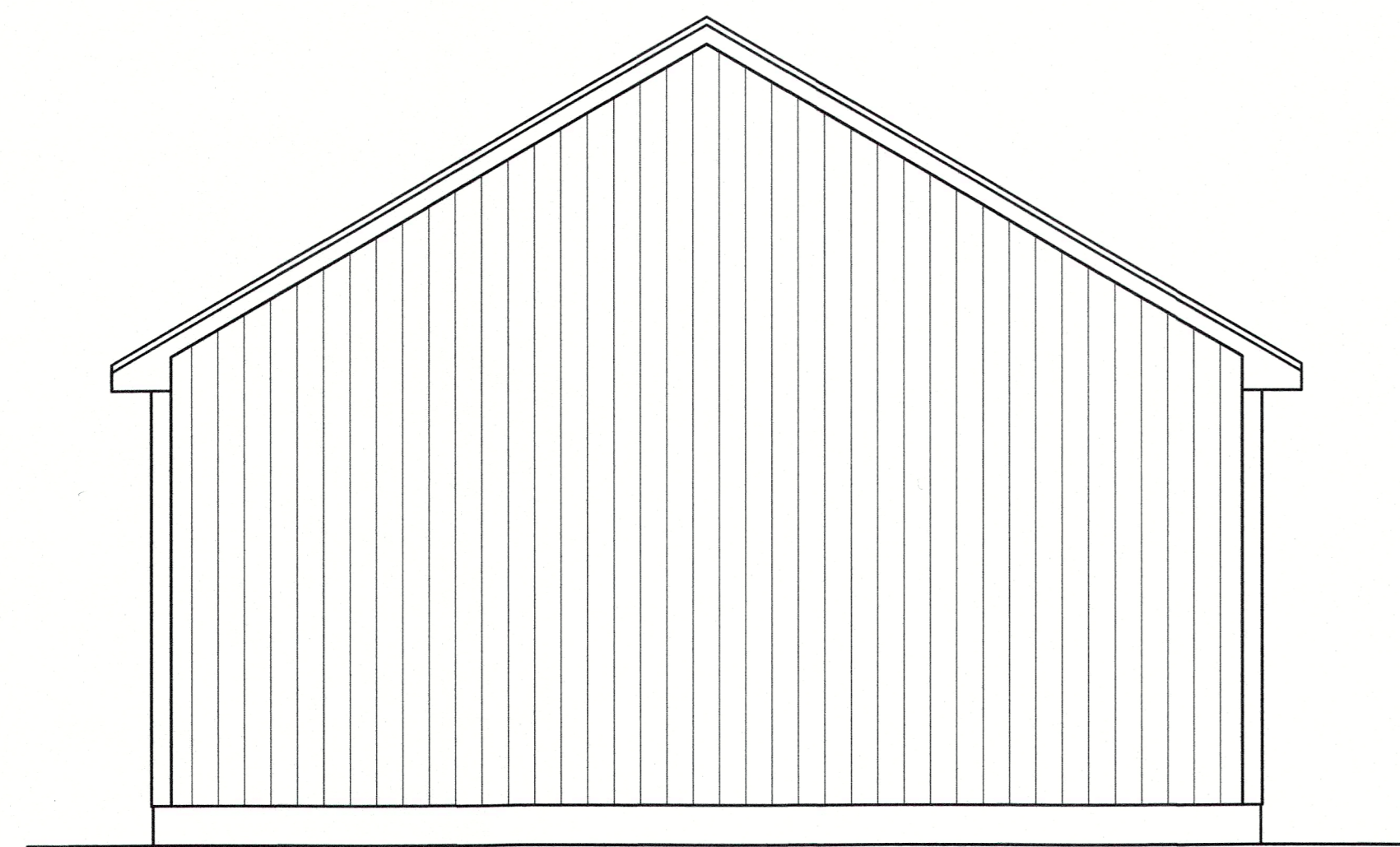
JOB NO: XXX

SHEET NUMBER:

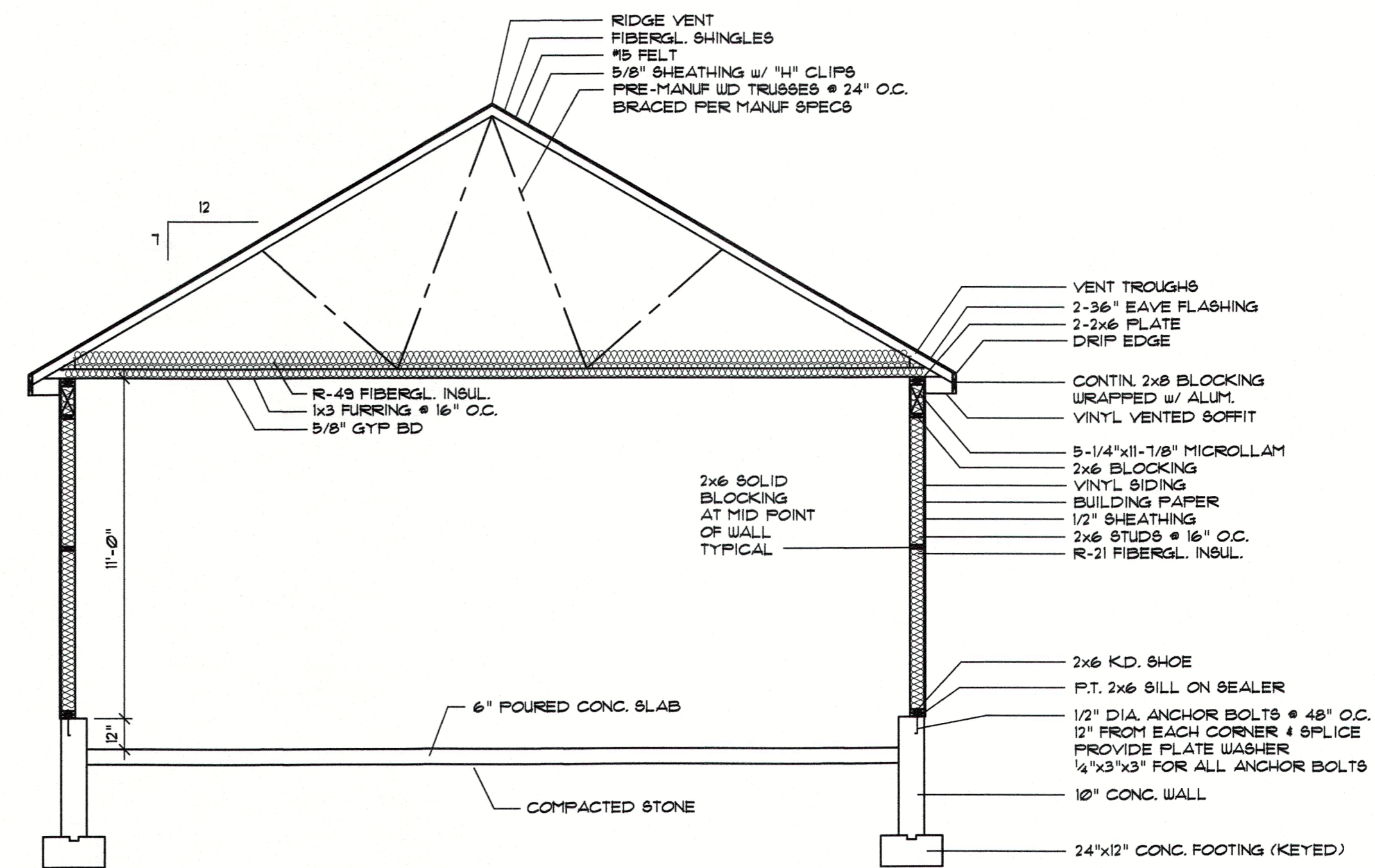
A-1



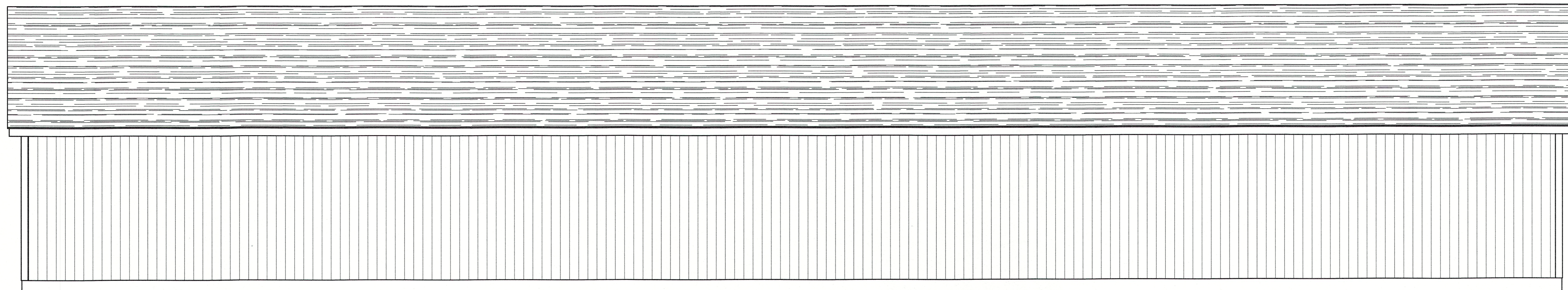
FRONT ELEVATION



BUILDING SECTION



BUILDING SECTION



REAR ELEVATION

**NTH** DESIGN, LLC  
BROOKLYN, CONNECTICUT  
1-860-450-6443

REVISION	DATE

NEW 112x28 COMMERCIAL BUILDING FOR  
**A. KAUSCH & SONS**  
BROOKLYN, CONNECTICUT

BUILDING SECTION AND EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

DATE: 1-16-22

JOB NO: 22263

SHEET NUMBER:

A-2

REVISED: 1-24-22