

**Brooklyn Inland Wetlands Commission**  
**Regular Meeting Agenda**  
**Tuesday, June 14, 2022**  
**Zoom and In-Person Meeting**  
**Clifford B. Green Memorial Center**  
**69 South Main Street**  
**6:00 p.m.**

<b>In-Person:</b> Clifford B. Green Meeting Center, Suite 24, 69 South Main Street, Brooklyn, CT For fully vaccinated persons, masks are optional. For persons not fully vaccinated, masks are required.	
<b>Online:</b> Click link below: <a href="https://us06web.zoom.us/j/82435574137">https://us06web.zoom.us/j/82435574137</a>	<b>OR</b> Go to Zoom.us , click Sign In On the top right, click Join a Meeting Enter meeting ID: 824 3557 4137 Enter meeting password: 038430
<b>Phone: Dial 1 646 558 8656 US Toll</b> <b>Enter meeting number: 824 3557 4137</b> <b>Enter meeting password: 038430</b> <b>You can bypass attendee number by pressing #</b>	

**Call to Order:**

**Roll Call:**

**Seating of Alternates:**

**Public Commentary:**

**Additions to Agenda:**

**Approval of Minutes:**

1. Regular Meeting Minutes 5/10/2022.

**Public Hearings:**

1. None.

**Old Business:**

1. **041222B – Paradise Drive - Map 14 Lot 6** – John E. Sweat, Jr. Improvements to an existing gravel driveway, construction of a bridge spanning Tatnic Brook, construction of a new single-family dwelling.
2. **041222E – 14 Hugh Drive - Map 36 Lot 31** – Devon Gibson. Failed septic system; new system to be constructed.

3. **051022A – Map 30 Lot 97 - Brooklyn Sand and Gravel** –Wayne Jolly. Continuation and expansion of gravel excavation and processing operations.
4. **061422A - 14 Darby Road - Map 36 Lot 15** – Jason Johnson. Approximately 160 cubic yards of fill had been deposited in the wetlands and upland review area. **CEASE AND DESIST ORDER.**

**New Business:**

1. **061422B – 170 South Street – Map 40 Lot 11** - Jeff Fontaine. Construction of 6,000 sq ft storage/maintenance building with septic system, well, driveway, utility service, drainage and site grounds.

**Communications:**

1. Wetlands Agent Monthly Report.
2. Letter from Normand Thibeault of KEA re: Louise Berry Drive revised plans.
3. 253 Wolf Den Road (Map 17 Lot 32-3) and 255 Wolf Den Road (Map 17 Lot 32-5). Paul Terwilliger – PC Survey Associates. Update on wetlands crossing previously constructed.
4. FCR – Gravel Pit restoration update.
5. Budget Update.

Public Commentary:

**Adjourn:**

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Richard Oliverson, Chairman

**Brooklyn Inland Wetlands Commission**  
**Regular Meeting Minutes**  
**Tuesday May 10, 2022**  
**Zoom and In-Person Meeting**  
**Clifford B. Green Memorial Center**  
**69 South Main Street**  
**6:00 p.m.**

**Call to Order:** 6:00 pm

**Roll Call:** Richard Oliverson, Adam Brindamour, Demian Sorrentino, James Paquin, Adam Tucker, Jason Burgess

**Staff Present:** Lisa Lindia ran the ZOOM meeting.  
Jean Bolin wrote the minutes

**Seating of Alternates:** None

**Public Commentary:** None

**Additions to Agenda:** None

**Approval of Minutes:**

1. Regular Meeting Minutes 3/18/2022: Approved without corrections.

**Public Hearings:**

1. None.

**Old Business:**

Demian made a motion to move 120120A Woodward Road to be the first item of Old Business because Paul Archer, representing Gary McMahon had another meeting to attend. Adam Brindamour seconded the motion. Approved 6-0.

**120120A – Woodward Road – Gary McMahon. Map 10 Lot 25-5. Request to discuss previously approved application.**

Paul Archer represented Gary McMahon. He presented plot plans and a letter stating nothing has changed from prior site plan application, which was approved (011221A from January 13, 2021). It is a subdivision instead of a plan revision. Paul Archer stated that he has been told that the lot they want to build on is not a buildable lot. He asked for clarification and the was told by Ms. Roberson that he needed to apply for a one lot subdivision. It is a subdivision instead of a simple site development plan.

Jason Burgess asked Paul Archer to confirm which lot on the plot he was referring to. Paul Archer pointed it out on the plot Lot 25-5 Parcel C. Demian Sorrentino stated the prior permit is still valid.

Demian Sorrentino made a motion to acknowledge this is a subdivision and to have staff issue the required reports to Planning and Zoning Commission. James Paquin seconded the motion. Approved 6-0.

**DR22-001 – Map 34 Lot 31 - Brown Road - Jared Chviek. Application for a Declaratory Ruling. Work includes removing dead oak trees killed by gypsy moths, creating pasture for cows, installing electric fence with solar powered generators, cutting and stockpiling firewood, and mitigation in the form of invasive species removal.**

Jared Chviek was present via Zoom. Richard Oliverson confirmed this is a use permitted as of right. James Paquin and Richard Oliverson stated they had walked the property previously and that this is not a Public Hearing.

Erin Berube of 203 Brown Road was present in the audience and had a few concerns:

- 1) She stated she was concerned that cattle on the property are too close to her well.
- 2) Pigs stated are listed as an alternate use on application and that according to NDDH the pigs should be 300 ft from any dwelling.

Demian Sorrentino and James Paquin referred Erin Berube to the Northeast District Department of Health for clarification.

Demian Sorrentino made a motion to approve and issue a Declaratory Ruling for an agricultural use as of right. James Paquin seconded the motion. Approved 6-0.

**DR22-003 – 0 Christian Hill Road – Matt and Heather Allen. Map 31 Lot 19. Application for a Declaratory Ruling. Excavation and construction of agricultural pond and dry hydrant.**

Heather Allen was present via Zoom. Heather read a letter from Joe Theroux (certified forester, soil scientist) stating that he felt the location of the pond would be an improvement. Joe recommended inspecting weekly or after substantial rainfall. Constructing the pond will have no effect on wetlands, and that open water habitats would be created.

Demian Sorrentino asked what the siltation barrier would be. Heather Allen replied hay bales were recommended by Margaret Washburn.

James Paquin made a motion to approve and issue a Declaratory Ruling for an agricultural use as of right, Jason Burgess seconded the motion. Approved 6-0.

**New Business: Opened 6:30pm**

041422A (\*note: should be 041222A) - 177 Windham Road – Matt & Ashley Kamfonik. Map 8 Lot 11-1. After-the-fact filing for clearing trees, pulling stumps, and stockpiling debris in the upland review area.

Jim Paquin for the record stated he used to own the property, and there was no conflict of interest.

Matt Kamfonik was present in the audience. He stated that he was clearing stumps to put in six raised garden beds and that there was only one more stump to remove. Then he plans to seed, put up a swing set and garden beds.

Demian Sorrentino asked Matt Kamfonik if there was any impact on wetlands.

Matt Kamfonik stated there was no impact because the wetland is on the property.

James Paquin made a motion to approve after the fact filing and to include optional removal of woody debris and to rescind the Cease and Desist Order. Adam Tucker seconded the motion. Approved 6-0.

**041222B – Paradise Drive; Map 14 Lot 6 – John E. Sweat, Jr. Improvements to an existing gravel driveway, construction of a bridge spanning Tatnic Brook, construction of a new single-family dwelling.**

Demian Sorrentino recused himself from this discussion and left the room.

John Faulise from Boundaries was present to represent John Sweat Sr. There is an old hunting cabin on the prop and Mr. Sweat would like to build a permanent house on the property. John mentioned that the design that is proposed used current FEMA flood maps and to cover future FEMA flood maps that have not yet been officially adopted. John mentioned that the rain garden in the design were per Margaret Washburn.

John mentioned that the design for the single-family house is 175 ft outside the with Tatnic Brook, 125 ft from wetlands and 1.39 acres would be disturbed and 70 cubic yard of fill. The design showed there would be 29 ft clear span of the bridge and erosion controls would be in place. John reviewed the dewatering details that were in the plans, and that utilities would be underground and suspended on bridge.

Adam Brindamour asked John to confirm the spans of the bridge.

John stated that it would be 12 feet, for fire truck requirement.

Adam Brindamour asked John to confirm the driveway material. John stated it would be top dressing driveway.

Richard Oliverson and Adam Brindamour stated they would like to walk the property.

James Paquin stated that there is no need for a public hearing, but he too would like to walk the property. Site walk was scheduled for Friday May 13, 2022, at 5:30pm.

Adam Brindamour made a motion to table to next regularly scheduled meeting, which should be June 14, 2022. James Paquin seconded the motion. Approved 6-0.

**DR22-002 – Map 41 Lot 129 Allen Hill Road – Pinedale Farms LLP. Silvicultural thinning.**

Don Dubois from Dubois Forestry was present via Zoom. Adam Brindamour asked Don Dubois if this is in the upland review area. Don Dubois stated that the property was walked by Margaret Washburn and that there were no wetland issues.

Demian Sorrentino made a motion for a Declaratory Ruling for a silvicultural thinning as an agricultural use as of right. Adam Brindamour seconded the motion. Approved 6-0. Motion carries.

**041222C – Map 40 Lot 88-36. 58 Juniper Way - Galliehue Blevins. Map 40 Lot 88-36. Construction of new inground pool and relocation of a curtain drain. Spreading of excavated material in upland review area.**

Galliehue Blevins was present via Zoom. He stated the pool is in the upland review area and that Margaret Washburn had walked the property. Mr. Blevins planned to spread excavated material on-site using sediment controls, so it won't enter the wetland.

James Paquin asked Mr. Blevins if he planned to plant grass when done. Mr. Blevins stated that he wasn't sure how much grass will grow in that wooded area.

James Paquin asked who would be doing the excavating? Mr. Blevins specified that the pool company would be doing the excavating and that they will not move forward until this application is approved.

James Paquin made a motion to approve the construction of the pool and relocate the curtain drain. Adam Tucker seconded the motion. Approved 6-0, motion passed.

**041222D - Map 36 Lot 37 - 96 Darby Road – Fred Ullrich. Repair septic system.**

Fred Ullrich was present in the audience. He explained that he is in the process of selling his house. Although the pool was installed in 1970, the current home inspector states that the septic is too close to the pool. That was unacceptable to the buyer.

Demian Sorrentino asked Mr. Ullrich if he was going to be doing the work himself. Mr. Ulrich stated that the septic guy would be doing the work. He stated that the septic system is working, but he has to move it due to the current home inspector.

Margaret Washburn had previously done an inspection and no issues were found.

Adam Brindamour made a motion to have the application approved as a duly authorized agent approval. James Paquin seconded the motion. Approve 6-0, motion carries.

**041222E – Map 36 Lot 31 - 14 Hugh Drive – Devon Gibson. Failed septic system, new system to be constructed.**

No one was present to speak on behalf of this application. Demian made a motion to table to next regularly scheduled meeting, Adam Brindamour seconded the motion. Motion Approved 6-0.

**051022A – Map 30 Lot 97 Brooklyn Sand and Gravel –Wayne Jolly. Continuation and expansion of gravel excavation and processing operations.**

No one was present to speak on behalf of this application. Demian made a motion to table to next regularly scheduled meeting, Adam Brindamour seconded the motion. Motion Approved 6-0.

**051022B – Map 8 Lot 11 and 11-8 Windham Road – Brian Meehan. Proposed subdivision of lots 11 and 11-8 with activity within the 125-foot upland review area.**

This project is a two-lot subdivision. The closest work in the upland review area is within 11 ft of wetlands. Norm Thibeault from Killingly Engineer Associates was present to speak on behalf of this application. Mr. Thibeault stated he has applied to NHDD but has not received a decision yet. Demian Sorrentino asked Mr. Thibeault if there are woods beyond the sediment barrier. Mr. Thibeault replied that yes, there are woods and a gradual slope.

Demian Sorrentino asked commission if they felt there was a need for a site walk. James Paquin stated that he did not see a need for a site walk. Demian Sorrentino made a motion to receive the application and table to the next regularly scheduled meeting. James Paquin seconded the motion. Approved 6-0. Motion carries.

**14 Darby Road - Map 36 Lot 15 – Jason Johnson. Approximately 160 cubic yards of fill had been deposited in the wetlands and upland review area. CEASE AND DESIST ORDER.**

Jason Johnson was present in person to speak on behalf of this application. Demian Sorrentino asked Mr. Johnson how much fill is in the pool. Mr. Johnson replied that there were 160 yards of fill in the pool. When he bought the house, the home inspector didn't check the pool. After the purchase, Mr. Johnson realized that the pool was 90% dilapidated. Mr. Johnson stated that about another 60 yards should be enough fill, and then the filling would be done.

Demian Sorrentino requested that Mr. Johnson submit current photos showing what he has done in response to what Margaret Washburn requested. Mr. Johnson presented current photos that he passed around.

Demian Sorrentino mentioned he would like a site walk to see if wetlands were affected. Richard Oliverson, James Paquin and Adam Brindamour agreed on doing a site walk.

James Paquin stated that Mr. Johnson would need a permit to fill the pool since it is near wetlands. Site walk was scheduled for Friday, May 13<sup>th</sup> at 6:30pm.

Demian Sorrentino made a motion to require an after-the-fact permit for work in and near wetlands. The Cease and Desist Order remains in effect. Adam Brindamour seconded the motion. Approved 6-0, motion carries.

**020921A - Shane Pollock Applicant, BLB, LLC Owner; Louise Berry Drive, Map 33, Lot 19, RA Zone; Construction of 51 Single Family Condominium Units with activity in the upland review area. Request from Killingly Engineering Associates to discuss revisions to plans.**

Norm Thibeault from Killingly Engineering Associates was present to speak on behalf of the applicant. The Planning and Zoning application was withdrawn.

The revised plan includes details to reestablish trees between wetland and the development. Demian Sorrentino suggested submitting a formal letter requesting approval of the revised plans.

Mr. Thibeault agreed.

Communication – no vote

**Communications:**

1. Budget Update.

**Public Commentary:** None.

No other public comments.

**Adjourn:** James Paquin made a motion to adjourn at 8:00 p.m. Adam Brindamour seconded the motion. No discussion. All in favor. The motion passed unanimously.

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Richard Oliverson, Chairman



INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONNECTICUT

Date 3/29/22

Application # 041222B

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT John E. Sweat, Jr. MAILING ADDRESS 57 Cemetery Road, Baltic, CT 06330  
APPLICANT'S INTEREST IN PROPERTY Owner PHONE 860-608-5585 EMAIL John88wc@gmail.com

PROPERTY OWNER IF DIFFERENT Same as applicant PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_ EMAIL \_\_\_\_\_

ENGINEER/SURVEYOR (IF ANY) Boundaries LLC, PO Box 184, Griswold, CT 06351 Phone: 860-376-2006  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS Paradise Drive  
MAP # 14 LOT # 6 ZONE R-A TOTAL ACRES 26 ACRES OF WETLANDS ON PROPERTY 18 +/-

PURPOSE AND DESCRIPTION OF THE ACTIVITY Improvements to an existing gravel driveway to support a single family residence, construction of a bridge spanning Tatnic Brook, and construction of a 4-bedroom house, subsurface sewage disposal system, and well.

WETLANDS EXCAVATION AND FILL:  
FILL PROPOSED For Bridge CUBIC Yds 70 SQ FT <2,770  
EXCAVATION PROPOSED Footings CUBIC Yds 30 SQ FT 150  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE To south OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT 40,100 ACRES 0.92

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): Use of a culvert to cross Tatnic Brook - Not selected as it requires an encroachment in the flood plain. Construction of the house north of Tatnic Brook - Not selected, there is no buildable area outside of the upland review area north of Tatnic Brook. In the selected location the septic system and the building footprint are located outside of the upland review area.

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY N/A SQFT \_\_\_\_\_ ACRES \_\_\_\_\_

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? No. IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? No.

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: [Signature] DATE 3-17-22

OWNER: Same as Applicant DATE \_\_\_\_\_

**REQUIREMENTS**

Single lot, residential

X  APPLICATION FEE \$ 150.00 STATE FEE (\$60.00) \$210.00 Total

X  COMPLETION OF CT DEEP REPORTING FORM

X  ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

X  SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

X  COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

**ADDITIONAL INFORMATION/ACTION NEEDED:**

Hydraulic Analysis Report for the proposed bridge is attached. Wetlands delineation report and NRCS Soils Map are attached.

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP  
 INLAND WATER RESOURCES DIVISION  
 79 ELM ST.  
 HARTFORD, CT. 06106  
 1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
 596 VIRGINIA ROAD  
 CONCORD, MA. 01742  
 1-860-343-4789

**STAFF USE ONLY:**

DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

PERMIT REQUIRED:

AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

CHAIR, BROOKLYN IWWC

WETLANDS OFFICER

AUTHORIZED BY JWWC

SIGNIFICANT ACTIVITY/PUBLIC HEARING

NO PERMIT REQUIRED

OUTSIDE OF UPLAND REVIEW AREA

NO IMPACT

CHAIR, BROOKLYN IWWC

WETLANDS OFFICER

TIMBER HARVEST



## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:  
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3<sup>rd</sup> Floor, Hartford, CT 06106

### PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN (enter one year and month): Year \_\_\_\_\_ Month \_\_\_\_\_
2. ACTION TAKEN (enter one code letter): \_\_\_\_\_
3. WAS A PUBLIC HEARING HELD (check one)? Yes \_\_\_\_\_ No \_\_\_\_\_
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): Brooklyn  
Does this project cross municipal boundaries (check one)? Yes \_\_\_\_\_ No X  
If Yes, list the other town(s) in which the action is occurring (type name(s)): \_\_\_\_\_
6. LOCATION (see directions for website information): USGS Quad Map Name: Danielson or Quad Number: 43  
Subregional Drainage Basin Number: 3711
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): John E. Sweat, Jr.
8. NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): Map 14 Lot 6, Paradise Drive, Brooklyn, CT 06234  
Briefly describe the action/project/activity (check and type information): Temporary \_\_\_\_\_ Permanent X  
Description: Construction of a residential driveway and bridge
9. ACTIVITY PURPOSE CODE (enter one code letter): B
10. ACTIVITY TYPE CODE(S) (enter up to four code numbers): 1 9 12 14
11. WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):  
Wetlands: 0.06 acres      Open Water Body: 0 acres      Stream: 0 linear feet
12. UPLAND AREA ALTERED (type in acres as indicated): 1.39 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

### PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED/COMPLETED: YES NO

**Abutters List for Inland Wetlands Application**  
**Assessor's I.D. Map 14 Lot 6**  
**John E. Sweat, Jr.**  
**Paradise Drive**  
**Brooklyn, CT 06324**

**Abutters:**

14/7  
Johathan St. Jean  
25 Paradise Drive  
Brooklyn, CT 06234

14/3.7  
Ronald R. Milhoan  
30 Paradise Drive  
Brooklyn, CT 06234

14/3.8  
Edward L. Branciforte  
36 Paradise Drive  
Brooklyn, CT 06234

14/5A  
Christan M. Thoren  
53 Paradise Drive  
Brooklyn, CT 06234

14/5  
Lisa Bessette Grover  
100 Putnam Road  
Dayville, CT 06241

49/5B  
Nancy E. Neeld  
117 Paradise Drive  
Brooklyn, CT 06234

49/67  
Joseph & Sarah Trickett  
PO Box 127  
Willimantic, CT 06226

13/1  
Edward & Beverly Laframboise, Trustees  
PO Box 467  
Brooklyn, CT 06234

7/25A  
Frederick & Debra Lefevre  
350 Tripp Hollow Road  
Brooklyn, CT 06234

7/25  
Jeffrey S. & Elizabeth A. Sauvageau  
154 Geer Road  
Griswold, CT 06351

Program, at (800) 638-6620.



APPROXIMATE

400



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**

FLOOD INSURANCE RATE MAP

TOWN OF  
BROOKLYN,  
CONNECTICUT  
WINDHAM COUNTY

PANEL 7 OF 19

SEE MAP INDEX FOR PANELS NOT PRINTED

COMMUNITY-PANEL NUMBER

090164 0007 A

EFFECTIVE DATE:

JANUARY 3, 1985



Federal Emergency Management Agency

This is an official FEMA letter showing a portion of the above-referenced flood map created from the NCE computer file tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <http://msc.fema.gov>.

APPROX.  
BRIDGE  
CROSSING

700' ±  
PARADISE DRIVE

150' ±

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NORTHERN MOST  
SPAN OF  
GARAGE

TRIP HOLLOW ROAD

SWEAT IWWC APPLICATION

CORPORATE LIMITS

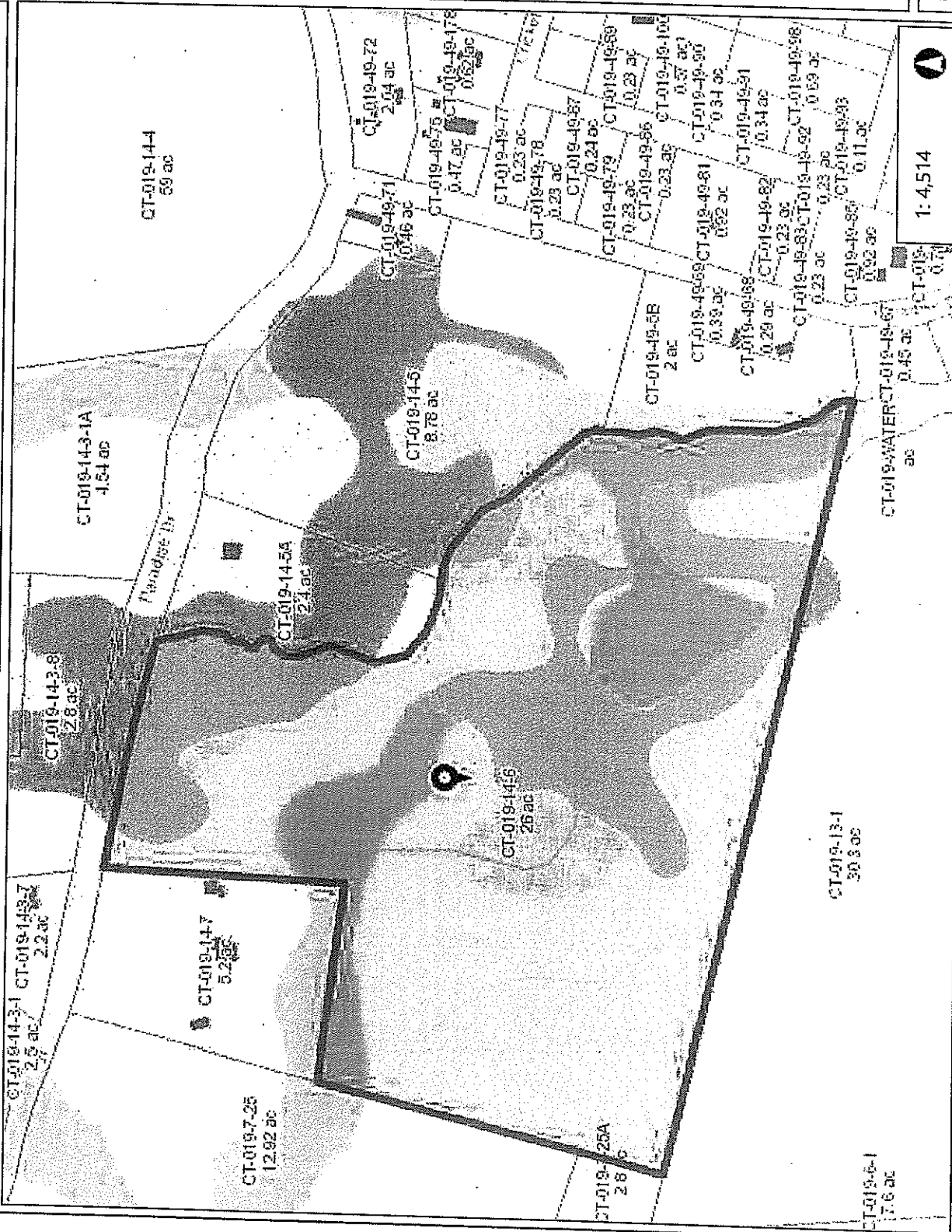
ZONE A

ZONE B

ZONE C



# Necog GIS Site



- Legend**
- Town
  - Buildings 2012
  - Parcels
  - Wetlands
  - Alluvial and Floodplain Soils
  - Poorly Drained and Very Poorly Drained

### Notes

John Sweat  
Map 14 Lot 6 Paradise Drive

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.1 Miles

0.07

0

0.1

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.



1: 4,514

# NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

## ENGINEERING PLAN AND DOCUMENTS REVIEW PERTAINING TO A RESIDENTIAL SITE DEVELOPMENT PLAN PARADISE DRIVE BROOKLYN, CT (May 2, 2022)

The comments contained herein pertain to my review of plans (3 sheets) entitled "Improvement Location & Topographic Survey, Residential Site Development Plan, Prepared for John E. Sweat, Jr., Paradise Drive, Brooklyn, Connecticut" prepared by Boundaries, LLC, dated March 2022 with Revision Date of April 25, 2022, and other supporting documents.

1. The revised plan now includes the current (in force) FEMA FIRM 100-year flood zone (FIRM Map Panel No. 090164 0007 A dated January 3, 1985). However, the 100-year floodplain shown on the plan was, and remains, designated as that of FEMA FIRM Map Panel No. 09015C0238F, which was not in effect at the time the wetland application was submitted, nor is it in effect at the time of this review. This needs to be addressed by Boundaries in that it should be removed from the plan to avoid confusion because it does not exist for the purposes of the wetlands application under review. Incidentally, when the online FEMA Flood Map Service Center is queried, only the 1985 map is displayed.
2. The existing 1985 Flood Insurance Rate Map (FIRM) floodplain limits depicted on the plan clearly demonstrate that the proposed house, drinking water well, septic system and practically the entire driveway are within the 100-year flood zone (floodplain) and, therefore, located wholly within the regulated wetland.
3. *Reference the Northeast District Department of Health (NDDH) letter of April 4, 2022 addressed to Virginia, John & Carol Sweat.* This April 4th letter should not be considered valid considering that the NDDH review was not made using the revised plan, dated April 25, 2022, showing the entire septic system being within the 100-year floodplain. Accordingly, the revised plan should be resubmitted to NDDH with a new application (to avoid confusion) to determine if a septic system can be approved with all of its components constructed within the flood plain shown on the revised plan. A copy of the NDDH letter stating whether or not and approved system can be constructed needs to be submitted to Ms. Washburn upon receipt of the same. This needs to be addressed by Boundaries.
4. *Reference Boundaries LLC letter of April 25, 2022 addressed to Margaret Washburn, ZEO/WEO/Blight Enforcement Officer.* In Boundaries engineer's response to Wetlands Agent's Comment No. 2, he states that a Letter of Map Amendment will be sent to FEMA for adjustment of the 100-year flood zone on this property before a building permit is issued. I don't agree with that and believe the amendment should be secured from FEMA before any further action is taken on this application because it is pure conjecture at the moment the amendment will be approved.

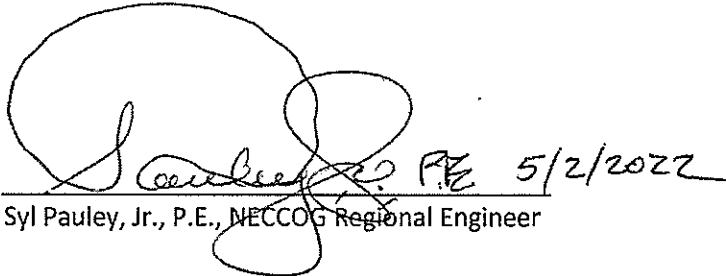
5. *Reference Boundaries LLC letter of April 25, 2022 addressed to Margaret Washburn, ZEO/WEO/Blight Enforcement Officer.* Boundaries engineer's response to the Regional Engineer's Comment No. 1 is an acceptable best management practice (BMP).
6. *Reference Boundaries LLC letter of April 25, 2022 addressed to Margaret Washburn, ZEO/WEO/Blight Enforcement Officer.* In Boundaries engineer's response to the Regional Engineer's Comment No. 2 it is stated that the low chord of the proposed bridge will be at elevation 293.0. However, Boundaries' engineer stated in his response to Wetlands Agent's Comment No. 2 that the elevation of the floodplain is above the low chord elevation, which means the low chord would be submerged in the flood water during the 100-year event. This needs to be addressed by Boundaries.

Additionally, the Boundaries engineer stated that the Applicant will accept as a condition of approval that the bridge design will be submitted to the Regional Engineer for review and approval prior to the issuance of Building Permits. This is acceptable to the undersigned.

7. The location of the "drainage easement" in favor of the Town of Brooklyn could be located on the plan. This needs to be addressed by Boundaries.

By: \_\_\_\_\_

Syl Pauley, Jr., P.E., NECCOG Regional Engineer



The image shows a handwritten signature in black ink, which appears to be 'Syl Pauley, Jr., P.E.', followed by the date '5/2/2022'. The signature is written over a horizontal line that serves as a separator between the signature and the typed name below it.



John U. Faulise, Jr., L.S.  
Gerald J. Stefon, L.S. (1952-2021)

Demian A. Sorrentino, AICP, C.S.S.

David C. McKay, P.E.  
Jacob S. Faulise, E.I.T.



Boundaries LLC  
179 Pachaug River Drive  
P.O. Box 184  
Griswold, CT 06351  
T 860.376.2006 | F 860.376.5899

[www.boundariesllc.net](http://www.boundariesllc.net)

April 26, 2022

Margaret Washburn  
ZEO/WEO/Blight Enforcement Officer  
69 South Main Street, Suite 23  
Brooklyn, CT 06234

**Re: Property of John E. Sweat Jr, Carol A. Sweat, and Virginia M. Sweat,  
Paradise Drive, Brooklyn Connecticut  
Assessor's Map 14 Lot 6**

Dear Margaret:

This correspondence is intended to provide historical chain of title for the above referenced parcel.

The subject parcel was acquired in its current configuration by John E. Sweat Sr, Virginia M. Sweat, John E. Sweat Jr, and Carol A. Sweat by warranty deed of survivorship from Marianne E. Campbell dated August 27, 2003, and recorded August 29, 2003, in Volume 304, Page 178 of the Town of Brooklyn Land Records.

John E. Sweat Sr passed away on March 25, 2019, leaving vested interest in the remaining three owners as evidenced by Certificates Lien Release of Estate Tax and Probate Fees recorded in Volume 654, Page 83 and Volume 304, Page 178.

Marianne E. Campbell acquired her interest in the subject parcel in substantially the same configuration by warranty deed from Frank John Kaziliunas and Irene W. Kaziliunas dated December 12, 1973, and recorded December 18, 1973, in Volume 56, Page 586 of the Town of Brooklyn Land Records. During her possession of the premises, Marianne E. Campbell provided a Grant of Drainage Easement to the Town of Brooklyn dated October 2, 1992, which was recorded on November 2, 1992, in Volume 130, Page 288 of the Town of Brooklyn Land Records.



Additionally, Marianne E. Campbell signed a Quit Claim Deed and Boundary Line Agreement with the Town of Brooklyn relative to establishing the southerly street line of Paradise Drive dated October 2, 1992, which was recorded on November 2, 1992, in Volume 130, Page 289 of the Town of Brooklyn Land Records.

Frank John Kaziliunas and Irene W. Kaziliunas acquired their interest in the subject parcel, being a portion of a larger tract of land by warranty deed from Frank John Kaziliunas dated April 10, 1964, and recorded on April 10, 1964, in Volume 38, Page 218 of the Town of Brooklyn Land Records.

No change in configuration of the subject parcel were found of record beyond the aforementioned drainage easement and boundary line agreement with and to the Town of Brooklyn.

If you have any questions, or if I can be of any further assistance, please do not hesitate to contact me at this office.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Faulise Jr.', with a stylized flourish at the end.

John U. Faulise Jr., L.S.  
Principal, Boundaries L.L.C.



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April 25, 2022

Margaret Washburn  
ZEO/WEO/Blight Enforcement Officer  
Town of Brooklyn  
69 South Main Street, Suite 23  
Brooklyn, CT 06234

*Via email only to M.Washburn@Brooklynct.org*

**RE: Town Staff Comments**  
**#041222B: Paradise Drive; Map 14, Lot 5**  
**Proposed Driveway and Bridge Over Tatnic Brook**

Dear Ms. Washburn,

Based on our discussion of the project at our April 4, 2022 site walk please see below for our responses to the initial review comments regarding the application for the proposed bridge over Tatnic Brook for a new single-family residence:

**Wetland Agent Comments**

**Comment 1.** In the interest of the zoning permit application that will be required for this lot, this lot will need a property history.

**Response 1.** A property history will be compiled for submission with the future zoning permit application.

**Comment 2.** You have depicted the as-yet-unadopted Flood Zone, not the one that is in effect right now. We are required to use the one that is in effect. Our zoning map will be changed after the FEMA map has officially been changed. If you have an approved letter of map amendment, would you please share that with me?

**Response 2.** The site plan has been revised to incorporate the flood plain as depicted on the effective Flood Insurance Rate Map from 1985. The flood plain per the effective map encompasses the majority of the property. Based on the location of the 1985 flood plain and the proposed house site, a Letter of Map Amendment will be required prior to applying for zoning or building permits. Please note that the Letter of Map Amendment for 25 Paradise Drive, upstream of the proposed project, sets the elevation of the Flood Plain at 294.5 (NGVD29)/293.7 (NAVD88). The proposed basement elevation is elevation 298.0,



well above the flood plain elevation upstream of the proposed house site. Additional information regarding compensatory storage within the flood plain has also been added to the revised site plans.

**Consulting Engineer Comments (paraphrased)**

**Comment 1.** Provide a best management practice to collect runoff from the driveway before it drains to the stream.

**Response 1.** Four “rain gardens” have been added to the site plans adjacent to the bridge abutments to collect runoff from the proposed driveway surface before it can enter the wetlands and water course. The “rain gardens” are 20 feet long by 15 feet wide by 1-foot deep and will be seeded with a conservation/wildlife seed mix and stabilized with a straw blanket. The rain gardens are sized with storage capacity for greater than 1-inch of runoff from the contributing driveway surface areas to provide treatment of runoff before it enters the wetlands and watercourse.

**Comment 2.** Provide structural design plans for the bridge for review.

**Response 2.** The Owner/Applicant has not engaged a structural engineer to design the bridge at this time. The intent is to have the structural design drawings prepared following approval of the concept of a bridge to cross Tatnic Brook and the proposed location in order to avoid taking on the expense of the structural design when approval is not guaranteed.

The site plans include elements that the bridge will be required to meet that provide the basis for the structural design. These are called out on the profile on Sheet 2 and are as follows:

- Clear span of 29 feet between the abutments to allow the bridge to span the forthcoming FEMA flood hazard area.
- A low chord elevation of 293.00 which provides greater than 1 foot of clearance to the 100-year water surface elevation and also freely passes the 500-year water surface elevation.
- Bottom of footings set at elevation 286.60 to protect the bridge from scour by setting the footings below the calculated abutment scour for the 500-year flow.

The 100-year and 500-year flows used in the analysis are as reported by StreamStats because the FEMA report does not include the flood flows used to prepare the flood mapping for Tatnic Brook. The StreamStats flows do not account for the spillway or 5-foot diameter culvert that carries Tatnic Brook under Tripp Hollow Road, approximately 1,200 feet upstream of the proposed crossing location, so the flows are conservative.

The Owner/Applicant is open to a condition of approval of the wetlands application requiring review and approval of the bridge design by the Town’s consulting engineer prior to the issuance of building permits in order to address concerns regarding the design of the bridge.

Please find enclosed with this response letter revised site plans, hydraulic analysis, and wetlands report in accordance with the above responses. We trust that the responses provided above along with the enclosed supporting documents adequately address the comments. Please do not hesitate to contact us if you would like to discuss these items further.

Sincerely,

A handwritten signature in blue ink, appearing to read "David C. McKay".

David C. McKay, P.E.  
Boundaries LLC





179 Pachaug River Drive  
P.O. Box 184  
Griswold, CT 06351  
T 860.376.2006 | F 860.376.5899

[www.boundariesllc.net](http://www.boundariesllc.net)

March 28, 2022  
Revised April 25, 2022

RE: **Hydraulic Analysis for Proposed Bridge Over Tatnic Brook**  
**Map 14 Lot 6, Paradise Drive, Brooklyn, CT**  
Applicant: John E. Sweat, Jr.  
Boundaries Job I.D. No. 21-3100

This proposal involves the construction of a new bridge to access a developable area of an existing 26-acre parcel located southerly of Paradise Drive (Assessor's Map 14, Lot 6). The proposed bridge will cross over Tatnic Brook to allow driveway access to the proposed building site for a new single-family home. The majority of the property to the north of Tatnic Brook is delineated inland wetland, FEMA designated Zone A flood zone, or a combination of both, therefore the upland area on the southerly side of Tatnic Brook is the more suitable location for a single-family residence.

The drainage area, surface conditions, and peak flow rates at the location of the proposed crossing were determined using the web based United States Geological Survey (USGS) StreamStats program for Connecticut accessed on February 15, 2022. All associated charts and watershed map indicating the associated drainage area limits are included in the Appendix of this report.

The proposed driveway crosses a regulated inland wetland that borders on both sides of Tatnic Brook. This portion of Tatnic Brook is also designated as a Zone A Flood Hazard Area per the current FEMA flood insurance rate map. The width of Tatnic Brook under normal flow conditions in the area of the proposed bridge is between 8-feet and 21-feet. The bridge has been located at the narrowest portion of the regulatory flood plain and the bridge's proposed clear span of 29 feet will allow for the proposed abutments to be located outside the limits of the flood plain (per the pending FIRM 09015C0238F – Preliminary 7/17/2020) and the limits of brook.

Based on the current FIRM (0901640007A – Effective 1/3/1985) the majority of the property is located in the Zone A flood plain. Compensatory storage for all fill placed for the proposed driveway and bridge is provided on the property as presented on the Flood Damage Prevention and Control Information Table on Sheet 1 of the site plans. A letter of map amendment for the proposed building site will be required before applying for Zoning Permits or Building Permits.

There will be no alteration of the watercourse required to construct the bridge. The proposed wetland disturbance required to construct the proposed bridge and abutments is 2,770 square feet with 40 cubic





Figure 2 – Looking Upstream From Crossing



Figure 3 – View of Crossing Facing North

The proposed improvements are shown on plans entitled "Residential Site Development Plan, Prepared for John E. Sweat, Jr., Paradise Drive – Brooklyn, Connecticut, last revised April 25, 2022," prepared by Boundaries LLC.

Enclosures:

Appendix A – StreamStats Report

Appendix B – HEC-RAS Modeling Results

Appendix C – HydroCAD Modeling Results





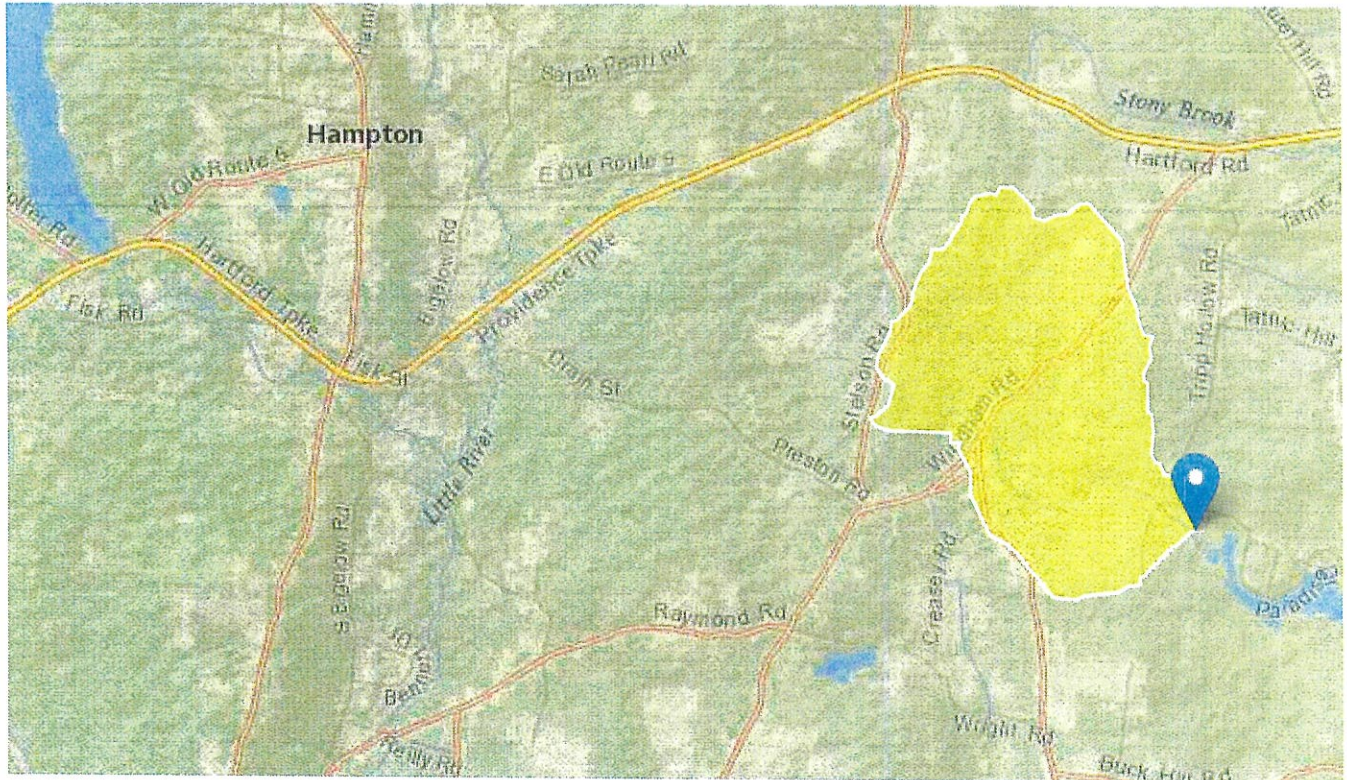
# StreamStats Report

Region ID: CT

Workspace ID: CT20220215164505656000

Clicked Point (Latitude, Longitude): 41.75710, -71.98153

Time: 2022-02-15 11:45:06 -0500



Tatnic Brook Bridge

Basin Characteristics			
Parameter Code	Parameter Description	Value	Unit
DRNAREA	Area that drains to a point on a stream	1.68	square miles
I24H2Y	Maximum 24-hour precipitation that occurs on average once in 2 years - Equivalent to precipitation intensity index	3.09	inches
SSURGOCCDD	Percentage of area with hydrologic soil types C, D, or C/D from SSURGO	0.3855	percent

Parameter Code	Parameter Name	Value	Units	Min Limit	Max Limit
I24H200Y	24 Hour 200 Year Precipitation	8.7	inches	8.7	11.22
I24H500Y	24 Hour 500 Year Precipitation	10.12	inches	10.1	13.64

Peak-Flow Statistics Flow Report [Statewide DA only SIR 2020 5054]

PII: Prediction Interval-Lower, Plu: Prediction Interval-Upper, ASEp: Average Standard Error of Prediction, SE: Standard Error (other -- see report)

Statistic	Value	Unit	ASEp
Drainage Area Only 50-percent AEP flood	96	ft <sup>3</sup> /s	35
Drainage Area Only 20-percent AEP flood	168	ft <sup>3</sup> /s	35
Drainage Area Only 10-percent AEP flood	229	ft <sup>3</sup> /s	36.3
Drainage Area Only 4-percent AEP flood	318	ft <sup>3</sup> /s	37.8
Drainage Area Only 2-percent AEP flood	394	ft <sup>3</sup> /s	39.8
Drainage Area Only 1-percent AEP flood	478	ft <sup>3</sup> /s	42.4
Drainage Area Only 0.5-percent AEP flood	573	ft <sup>3</sup> /s	44.4
Drainage Area Only 0.2-percent AEP flood	713	ft <sup>3</sup> /s	48

Peak-Flow Statistics Flow Report [Statewide Multiparameter SIR 2020 5054]

PII: Prediction Interval-Lower, Plu: Prediction Interval-Upper, ASEp: Average Standard Error of Prediction, SE: Standard Error (other -- see report)

Statistic	Value	Unit	PII	Plu	ASEp
50-percent AEP flood	77.8	ft <sup>3</sup> /s	18.8	322	26.5
20-percent AEP flood	115	ft <sup>3</sup> /s	25.3	523	26.3
10-percent AEP flood	146	ft <sup>3</sup> /s	29.6	719	28.4
4-percent AEP flood	198	ft <sup>3</sup> /s	36.2	1080	31.5
2-percent AEP flood	241	ft <sup>3</sup> /s	40.1	1450	34.3
1-percent AEP flood	288	ft <sup>3</sup> /s	43.6	1900	37.1
0.5-percent AEP flood	348	ft <sup>3</sup> /s	59.2	2050	40.6
0.2-percent AEP flood	440	ft <sup>3</sup> /s	79.7	2430	45

Peak-Flow Statistics Flow Report [Area-Averaged]

PII: Prediction Interval-Lower, Plu: Prediction Interval-Upper, ASEp: Average Standard Error of Prediction, SE: Standard Error (other -- see report)

USGS Product Names Disclaimer: Any use of trade, firm, or product names is for descriptive purposes only and does not imply endorsement by the U.S. Government.

Application Version: 4.6.2

StreamStats Services Version: 1.2.22

NSS Services Version: 2.1.2

HEC-RAS Plan: StreamStats River: Tatic Brook Reach: Reach 1 Profile: 100-Year

Reach	River Sta	Profile	E.G. Elev (ft)	W.S. Elev (ft)	Crit W.S. (ft)	Frc'n Loss (ft)	C & E Loss (ft)	Top Width (ft)	Q Left (cfs)	Q Channel (cfs)	Q Right (cfs)	Vel Chnl (ft/s)
Reach 1	342.40*	PF 1	292.94	292.52	292.03	0.14	0.09	71.40	8.75	224.73	54.52	5.79
Reach 1	329.80*	PF 1	292.71	292.01	291.87			67.62	4.59	249.64	33.76	7.16
Reach 1	323 BR U	PF 1	292.72	291.88	291.88			29.06	1.29	253.72	32.98	7.78
Reach 1	323 BR D	PF 1	292.49	291.65	291.65			29.07	4.51	259.31	24.17	7.74
Reach 1	317.20*	PF 1	292.48	291.62	291.64	0.26	0.01	67.64	6.29	257.94	23.77	7.80
Reach 1	304.60*	PF 1	292.22	291.32	291.43	0.22	0.03	72.00	5.64	261.12	21.24	7.97

# **Appendix C**

## **HydroCAD Modeling Results**

---

# Tatnic Brook Bridge

Prepared by {enter your company name here}

Printed 2/15/2022

HydroCAD® 10.10-4b s/n 04031 © 2020 HydroCAD Software Solutions LLC

Page 2

## Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
<b>0.000</b>	<b>0</b>	<b>TOTAL AREA</b>

# Tatnic Brook Bridge

Prepared by {enter your company name here}

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Page 4

## Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.000	0.000	<b>TOTAL AREA</b>	

**Tatnic Brook Bridge**

Type III 24-hr Rainfall=3.41"

Prepared by {enter your company name here}

Printed 2/15/2022

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Page 6

**Summary for Reach 2R: Tatnic Brook**

[90] Warning: Qout>Qin may require smaller dt or Finer Routing

Inflow = 288.0 cfs @ 1.00 hrs, Volume= 559.934 af  
 Outflow = 288.0 cfs @ 1.00 hrs, Volume= 559.916 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 3  
 Max. Velocity= 7.51 fps, Min. Travel Time= 0.0 min  
 Avg. Velocity = 7.44 fps, Avg. Travel Time= 0.0 min

Peak Storage= 767 cf @ 1.00 hrs  
 Average Depth at Peak Storage= 2.23', Surface Width= 28.81'  
 Bank-Full Depth= 3.39' Flow Area= 71.6 sf, Capacity= 777.4 cfs

Custom cross-section, Length= 20.0' Slope= 0.0295 '/' (106 Elevation Intervals)  
 Constant n= 0.040 Earth, cobble bottom, clean sides  
 Inlet Invert= 289.61', Outlet Invert= 289.02'



±

Offset (feet)	Elevation (feet)	Chan.Depth (feet)
0.00	293.00	0.00
0.01	291.70	1.30
9.56	289.91	3.09
13.27	289.71	3.29
14.38	289.61	3.39
18.00	290.37	2.63
18.79	290.40	2.60
20.31	290.60	2.40
28.81	291.08	1.92
28.82	293.00	0.00

Depth (feet)	End Area (sq-ft)	Perim. (feet)	Width (feet)	Storage (cubic-feet)	Discharge (cfs)
0.00	0.0	0.0	0.0	0	0.0
0.10	0.1	1.6	1.6	2	0.1
0.30	0.9	6.3	6.2	17	1.5
0.76	4.8	11.0	10.9	96	17.6
0.79	5.1	12.0	11.8	103	18.7
0.99	7.8	14.6	14.4	155	32.6
1.47	17.4	25.7	25.5	347	85.2
2.09	34.2	29.7	28.8	684	239.6
3.39	71.6	32.3	28.8	1,433	777.4



# Tatnic Brook Bridge

Type III 24-hr Rainfall=3.41"

Prepared by {enter your company name here}

Printed 2/15/2022

HydroCAD® 10.10-4b s/n 04031 © 2020 HydroCAD Software Solutions LLC

Page 8

## Summary for Reach 5R: Tatnic Brook

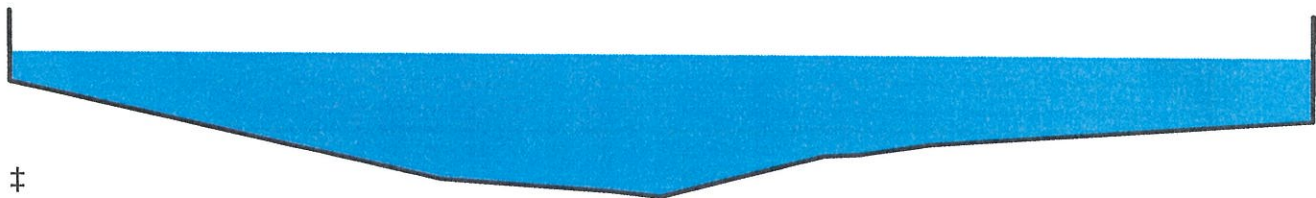
[90] Warning: Qout>Qin may require smaller dt or Finer Routing

Inflow = 440.0 cfs @ 2.00 hrs, Volume= 837.273 af  
 Outflow = 440.0 cfs @ 2.05 hrs, Volume= 837.250 af, Atten= 0%, Lag= 3.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 3  
 Max. Velocity= 8.81 fps, Min. Travel Time= 0.0 min  
 Avg. Velocity = 8.63 fps, Avg. Travel Time= 0.0 min

Peak Storage= 999 cf @ 2.05 hrs  
 Average Depth at Peak Storage= 2.64' , Surface Width= 28.81'  
 Bank-Full Depth= 3.39' Flow Area= 71.6 sf, Capacity= 777.4 cfs

Custom cross-section, Length= 20.0' Slope= 0.0295 '/' (106 Elevation Intervals)  
 Constant n= 0.040 Earth, cobble bottom, clean sides  
 Inlet Invert= 289.61', Outlet Invert= 289.02'



±

Offset (feet)	Elevation (feet)	Chan.Depth (feet)
0.00	293.00	0.00
0.01	291.70	1.30
9.56	289.91	3.09
13.27	289.71	3.29
14.38	289.61	3.39
18.00	290.37	2.63
18.79	290.40	2.60
20.31	290.60	2.40
28.81	291.08	1.92
28.82	293.00	0.00

Depth (feet)	End Area (sq-ft)	Perim. (feet)	Width (feet)	Storage (cubic-feet)	Discharge (cfs)
0.00	0.0	0.0	0.0	0	0.0
0.10	0.1	1.6	1.6	2	0.1
0.30	0.9	6.3	6.2	17	1.5
0.76	4.8	11.0	10.9	96	17.6
0.79	5.1	12.0	11.8	103	18.7
0.99	7.8	14.6	14.4	155	32.6
1.47	17.4	25.7	25.5	347	85.2
2.09	34.2	29.7	28.8	684	239.6
3.39	71.6	32.3	28.8	1,433	777.4

# Tatnic Brook Bridge

Prepared by {enter your company name here}

HydroCAD® 10.10-4b s/n 04031 © 2020 HydroCAD Software Solutions LLC

Type III 24-hr Rainfall=3.41"

Printed 2/15/2022

Page 10

## Summary for Link 1L: Tatnic Brook 100-Year Storm StreamStats

Inflow = 288.0 cfs @ 1.00 hrs, Volume= 559.934 af  
Primary = 288.0 cfs @ 1.00 hrs, Volume= 559.934 af, Atten= 0%, Lag= 0.0 min

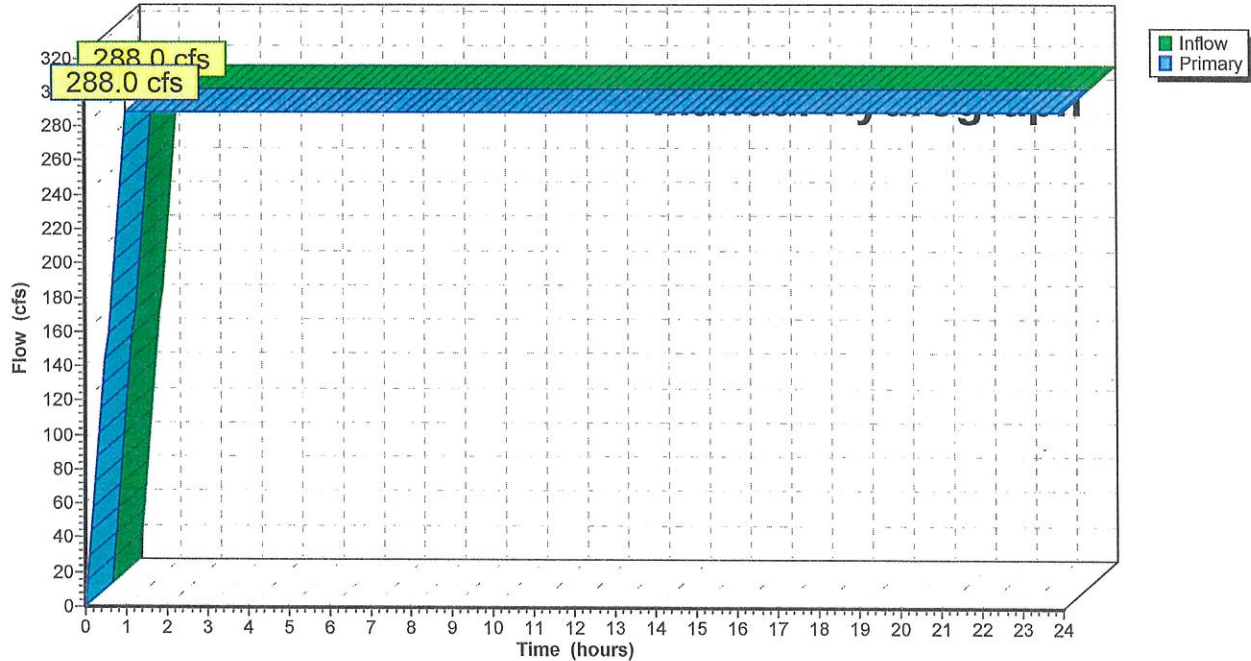
Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

25 Point manual hydrograph, To= 0.00 hrs, dt= 1.00 hrs, cfs =

0.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00
288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00
288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00	288.00

## Link 1L: Tatnic Brook 100-Year Storm StreamStats

Hydrograph



John U. Faulise, Jr., L.S.  
Gerald J. Stefon, L.S. (1952-2021)

Demian A. Sorrentino, AICP, C.S.S.

David C. McKay, P.E.  
Jacob S. Faulise, E.I.T.



Boundaries LLC  
179 Pachaug River Drive  
P.O. Box 184  
Griswold, CT 06351  
T 860.376.2006 | F 860.376.5899

[www.boundariesllc.net](http://www.boundariesllc.net)

March 28, 2022  
**REVISED April 25, 2022**

Town of Brooklyn  
Inland Wetlands & Watercourses Commission  
Attn: Margaret Washburn, Wetlands Enforcement Agent  
Clifford B. Green Memorial Center  
69 South Main Street, Suite 22  
Brooklyn, CT 06234

**RE: Wetland Delineation Report**

**Location: Paradise Drive – Assessor's Map 14, Lot 6  
Residential Site Development Plan**

Dear Commissioners,

On December 14 & 15, 2021 the undersigned performed a field investigation upon a portion of a 26± acre property located on the southerly side of Paradise Drive in the Town of Brooklyn, Connecticut, in order to identify and delineate regulated inland wetland and/or watercourse resources located thereon. The resultant delineation is depicted upon a Residential Site Development Plan entitled "Improvement Location & Topographic Survey, "Residential Site Development Plan" Prepared for John E. Sweat, Jr., Paradise Drive – Brooklyn, Connecticut, Scale: 1"=30', Date: March 2022, Job I.D. No. 21-3100, **Rev. A – Per 1985 FEMA Map 4/25/22**, Sheets 1/3 through 3/3" as prepared by this firm.

Inland wetlands and/or watercourses within the project area were delineated in accordance with the State of Connecticut statutory definitions as described in Section 22a-38(15-16) of the Connecticut General Statutes, a/k/a the Inland Wetlands & Watercourses Act, which are as follows:

(15) "Wetlands" means land, including submerged land, not regulated pursuant to sections 22a-28 to 22a-35, inclusive, which consists of any of the soil types designated as poorly drained, very poorly drained, alluvial, and floodplain by the National Cooperative Soils Survey, as may be amended from time to time, of the Natural Resources Conservation Service of the United States Department of Agriculture.

(16) "Watercourses" means rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent, public or private, which are contained within, flow through or border upon this state or any portion thereof, not regulated pursuant to sections



22a-28 to 22a-35, inclusive. Intermittent watercourses shall be delineated by a defined permanent channel and bank and the occurrence of two or more of the following characteristics: (A) Evidence of scour or deposits of recent alluvium or detritus, (B) the presence of standing or flowing water for a duration longer than a particular storm incident, and (C) the presence of hydrophytic vegetation.

### **Soil Types Present**

According to the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey for the State of Connecticut, the soils located within the project area are as follows:

- 3\* Ridgebury, Leicester & Whitman Soils, 0-8% slopes, extremely stony
- 47C Woodbridge fine sandy loam, 0-8% slopes, very stony
- 61B Canton & Charlton fine sandy loams, 0-8% slopes, very stony
- 103\* Rippowam fine sandy loam
- 108\* Saco silt loam

\* Denotes Connecticut Inland Wetland Soil Map Unit

### **Delineation Methodology and Delineated Inland Wetlands & Watercourses**

Guided by site topography, evidence of surficial hydrology and observation of hydrophytic vegetation, subsurface soil sampling was conducted utilizing a Dutch auger. Regulated resources meeting statutorily defined criteria as inland wetlands and/or watercourses were delineated with sequentially numbered pink flagging tape with the words "WETLAND DELINEATION" printed thereon. Descriptions of delineated resources are provided here:

#### **WF#1 – WF#49**

This flag series is a closed loop of delineation flags representing three (3) interconnected inland wetland resources. Wetland flags WF#48 – WF#1 and WF#1 through WF#17 represent the southerly limits of the band of riparian wetlands associated with a perennial watercourse identified as Tatnic Brook that flows in an easterly/southeasterly direction. WF#18 through WF#36 represent the easterly and northerly lines of a palustrine forested wetland that contains a topographic break in the vicinity of WF#23, causing the hydrology to be split between flowing northerly to Tatnic Brook (WF#17 – WF#23) and southeasterly towards Paradise Lake (WF#23 – WF#36). Wetland flags WF#36 through WF#47 represent the westerly line of a marsh where Tatnic Brook flows into Paradise Lake. (Note: WF#11 – WF#17 ended up being located on property of St. Jean due to a discrepancy in the NECCOG GIS mapping data)

#### **WF#1A – WF#37A**

This flag series represents the northerly and westerly lines of a palustrine forested wetland located southerly of Paradise Drive and easterly of the existing gravel driveway. Interior to the wetland there is an un-named watercourse that flows southerly under Paradise Drive, through this forested wetland and into the marsh(es) at the northwesterly limits of Paradise Lake. There was likely historical modification of the wetland edge in the vicinity of WF#23A – WF#29A when the existing gravel driveway was constructed, and an 18" HDPE culvert discharges between WF#25A and WF#26A.



#### **WF#1B – WF#4B**

This flag series represents a small excavation located on the westerly side of the existing gravel drive at the inlet of an 18" HDPE culvert that carries water under the existing driveway and discharges into the forested wetlands to the east. As the existing gravel driveway is cut into the natural grade, this excavated depression was constructed to provide a desirable inlet elevation for said culvert. Although only 58 SF in area, it did contain standing water at the time of delineation.

#### **WF#1C – WF#16C**

This flag series represents the northerly limits of the band of riparian wetlands associated with a perennial watercourse identified as Tatnic Brook that flows in an easterly/southeasterly direction. In the area of WF#1C – WF#6C, the delineation line runs approximately coincident with the limit of the designated FEMA "A" flood hazard zone **as identified on FIRM 09015C0238F, which is currently pending approval.**

#### **CT DEEP Natural Diversity Database**

The subject property is not located within a designated Connecticut Department of Energy & Environmental Protection (CT DEEP) Natural Diversity Database (NDDDB) area, nor does it contain any areas designated as Critical Habitat.

#### **Proposed Residential Site Development**

At current, the subject property is improved with an existing gravel driveway and an off-grid recreational cabin located on the northeasterly side of Tatnic Brook. In order to be utilized for access to a single-family residence to be constructed on the developable portion of subject property that lies on the southwesterly side of Tatnic Brook, the existing gravel driveway will require structural improvement(s) and will also have to cross Tatnic Brook.

The project Engineer has given careful consideration to limiting impacts to regulated resources to the greatest extent practicable. Improvement of the existing gravel driveway, associated grading and utility installation both northerly and southerly of Tatnic Brook will be accomplished without any direct impacts to regulated resources. In order to minimize impacts to Tatnic Brook, the crossing will be accomplished by constructing a clear span bridge.

A total of 2,770± SF of permanent disturbance within the riparian wetland corridor is proposed in order to construct **the northerly and southerly bridge footings and approaches, all of which are located outside of the surveyed high water mark of Tatnic Brook.** The bridge footings are specified as to extend a minimum of 5' below grade to protect against anticipated scour and the height and span of the bridge are specified as to freely pass the volume of the 500-year storm event. Utility conduit is specified as to be affixed to the bridge, meaning that Tatnic Brook itself will be left in its natural condition both during and post-construction. **All disturbed wetland areas outside the limits of the proposed driveway and bridge will be restored with a New England Wetland Plants, Inc. wetland seed mix.**

The project Engineer has incorporated a robust erosion and sediment control plan into the design plans in order to protect regulated resources from fugitive sediment during construction, including an anti-

tracking pad at the construction entrance adjacent Paradise Drive, sediment fence barriers, sediment fence barriers backed by staked hay bales, and wood chip berms. Provided that these erosion and sediment controls are properly installed and maintained throughout the construction period, the potential for negative impact(s) to regulated resources will be mitigated.

If you have any questions or concerns regarding the wetland delineation as performed, or any of the information contained herein, please contact the undersigned at your convenience.

Sincerely,



Demian A. Sorrentino, AICP, C.S.S.  
Certified Planner & Soil Scientist  
Boundaries, LLC

C: File

Attach: USDA/NRCS Web Soil Survey Report



Soil Map—State of Connecticut



### MAP LEGEND

- Area of Interest (AOI)
  - Area of Interest (AOI)
  - Soils
  - Soil Map Unit Polygons
  - Soil Map Unit Lines
  - Soil Map Unit Points
- Special Point Features
  - Blowout
  - Borrow Pit
  - Clay Spot
  - Closed Depression
  - Gravel Pit
  - Gravelly Spot
  - Landfill
  - Lava Flow
  - Marsh or swamp
  - Mine or Quarry
  - Miscellaneous Water
  - Perennial Water
  - Rock Outcrop
  - Saline Spot
  - Sandy Spot
  - Severely Eroded Spot
  - Sinkhole
  - Slide or Slip
  - Sodic Spot
- Water Features
  - Streams and Canals
- Transportation
  - Rails
  - Interstate Highways
  - US Routes
  - Major Roads
  - Local Roads
- Background
  - Aerial Photography
- Other
  - Spoil Area
  - Stony Spot
  - Very Stony Spot
  - Wet Spot
  - Other
  - Special Line Features

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut  
 Survey Area Data: Version 21, Sep 7, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

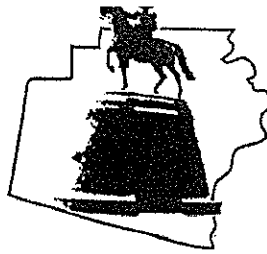
Date(s) aerial images were photographed: Apr 14, 2011—Aug 27, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Ridgebury, Leicester, and Whitman soils, 0 to 8 percent slopes, extremely stony	4.4	9.8%
46B	Woodbridge fine sandy loam, 0 to 8 percent slopes, very stony	4.6	10.0%
47C	Woodbridge fine sandy loam, 3 to 15 percent slopes, extremely stony	18.5	40.5%
52C	Sutton fine sandy loam, 2 to 15 percent slopes, extremely stony	0.4	0.8%
61B	Canton and Charlton fine sandy loams, 0 to 8 percent slopes, very stony	4.1	8.9%
86D	Paxton and Montauk fine sandy loams, 15 to 35 percent slopes, extremely stony	0.2	0.5%
103	Rippowam fine sandy loam	7.1	15.6%
108	Saco silt loam	3.3	7.3%
W	Water	3.0	6.5%
<b>Totals for Area of Interest</b>		<b>45.5</b>	<b>100.0%</b>



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands

Zoning Enforcement \_\_\_\_\_

Blight Enforcement \_\_\_\_\_

## SITE INSPECTION NUMBER

1 2 3 4 5

Paradise Dr. Map 14 Lot 6

4/4/22

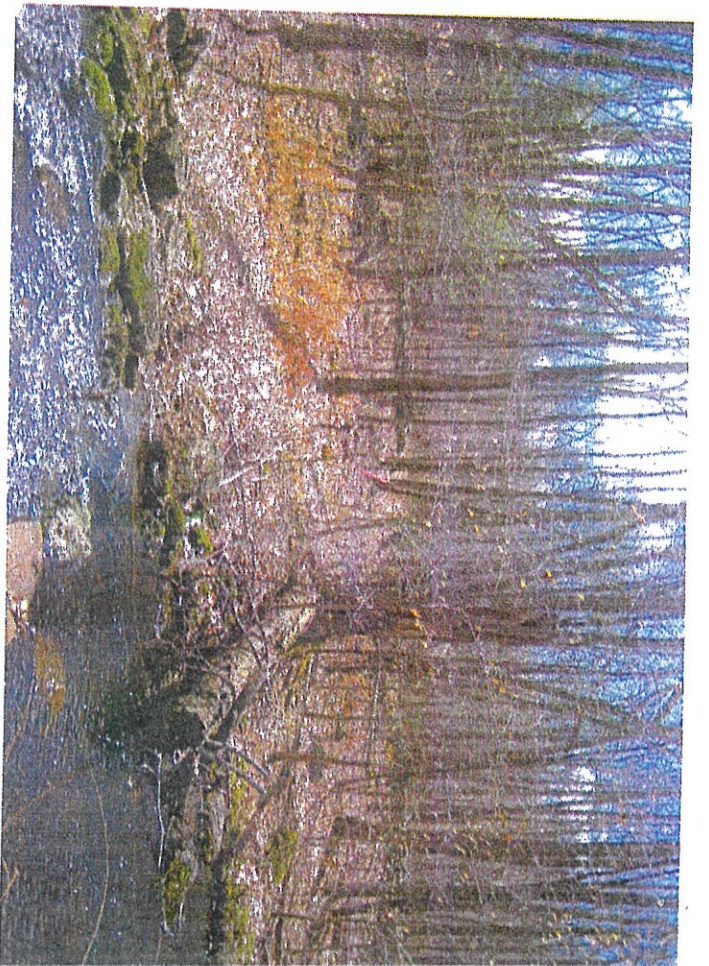
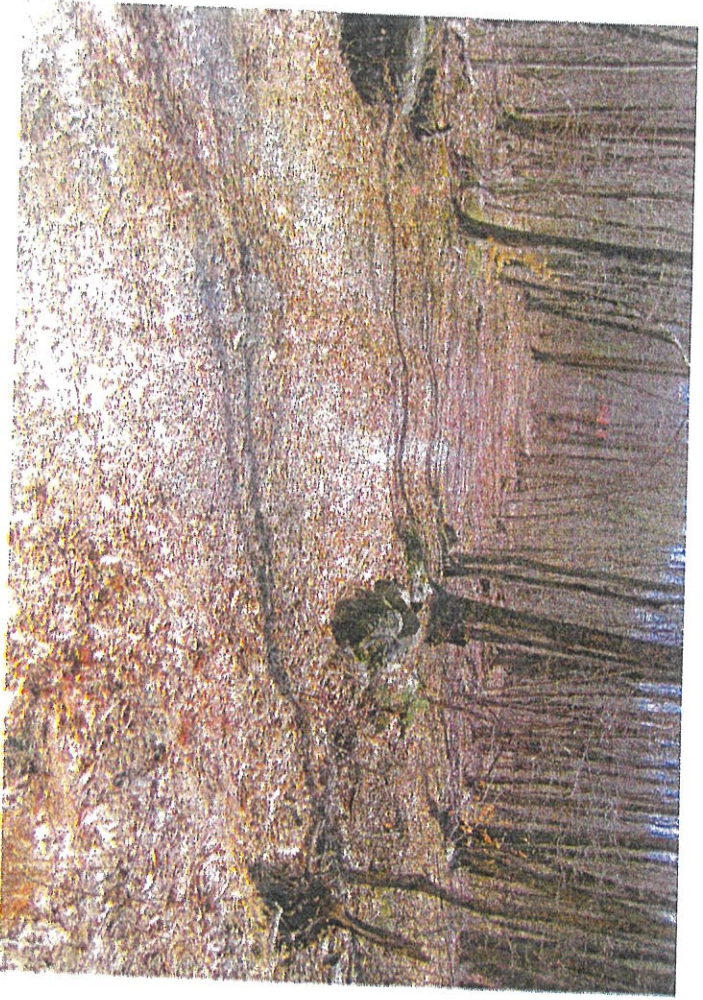
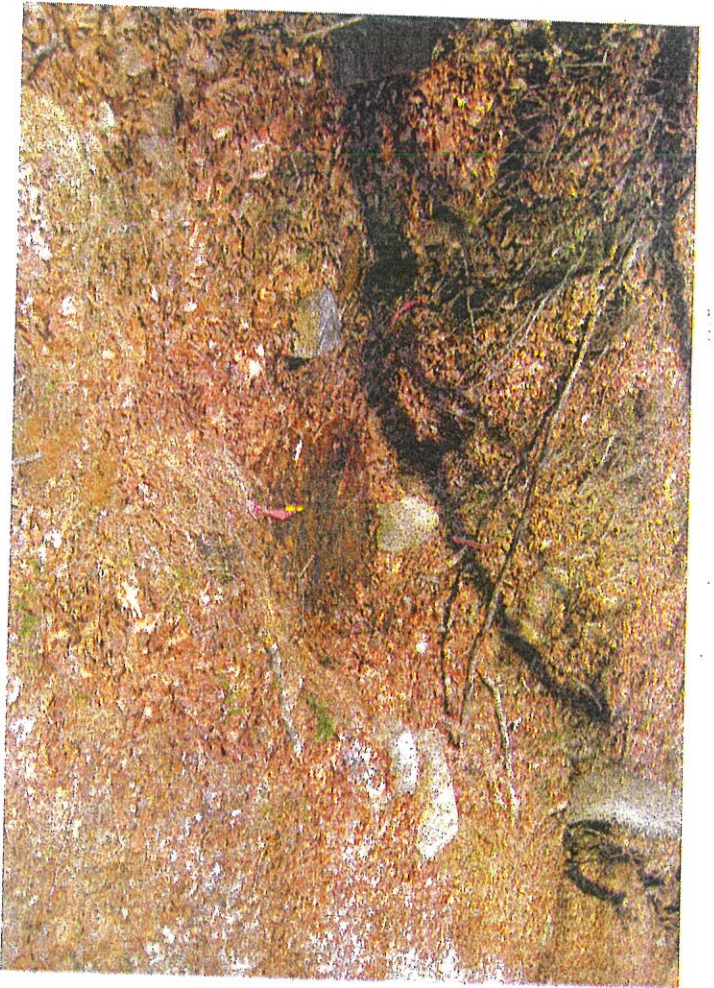
Address

Date

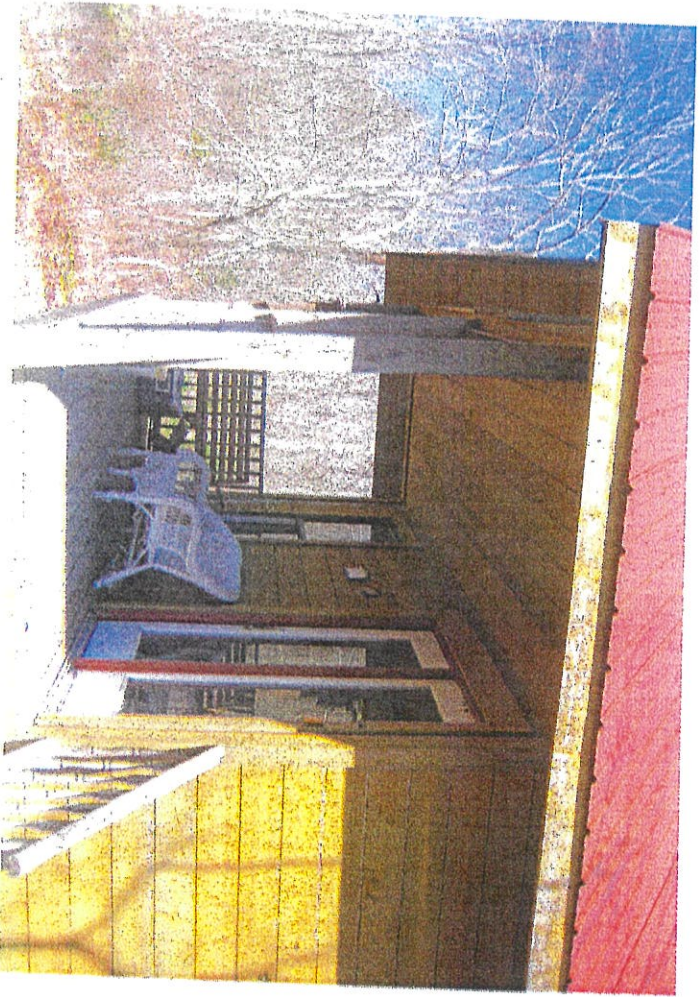
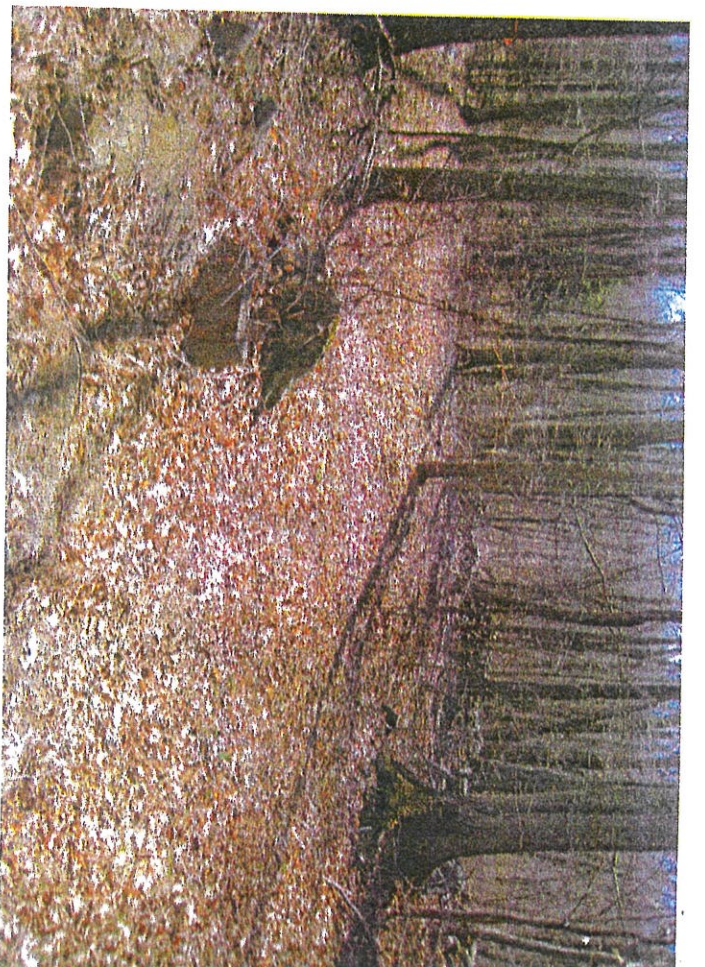
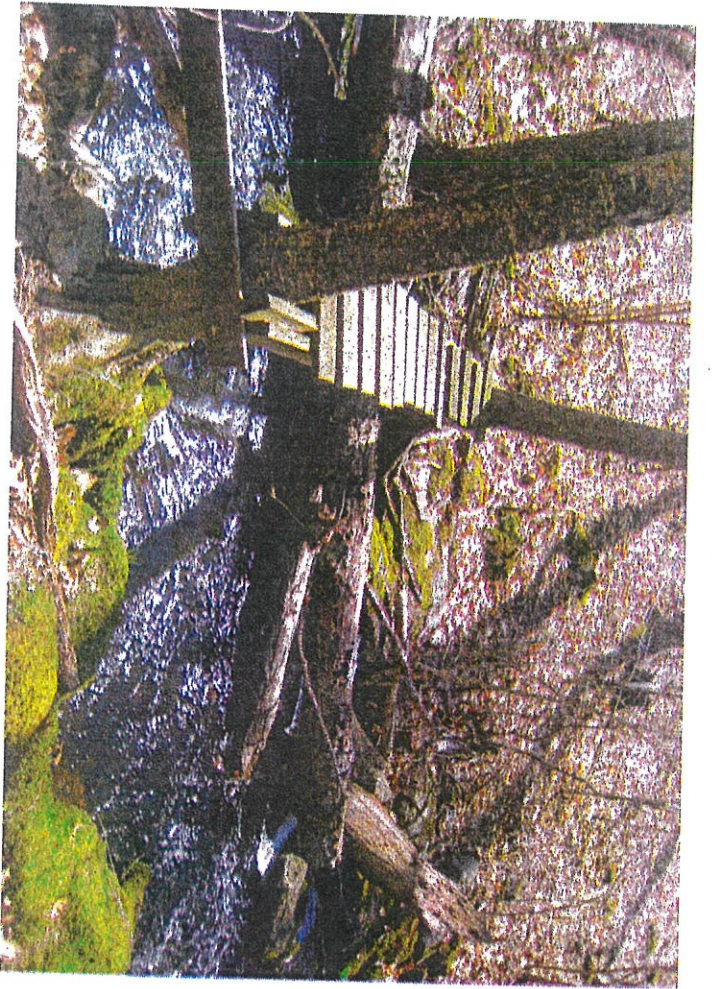
I met David McKay, inspected and took photos. We were unable to cross Tatnic Brook to photograph the proposed house location. There is an existing cabin and outhouse on the same side of the brook as Paradise Drive - no stream crossing is needed to get to this location. The site plan does not reflect the Flood Maps that are presently in effect. Demian Sorrentino's delineation report may need to be revised regarding his statement that the proposed bridge footings are outside the FEMA "A" Flood Zone.

Commission Representative M. Washburn

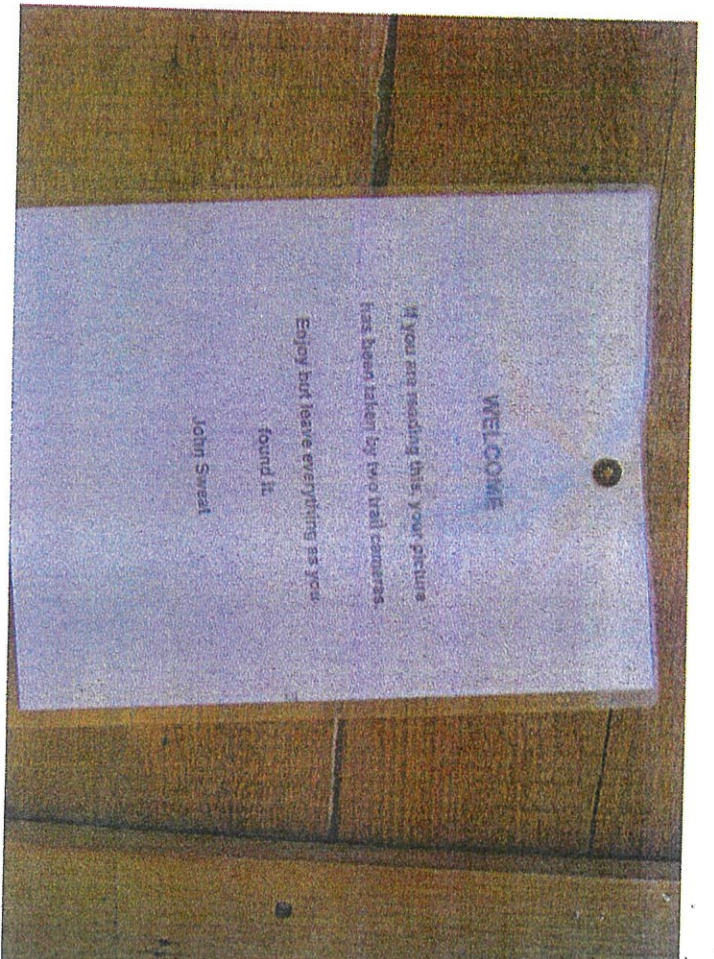
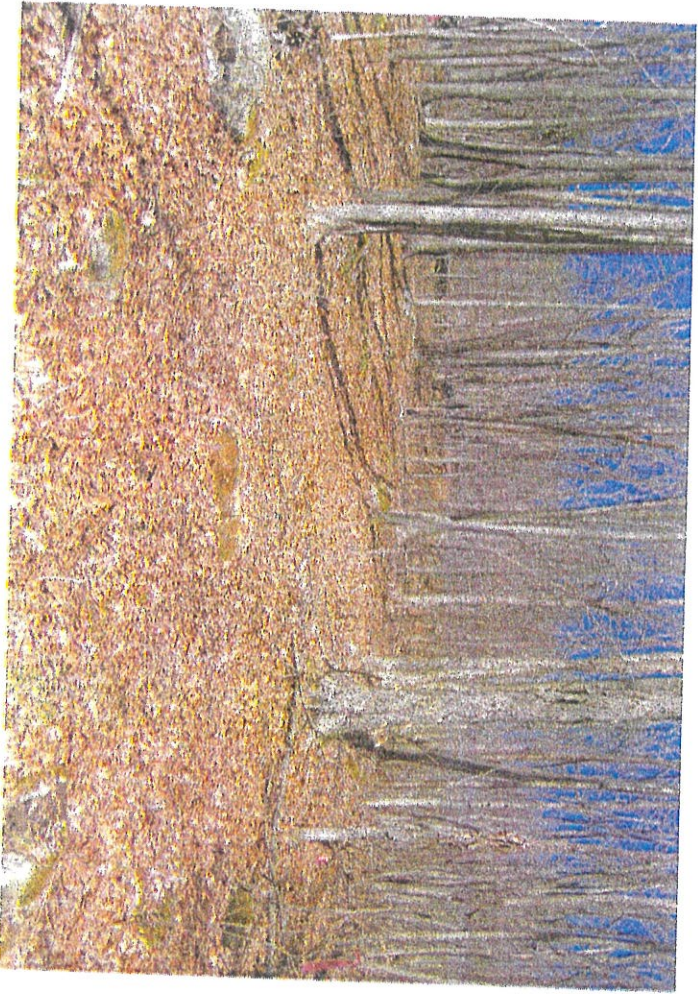
Owner or Authorized Signature \_\_\_\_\_

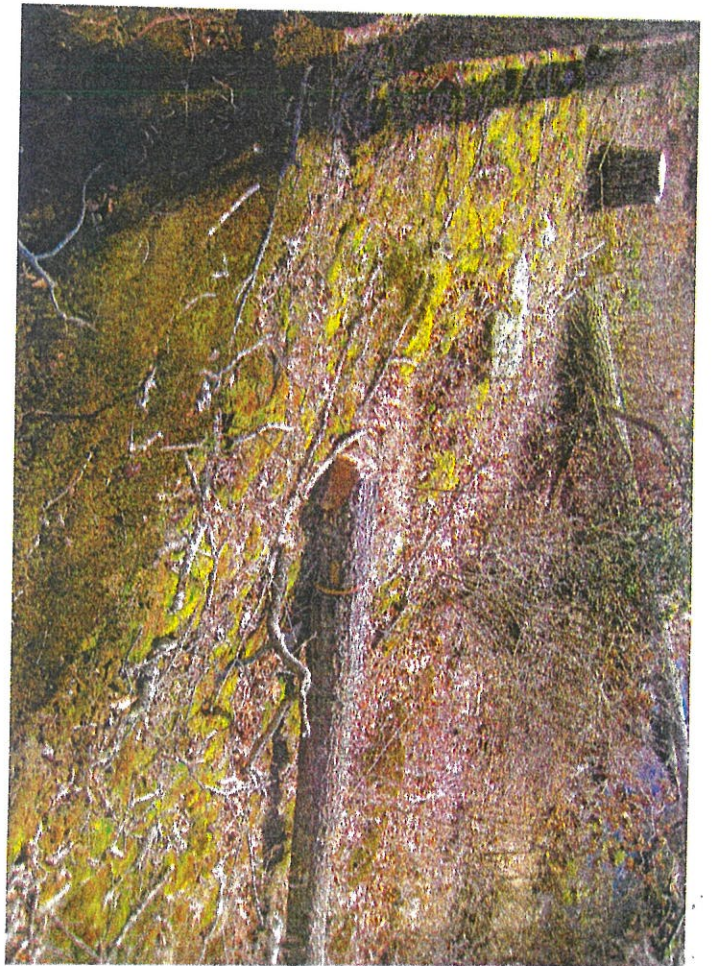
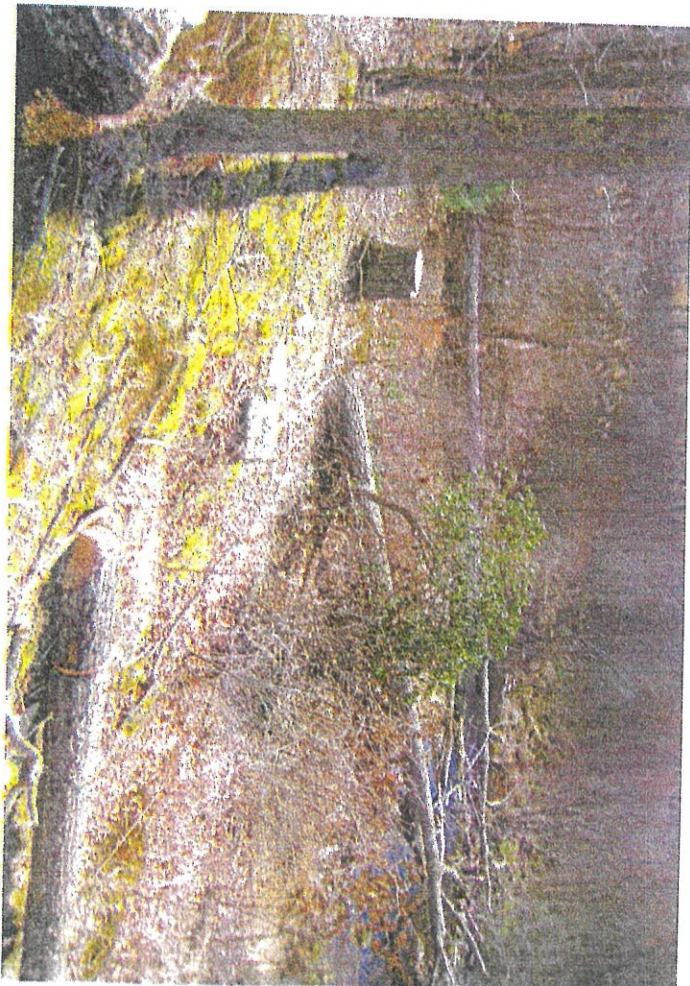
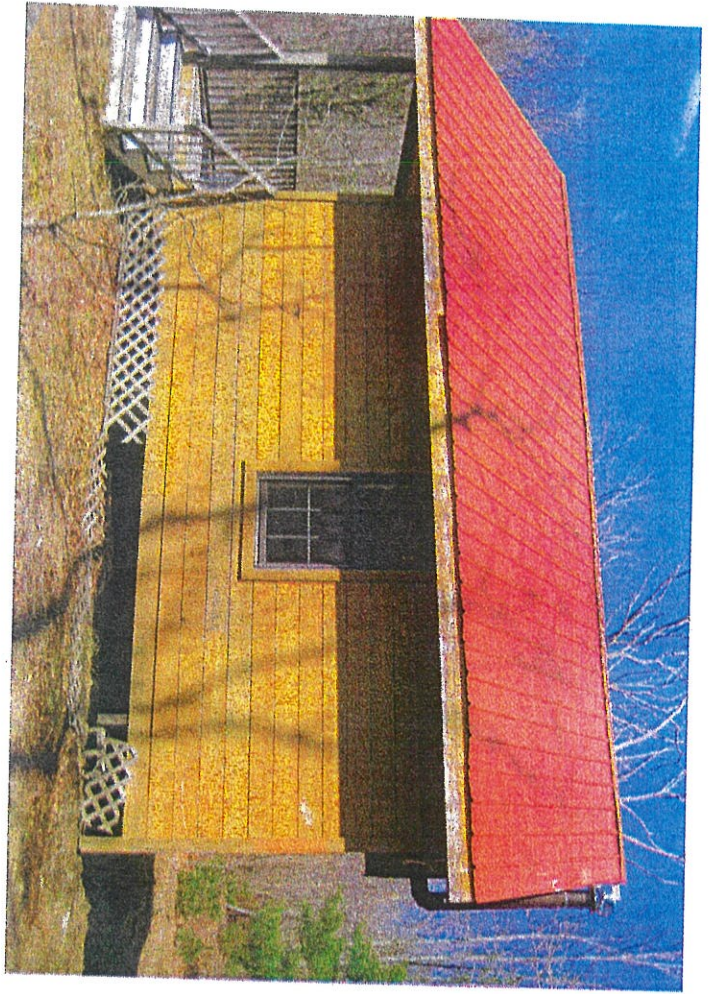


Proposed bridge location



E. driveway between Paradise Dr + bridge







## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

April 04, 2022

Virginia, John & Carol Sweat  
57 Cemetery Road  
Baltic, CT 06330

**SUBJECT: FILE #12000209 -- PARADISE DRIVE #, MAP #14, LOT #6, BROOKLYN, CT**

Dear Virginia, John & Carol Sweat:

The subject plan (BOUNDARIES, SWEAT, JOB ID #21-3100, DRAWN MARCH 2022) submitted on 03/29/2022 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 4 bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil and fill material have been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

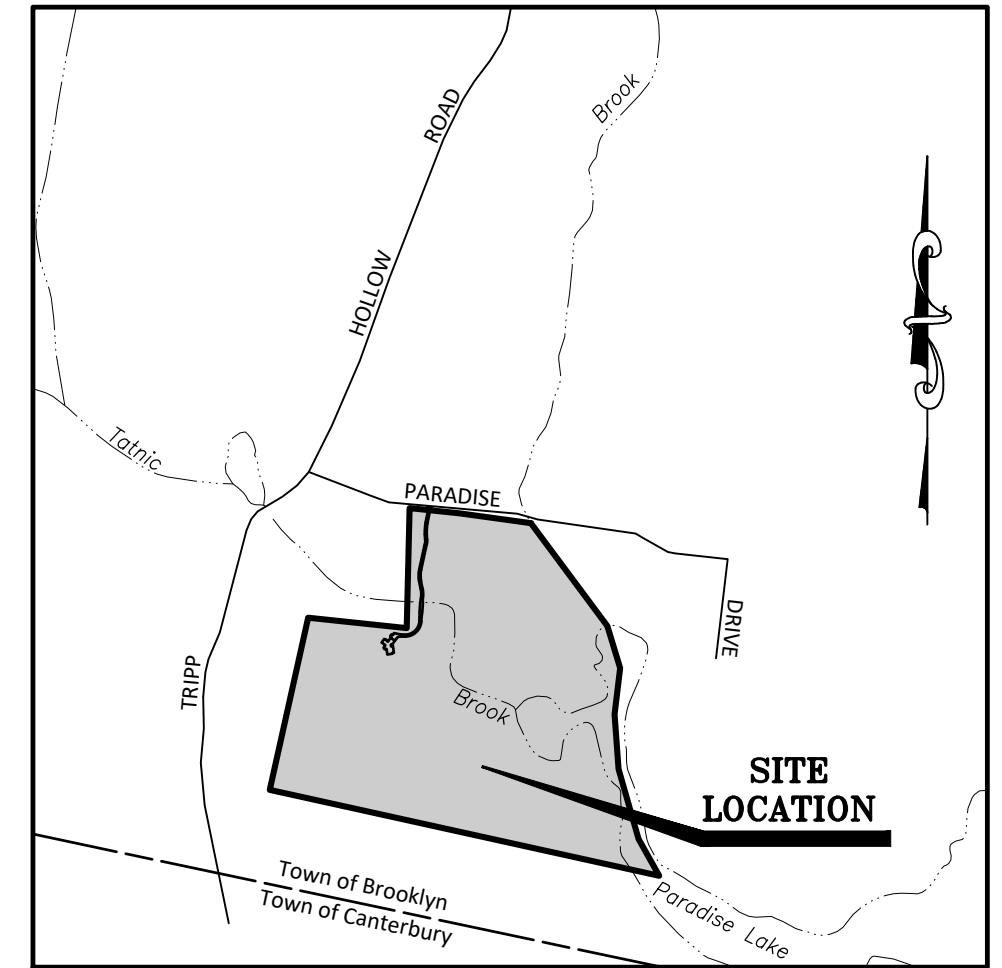
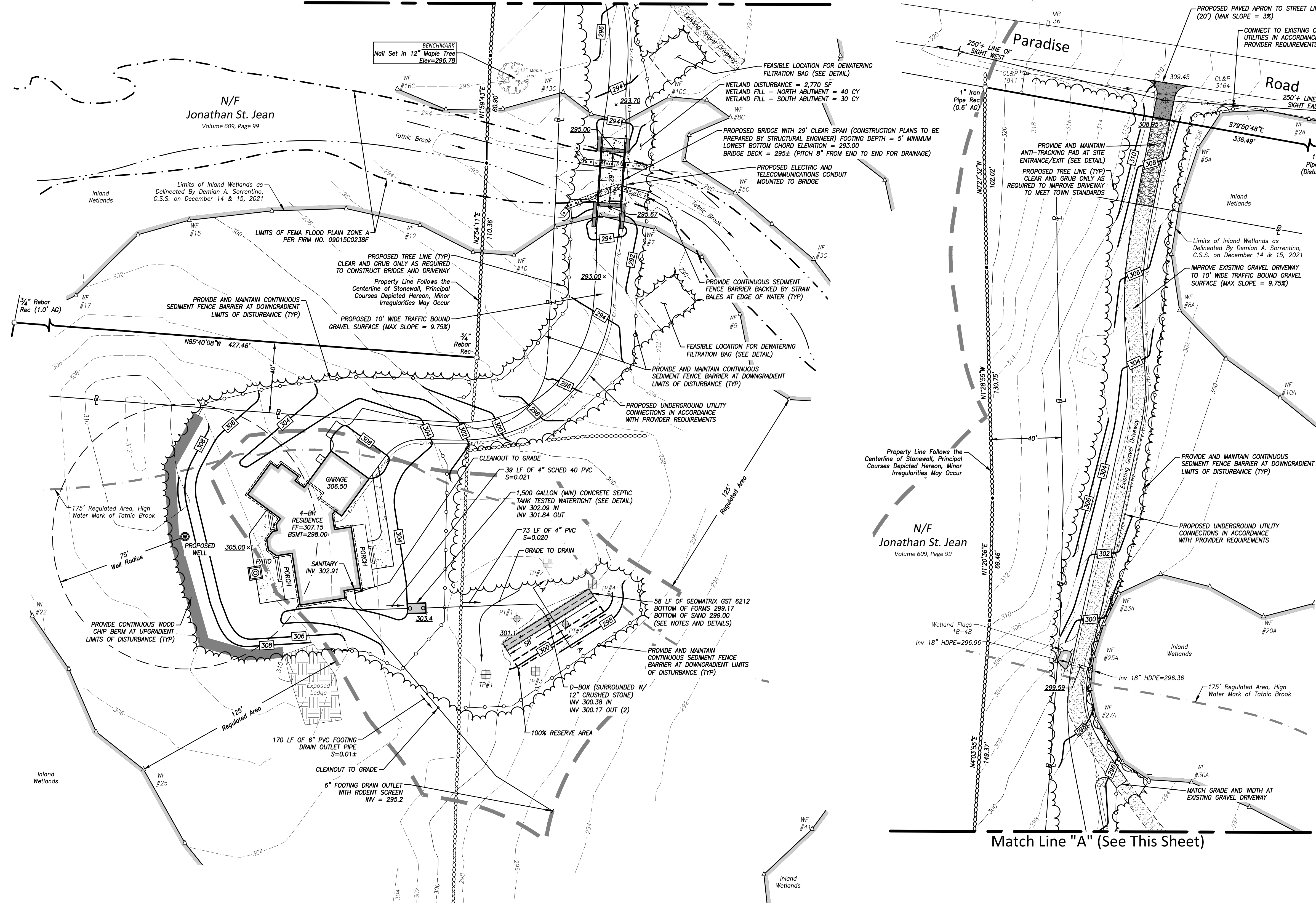
Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist-NDDH

cc: Brooklyn Building Official; Boundaries, LLC.

Match Line "A" (See This Sheet)



LOCATION MAP  
SCALE: 1"=1000'

**SURVEY NOTES**

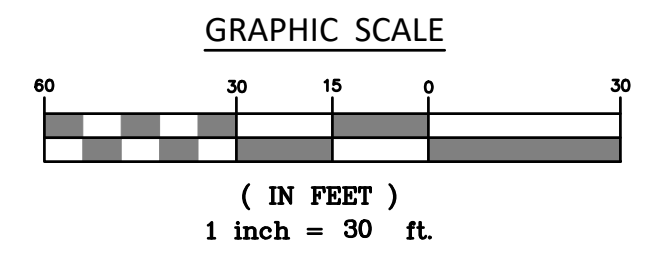
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS AN IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY BASED ON RESURVEY AND CONFORMS TO HORIZONTAL CLASS A-2 AND TOPOGRAPHIC CLASS T-2 ACCURACY STANDARDS. IT IS INTENDED TO BE USED FOR SITE DEVELOPMENT AND MUNICIPAL PERMITTING.
- NORTH ORIENTATION DEPICTED HEREON IS APPROXIMATE NORTH AMERICAN DATUM 1983 (NAD83) BASED ON GLOBAL POSITIONING SYSTEM OBSERVATIONS, OBSERVED ON DECEMBER 28, 2021.
- VERTICAL DATUM DEPICTED HEREON IS APPROXIMATE NORTH AMERICAN VERTICAL DATUM 1988 (NAV88) BASED ON GLOBAL POSITIONING SYSTEM OBSERVATIONS USING G1012B ON DECEMBER 28, 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON THE LOCATION OF ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY OTHERS. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ALL SUBTERRANEAN FEATURES AND IMPROVEMENTS MAY NOT BE DEPICTED OR NOTED HEREON. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. CONTACT "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OPERATIONS.
- THE FIELD SURVEY WAS COMPLETED ON DECEMBER 28, 2021. LAND RECORD AND RELATED RESEARCH WAS COMPLETED ON NOVEMBER 10, 2021.
- RECORD TITLE TO THE SUBJECT PROPERTY MAY BE REFERENCED TO A WARRANTY DEED FROM MARIANNE E. CAMPBELL TO JOHN E. SWEAT, SR., VIKRONIA M. SWEAT, JOHN E. SWEAT, JR., AND CAROL A. SWEAT RECORDED AUGUST 29, 2003 IN THE TOWN OF BROOKLYN LAND RECORDS VOLUME 304, PAGE 178.
- SUBJECT PROPERTY IS SUBJECT TO DRAINAGE EASEMENT IN FAVOR OF THE TOWN OF BROOKLYN RECORDED IN THE TOWN OF BROOKLYN LAND RECORDS VOLUME 130, PAGE 287.
- SUBJECT PROPERTY IS ZONED RESIDENTIAL-AGRICULTURAL.
- SUBJECT PROPERTY CONTAINS 26± ACRES.

**REFERENCE MAPS**

- PROPERTY SURVEY, PREPARED FOR HARRY CZACZKES, PARADISE DRIVE, BROOKLYN CONNECTICUT. SCALE: 1"=100', DATED: MARCH 27, 1984, REVISED: JULY 2, 1984, PREPARED BY: JOHAN KOIVA L.S.
- PERIMETER SURVEY, PREPARED FOR KENNETH L. MCGAHEE, PARADISE DRIVE, BROOKLYN, CONNECTICUT. SCALE: 1"=40', DATED: NOVEMBER 2015, REVISED: NOVEMBER 23, 2015, PROJECT NO.: AS1110, PREPARED BY: ARCHER SURVEYING LLC.

**ZONING COMPLIANCE TABLE:  
RESIDENTIAL-AGRICULTURAL (RA)**

ITEM	REQUIRED	EXISTING
MINIMUM LOT AREA	87,120 SF	1,132,560± SF
MINIMUM LOT FRONTAGE	150 FT	454± FT
MINIMUM FRONT YARD	50 FT	682 FT
MINIMUM SIDE YARD	40 FT	58 FT
MINIMUM REAR YARD	50 FT	416 FT
MAXIMUM BUILDING HEIGHT	35 FT	28± FT
WATER SUPPLY	PRIVATE WELL	
SANITARY	ON-SITE SDDS	



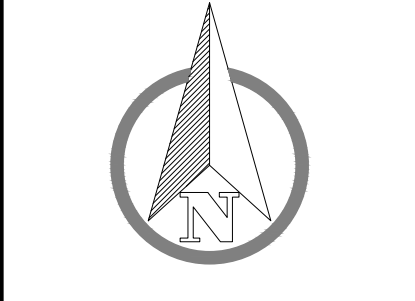
**LEGEND & ABBREVIATIONS**

±	MORE OR LESS	ELEV	ELEVATION	—○—	PROPOSED TREE LINE
TYP	TYPICAL	MB	MAILBOX	—	STONE WALL
PVC	POLYVINYL CHLORIDE	W/	WITH	—E/T/C—	ELECTRIC, TELEPHONE, COMMUNICATIONS
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WF #1	WETLAND FLAG	—	OVERHEAD WIRES
SF	SQUARE FEET	REC	RECOVERED	●	ANGLE POINT
CY	CUBIC YARDS	AG	ABOVE GRADE	○	IRON PIPE OR REBAR
BR	BEDROOM	CL&P	CONNECTICUT LIGHT AND POWER	○	UTILITY POLE
FF	FINISH FLOOR	N/F	NOW OR FORMERLY	—	GUY WIRE
BSMT	BASEMENT	x 302.2	EXISTING SPOT ELEVATION	⊕	DEEP TEST PIT
INV	INVERT	x 302.2	PROPOSED SPOT ELEVATION	⊕	PERCOLATION TEST HOLE
S	SLOPE	—R—	BUILDING SETBACK LINE	⊕	WELL
LF	LINEAR FEET	—302—	EXISTING CONTOUR	△	WETLAND FLAG
SCHED	SCHEDULE	—302—	PROPOSED CONTOUR		

**NOTE**

1. SEE SHEET 3 FOR SOIL TESTING RESULTS, SANITARY DESIGN CRITERIA, CROSS-SECTION AND SUBSURFACE SEWAGE DISPOSAL SYSTEM INSTALLATION NOTES AND DETAILS.

I HAVE CONDUCTED AN ON-SITE SOIL INVESTIGATION OF THE PARCEL OF LAND DEPICTED HEREON. THE INTERMITTENT WATERCOURSES AND INLAND WETLAND BOUNDARIES AS PORTRAYED ARE AN ACCURATE REPRESENTATION OF THE DELINEATION PERFORMED IN THE FIELD.



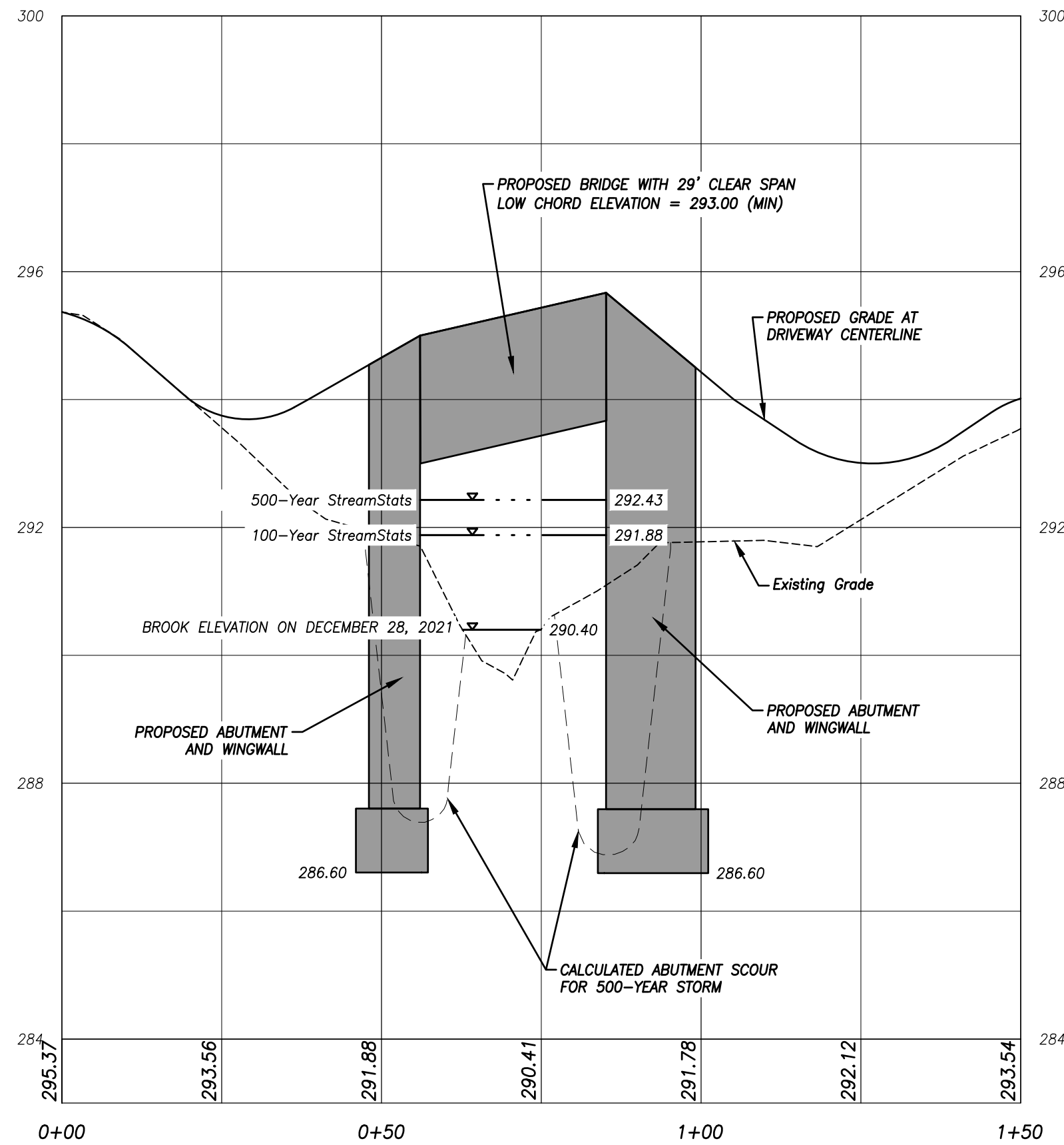
SCALE: 1" = 30'  
DATE: March 2022  
JOB I.D. NO. 21-3100  
Revisions

SHEET NO.

1  
3

11.92.168.2.3\PROJECTS\CIVIL 3D PROJECTS\2021\21-3100 SWEAT\DWG\DESIGN\SWEAT SITE PLAN.DWG





**Profile - Centerline Driveway**

Horizontal Scale: 1" = 30'  
Vertical Scale: 1" = 3'

**NARRATIVE**

THE PROPOSAL INVOLVES THE DEVELOPMENT OF AN EXISTING 26+/- ACRE PARCEL ON PARADISE DRIVE IN THE TOWN OF BROOKLYN (MAP 14, LOT 6). THE LOT IS CURRENTLY UNDEVELOPED AND CONSISTS OF WOODED WETLAND AREAS, TATNIC BROOK, AND AN UPLAND AREA ON THE SOUTHERLY SIDE OF TATNIC BROOK. THE PROJECT INCLUDES THE CONSTRUCTION OF A BRIDGE OVER TATNIC BROOK TO ACCESS THE DEVELOPABLE UPLAND AREA AND THE CONSTRUCTION OF A FOUR-BEDROOM SINGLE FAMILY RESIDENCE, AND ASSOCIATED SITE IMPROVEMENTS INCLUDING A CODE-COMPLYING SUBSURFACE SEWAGE DISPOSAL SYSTEM, DRILLED WELL, AND TRAFFIC BOUND GRAVEL SURFACE DRIVEWAY WITH A MAXIMUM SLOPE OF LESS THAN 10%.

INTERMITTENT WATERCOURSES AND INLAND WETLANDS HAVE BEEN DELINEATED ON THE SUBJECT PROPERTY BY DEMIAN R. SORRENTINO, CERTIFIED SOIL SCIENTIST.

ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, SOIL SURVEY OF THE STATE OF CONNECTICUT, THE SOILS LOCATED ON THE LOT CONSIST OF:

- 3 RIDGEBURY, LEICESTER, AND WHITMAN SOILS, 0 TO 8% SLOPES, EXTREMELY STONY\*
- 47C WOODBRIDGE FINE SANDY LOAM, 3 TO 15% SLOPES, EXTREMELY STONY
- 61B CANTON AND CHARLTON FINE SANDY LOAMS, 0 TO 8% SLOPES, VERY STONY
- 103 RIPPOWAM FINE SANDY LOAM\*
- 108 SACO SILT LOAM\*
- \*CT INLAND WETLAND SOIL TYPE

THE PROPOSED DEVELOPMENT AREA IS LOCATED WITHIN THE CANTON AND CHARLTON SOIL GROUP.

EROSION CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION INCLUDE AN ANTI-TRACKING PAD AT THE SITE ENTRANCE AND SEDIMENT FENCE BARRIERS AT LOCATIONS DOWN GRADIENT OF EARTHWORK OPERATIONS. AN UPGRADED WOOD CHIP BERM WILL BE INSTALLED ABOVE THE DEVELOPMENT AREA TO DIRECT RUNOFF AWAY FROM THE DISTURBED AREAS AND TO DELINEATE THE LIMITS OF DISTURBANCE. IN THE VICINITY OF THE PROPOSED BRIDGE THE SEDIMENT FENCE WILL BE BACKED BY STRAW BALES TO PROTECT THE BANKS OF THE TATNIC BROOK. ALL DEWATERING DISCHARGES WILL BE FILTERED THROUGH AN APPROVED METHOD PRIOR TO LEAVING THE WORK AREA. THESE EROSION CONTROL MEASURES WILL BE MAINTAINED THROUGHOUT THE PROJECT. AFTER CONSTRUCTION IS COMPLETED ALL DISTURBED AREAS SHALL BE LOAMED (4" MINIMUM) AND SEEDED WITH GRASS FOR PERMANENT STABILIZATION. EROSION CONTROL MEASURES WILL BE REMOVED ONLY AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL SLOPES STEEPER THAN 3H:1V WILL BE STABILIZED WITH AN EROSION CONTROL BLANKET OR CRUSHED STONE AS SHOWN.

TATNIC BROOK IS DESIGNATED AS A FEMA ZONE A FLOOD HAZARD AREA PER THE CURRENT FEMA MAP. THE BRIDGE HAS BEEN SIZED TO CLEARLY SPAN THE FEMA FLOOD PLAIN SO THAT THERE IS NO ENCRoACHMENT INTO THE FLOOD PLAIN WITH ANY STRUCTURES OR FILL. THE BRIDGE ALSO CLEARLY SPANS TATNIC BROOK UNDER NORMAL FLOW CONDITIONS SO THAT THERE WILL BE NO ALTERATIONS OF THE WATERCOURSE AS A RESULT OF THE INSTALLATION OF THE BRIDGE. THE BRIDGE APPROACHES WILL REQUIRE THE PLACEMENT OF APPROXIMATELY 70 CY OF FILL WITHIN THE LIMITS OF THE INLAND WETLANDS BORDERING TATNIC BROOK. THE MAXIMUM AREA OF DISTURBANCE OF REGULATED INLAND WETLAND RESOURCES IS APPROXIMATELY 2,770 SQUARE FEET. ALL DISTURBED WETLAND AREAS OUTSIDE THE LIMITS OF THE PROPOSED DRIVEWAY AND BRIDGE WILL BE RESTORED WITH A NEW ENGLAND WETLAND PLANTS, INC. WETLAND SEED MIX.

**EROSION CONTROL NOTES**

- ALL UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE RESPONSIBLE PARTY WITH RESPECT TO THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES IS THE SITE CONTRACTOR, WHICH IS TO BE DETERMINED.
- THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, CT DEEP BULLETIN 34, SHALL BE USED FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES. THE PROPERTY OWNER SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY IF DIRECTED BY THE ENGINEER OR TOWN STAFF.
- SEEDING FOR PERMANENT STABILIZATION SHALL BE COMPLETED BETWEEN APRIL 15 THROUGH JUNE 15 OR BETWEEN AUGUST 15 THROUGH OCTOBER 1. IF SEEDING CANNOT BE COMPLETED WITHIN THESE TIMES, APPLICATION OF TEMPORARY MULCH WILL BE CONDUCTED UNTIL THE NEXT SEEDING PERIOD. SEED MIXTURE SHALL BE AS FOLLOWS:
  - ALL WETLAND AREAS  
NEW ENGLAND WET MIX BY NEW ENGLAND WETLAND PLANTS, INC. AT THE MANUFACTURER'S RECOMMENDED SEEDING RATE
  - ALL OTHER GRASSSED AREAS  
KENTUCKY BLUEGRASS 20 LBS/ACRE OR 0.45 LBS/1,000 SF  
CREeping RED FESCUE 20 LBS/ACRE OR 0.45 LBS/1,000 SF  
PERENNIAL RYEGRASS 5 LBS/ACRE OR 0.10 LBS/1,000 SF
- MULCH SHALL BE A GOOD QUALITY STRAW AND SHALL BE APPLIED AT A RATE OF APPROXIMATELY 2-3 BALES/1,000 SF.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAIN EVENTS WITH GREATER THAN 0.5" OF RAINFALL IN A 24-HOUR PERIOD, AND REPAIRED OR REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.

**OPERATION & MAINTENANCE OF EROSION CONTROLS**

NO CONSTRUCTION SHALL PROCEED UNTIL PROPER SEDIMENTATION AND EROSION CONTROL METHODS HAVE BEEN INSTALLED AS THE SEQUENCE OF CONSTRUCTION NECESSITATES.

ALL TEMPORARY FILL, STORAGE OR STOCKPILE AREAS SHALL BE PROPERLY STABILIZED TO PREVENT EROSION AND SUITABLY CONTAINED TO PREVENT TURBID RUNOFF. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS, AND REVEGETATED WITH SUITABLE VEGETATION. THE USE OF TEMPORARY FILL AND/OR EXCAVATION SHALL BE MINIMIZED TO ONLY THAT AREA REQUIRED TO PERFORM THE WORK.

DUMPING OF OIL OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE DEVELOPER OR CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL FROM EQUIPMENT USED ON SITE. VEHICLE MAINTENANCE SHALL BE COMPLETED OFF-SITE. ALL OIL SPILLS SHALL BE IMMEDIATELY REPORTED TO THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION/HAZARDOUS MATERIALS OFFICE. FAILURE TO DO SO MAY RESULT IN THE IMPOSITION OF FINES UNDER THE APPLICABLE CONNECTICUT GENERAL STATUTES.

EVERY PRECAUTION SHALL BE USED DURING CONSTRUCTION TO PREVENT AND MINIMIZE THE DEGRADATION OF THE EXISTING WATER QUALITY. ALL ACTIVITIES SHALL BE IN CONFORMANCE TO AND CONSISTENT WITH ALL APPLICABLE WATER QUALITY STANDARDS AND MANAGEMENT PRACTICES AS SET FORTH BY LOCAL, STATE AND FEDERAL AGENCIES.

DURING THE PERIOD OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL MEASURES. SAID MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINSTORM OF 0.5" OR MORE. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE EROSION AND SEDIMENT CONTROL BARRIERS, AND UPON ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. SUCH MATERIALS REMOVED SHALL BE SPREAD AND STABILIZED IN NON-WETLAND AREAS WHICH ARE NOT SUBJECT TO EROSION, OR WHICH ARE NOT TO BE PAVED OR BUILT UPON.

HAY BALES, SEDIMENT FENCE AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, CLEANED AND/OR REPLACED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE UNTIL PROPER CONDITION AND BE CONTINUOUSLY MAINTAINED UNTIL FINAL GRADING HAS BEEN COMPLETED. ALL DISTURBED AREAS UPGRADIENT OF SAID FACILITIES HAVE BEEN PERMANENTLY STABILIZED, AND ALL NEWLY GRASSSED AREAS HAVE HAD AT LEAST TWO MOWINGS. FOLLOWING SUCH PERMANENT STABILIZATION, THE FACILITIES SHALL BE DISMANTLED, REMOVED, AND DISPOSED OF IN AN APPROVED MANNER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE SHOWN ON THE PLANS OR PRESCRIBED HEREIN SHALL BE PUT IN PLACE, WHENEVER NECESSARY, TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY TOWN STAFF OR THEIR DESIGNATED AGENT.

DISTURBANCE OF THE LAND SHALL BE LIMITED TO THE MINIMUM EXTENT NECESSARY TO COMPLETE THE PROPOSED DEVELOPMENT. ALL EXISTING TREES AND SHRUBS SHALL BE CONSERVED WHERE POSSIBLE, EXCEPT THOSE WHOSE REMOVAL IS REQUIRED TO PERFORM THE PROPOSED WORK. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD PRIOR TO STARTING ANY ACTUAL CONSTRUCTION ACTIVITIES AND SHALL BE GENERALLY AS DEPICED ON THIS PLAN.

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SITE IN ACCORDANCE WITH THE PROCEDURES AS OUTLINED IN THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES\* AS ADOPTED BY THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, EFFECTIVE ON OCTOBER 1, 2013.

THE CONTRACTOR SHALL INSPECT ALL DISTURBED AREAS OF CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF ALL RAIN EVENTS, WHERE SITES HAVE BEEN TEMPORARILY OR FINALLY STABILIZED, SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH FOR THREE CONSECUTIVE MONTHS.

DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND MAINTENANCE TO ASSURE THE PERFORMANCE OF THE SEDIMENTATION AND EROSION CONTROL SYSTEM. INSPECTING AND MAINTAINING SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:

- INSPECTION OF ALL SEDIMENT FENCE, WOOD CHIP BERMS AND STAKED HAY BALES, REMOVE ACCUMULATED SEDIMENT IF REQUIRED (GREATER THAN 4" DEPTH)
- INSPECTION OF ANTI-TRACKING PAD, REMOVE, DISPOSE AND REPLACE IF PAD IS NO LONGER FUNCTIONAL IN THE COLLECTION OF SEDIMENTS FROM VEHICULAR/TRUCK TRAFFIC.
- INSPECTION OF ALL DRIVEWAY AND PARKING AREAS AFTER PAVING, REMOVE ACCUMULATED SEDIMENT AND ANY LITTER/DEBRIS.

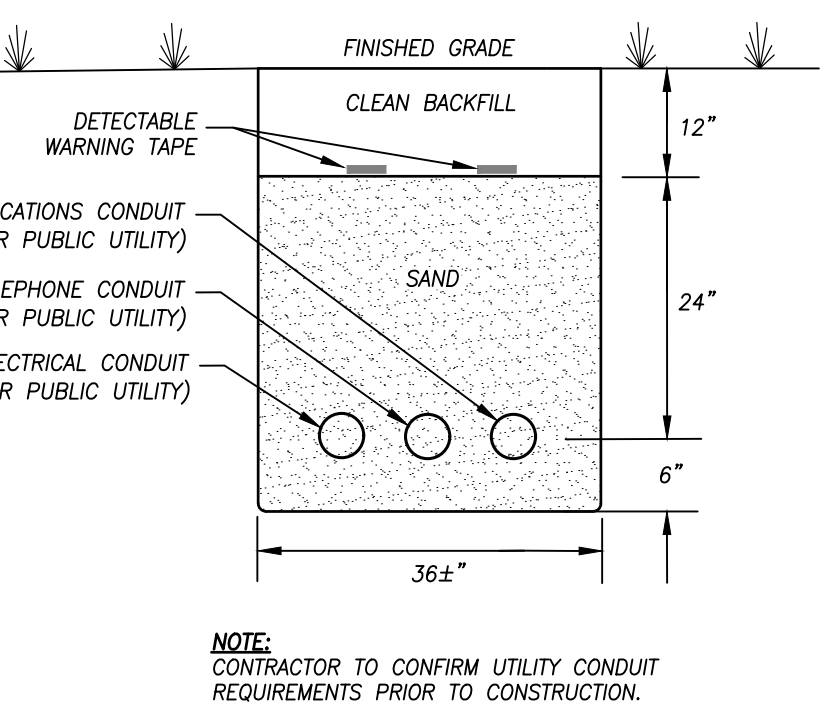
DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO INSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS OR POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO DOWNSTREAM WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

**CONSTRUCTION SEQUENCE FOR WETLAND CROSSING**

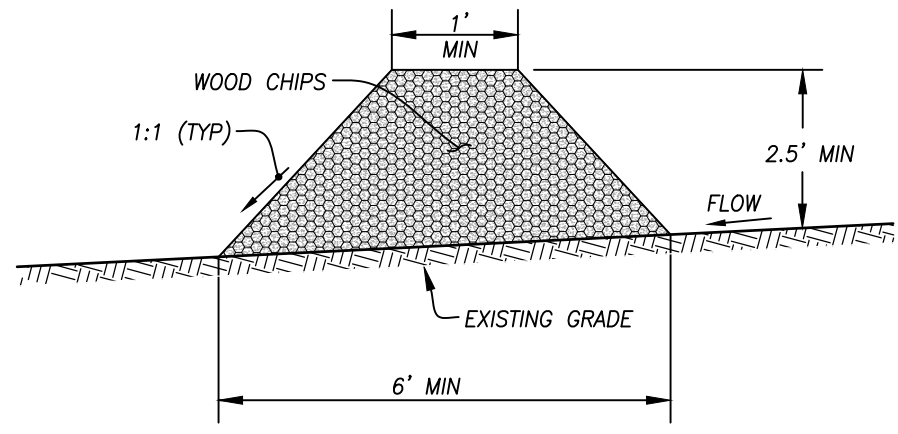
- NO EXCAVATION SHALL OCCUR IN FLOWING WATER. PLAN WORK TO OCCUR DURING THE DRY PERIOD - JUNE 1 THROUGH SEPTEMBER 30.
- SECURE ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ARMY CORPS OF ENGINEERS GENERAL PERMIT 19 (STREAM CROSSINGS).
- PROPER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY TOWN STAFF A MINIMUM OF 48 HOURS PRIOR TO THE START OF BRIDGE CONSTRUCTION TO SCHEDULE AN INSPECTION OF EROSION CONTROLS AND DEWATERING FILTRATION MEASURES.
- CLEAR AND GRUB DEVELOPMENT AREA AND DISPOSE OF VEGETATION OFF-SITE AT AN APPROVED LOCATION.
- STRIP EXISTING ORGANIC MATERIAL FROM PROPOSED DRIVEWAY EMBANKMENT AND BRIDGE ABUTMENTS AND STOCKPILE FOR REUSE.
- EXCAVATE AND INSTALL PROPOSED BRIDGE FOOTINGS AND ABUTMENT WALLS.
- BACKFILL EXCAVATION AND PLACE BRIDGE DECK AND APPURTENANCES ON ABUTMENT WALLS.
- CONSTRUCT DRIVEWAY TRAVEL SURFACE.
- LOAM EMBANKMENT SLOPES (4" MINIMUM), SEED WITH SPECIFIED SEED MIX AND INSTALL EROSION CONTROL BLANKET PER MANUFACTURER RECOMMENDATIONS.
- PLACE STOCKPILED WETLAND MATERIALS ON DISTURBED AREAS OUTSIDE OF DRIVEWAY EMBANKMENT. SEED WITH SPECIFIED SEED MIX AND INSTALL EROSION CONTROL BLANKET ON DISTURBED SOILS.
- SEEDING FOR PERMANENT STABILIZATION SHALL BE COMPLETED BETWEEN APRIL 15 THROUGH JUNE 15 OR BETWEEN AUGUST 15 THROUGH SEPTEMBER 15. IF SEEDING CANNOT BE COMPLETED WITHIN THESE TIMES, APPLY TEMPORARY MULCH UNTIL NEXT SEEDING TIME. SEED MIXTURES SHALL BE AS FOLLOWS:
  - ALL DELINEATED WETLAND AREAS OUTSIDE OF DRIVEWAY EMBANKMENT  
NEW ENGLAND WET MIX BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA
- MULCH SHALL BE A GOOD QUALITY STRAW AND SHALL BE APPLIED AT A RATE OF 2-3 BALES/1,000 SF.

**CONSTRUCTION SEQUENCE**

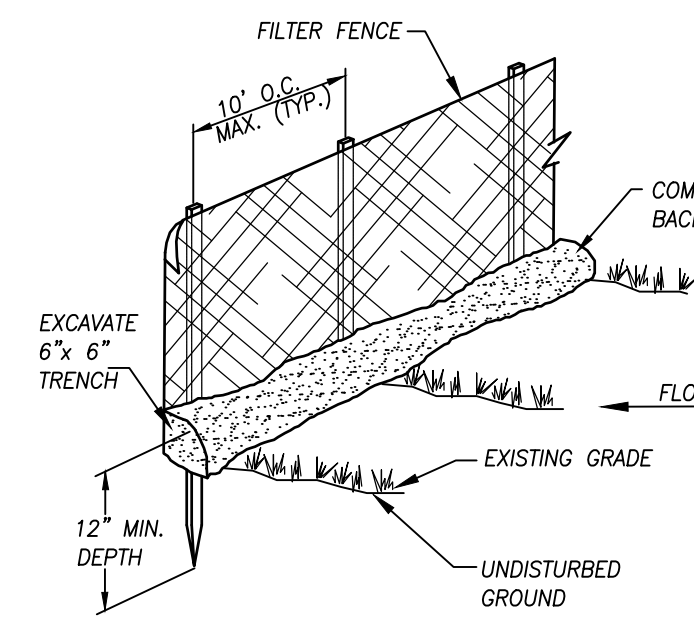
- SECURE ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS.
- ROUGH GRADE DRIVEWAY ENTRANCE AND INSTALL ANTI-TRACKING PAD. INSTALL SEDIMENT FENCE IN SPECIFIED LOCATION AS SHOWN DOWNGRADIENT OF PROPOSED DEVELOPMENT AREAS.
- IMPROVE EXISTING DRIVEWAY AS REQUIRED TO THE LOCATION OF THE PROPOSED BRIDGE.
- CONSTRUCT BRIDGE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S REQUIREMENTS.
- CLEAR AND GRUB DEVELOPMENT AREA AND DISPOSE OF VEGETATION OFF-SITE AT AN APPROVED LOCATION.
- STRIP TOPSOIL FROM DEVELOPMENT AREA AND STOCKPILE AT AN APPROVED LOCATION FOR LATER REUSE. SURROUND STOCKPILE WITH SEDIMENT FENCE INSTALLED PER DETAIL AND SEED TOPSOIL STOCKPILE WITH RYEGRASS FOR TEMPORARY STABILIZATION.
- ROUGH GRADE SITE. CONSTRUCT DRIVEWAY.
- CONSTRUCT HOUSE, INSTALL SUBSURFACE SEWAGE DISPOSAL SYSTEM, WATER SUPPLY WELL, UTILITIES, AND PERFORM FINAL SITE GRADING.
- AT COMPLETION OF CONSTRUCTION, LOAM ALL DISTURBED AREAS (4" MINIMUM), SEED WITH GRASS AND MULCH. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE EROSION CONTROL MEASURES.



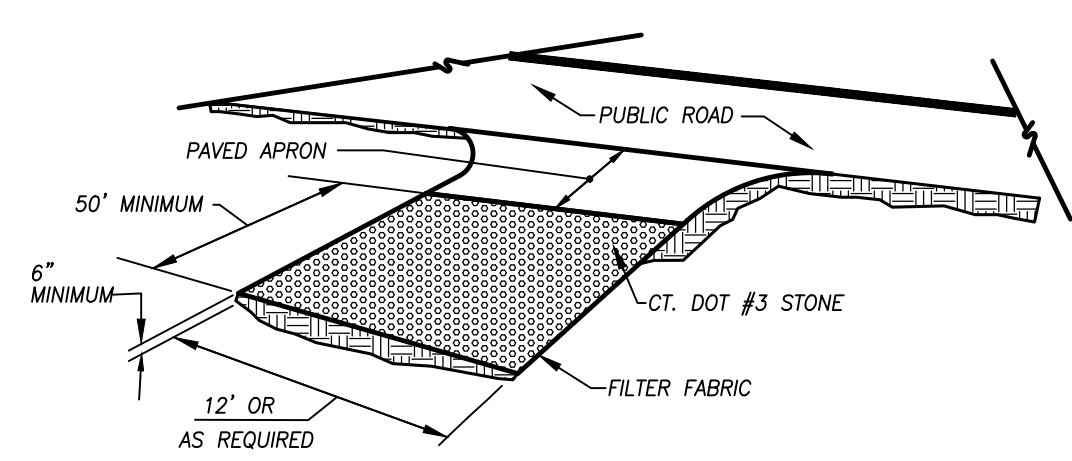
UTILITY TRENCH DETAIL  
NOT TO SCALE



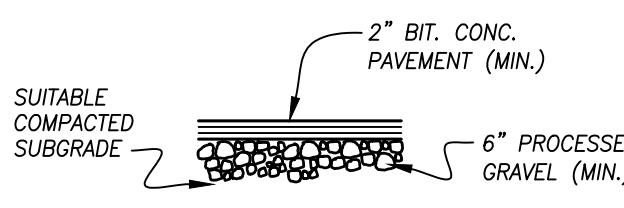
WOOD CHIP BERM  
NOT TO SCALE



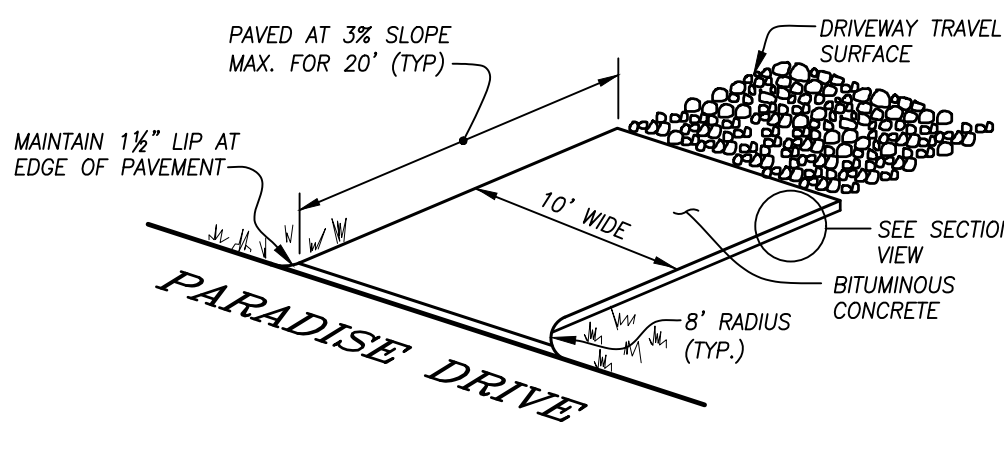
SEDIMENT FENCE DETAIL  
NOT TO SCALE



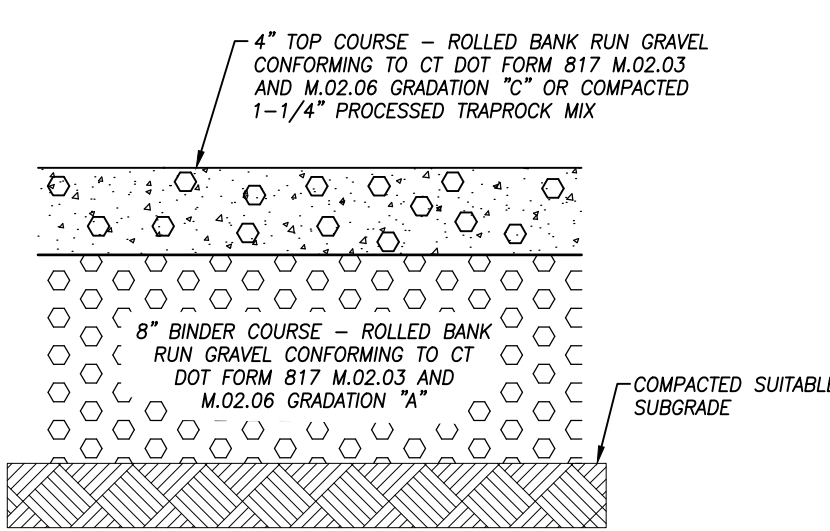
ANTI-TRACKING PAD AT DRIVEWAY  
NOT TO SCALE



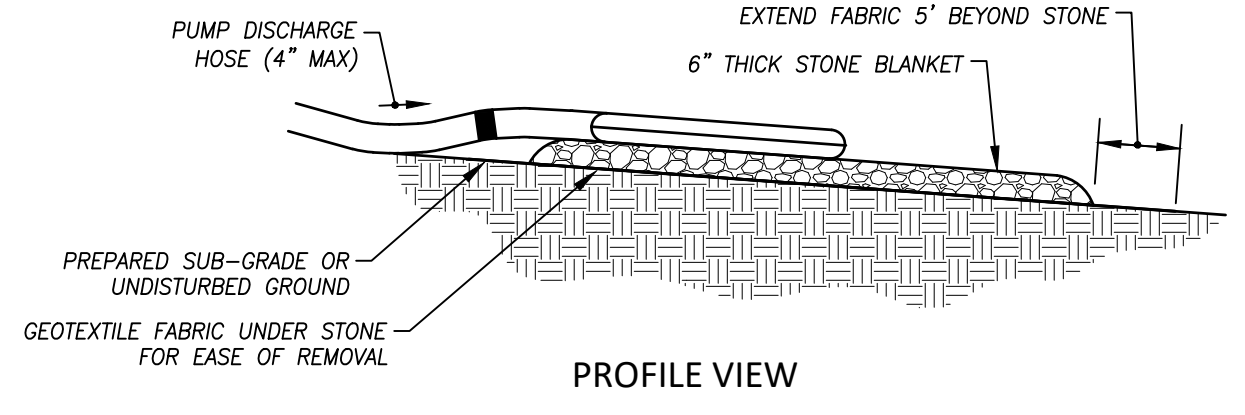
SECTION VIEW  
NOT TO SCALE



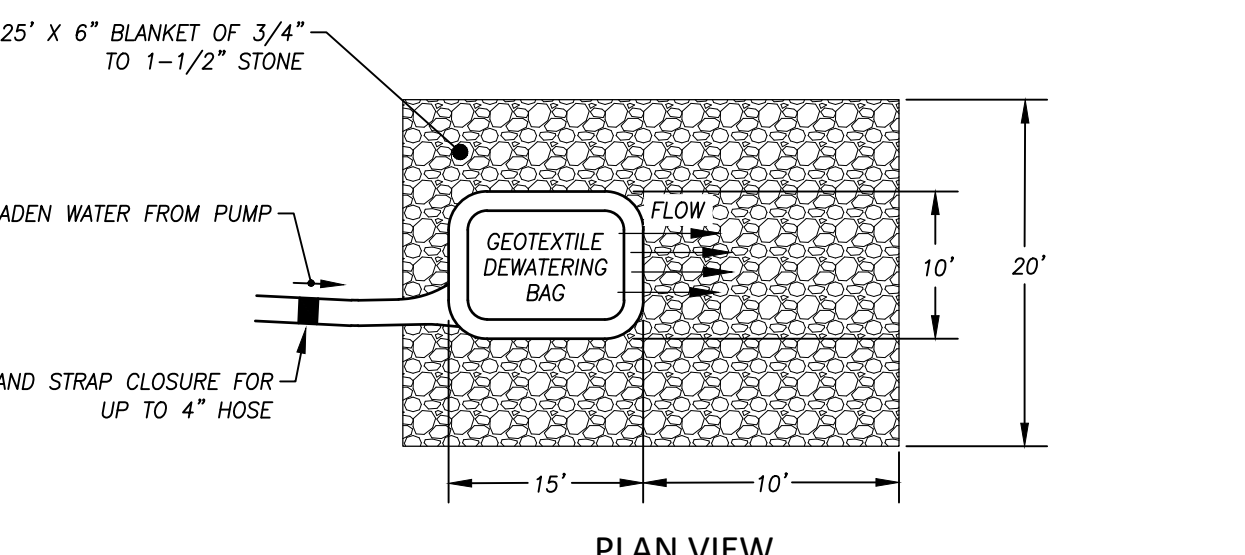
TYPICAL DRIVEWAY APRON  
NOT TO SCALE



TRAFFIC BOUND GRAVEL SURFACE  
NOT TO SCALE



PROFILE VIEW  
NOT TO SCALE

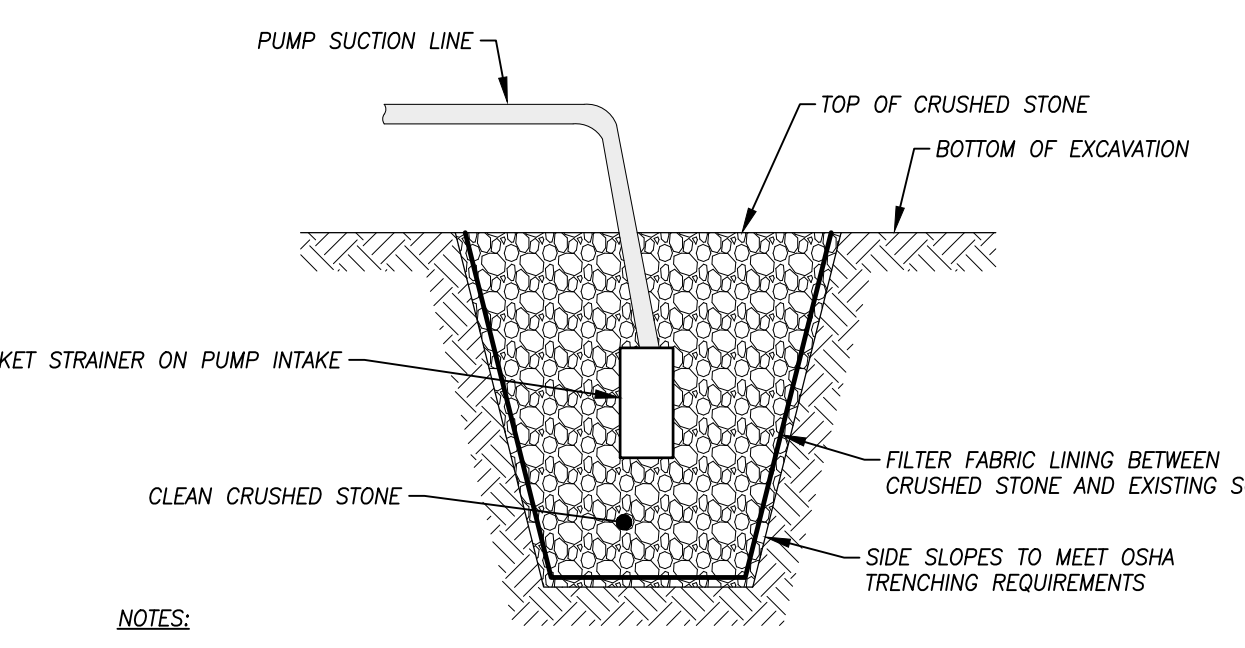


PLAN VIEW  
NOT TO SCALE

NOTES:

- GEOTEXTILE BAG MATERIAL SHALL BE A NON-WOVEN MATERIAL.
- DO NOT OVER PRESSURIZE BAG OR USE BEYOND CAPACITY.
- LOCATE DISCHARGE SITE ON FLAT UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, AND OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
- DOWNGRADIENT FROM RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, E.G., FOREST FLOOR OR COARSE GRAVEL/STONE.

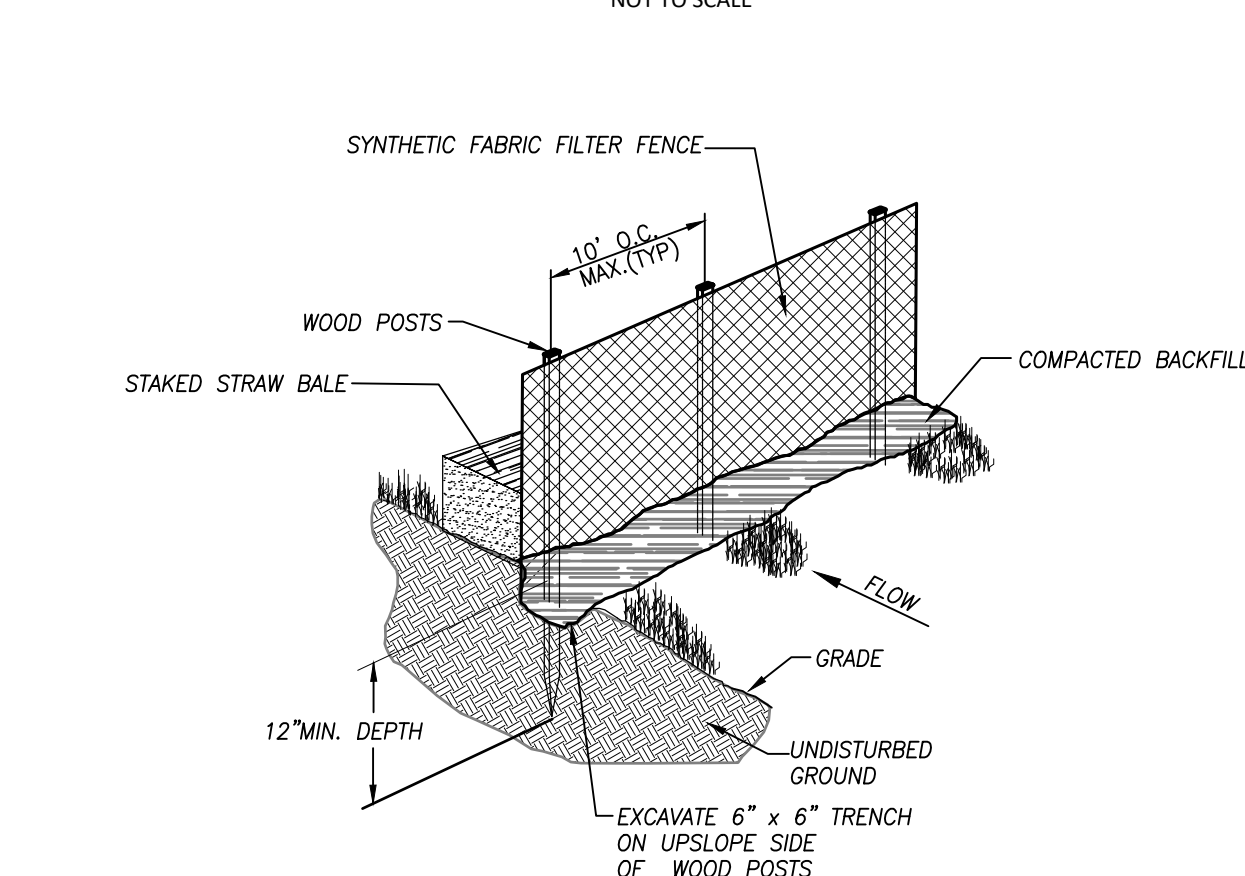
GEOTEXTILE DEWATERING BAG  
NOT TO SCALE



TYPICAL PUMP INTAKE DETAIL  
NOT TO SCALE

NOTES:

- SUMP SHALL BE SIZED BASED ON THE SELECTED PUMP DISCHARGE FLOWS AS REQUIRED TO ALLOW FOR PROPER FUNCTION OF THE SUMP.
- MINIMUM SUMP DIMENSIONS ARE 2' DEEP (MEASURED FROM THE BOTTOM OF THE EXCAVATION) AND 2' DIAMETER.
- CRUSHED STONE SHALL BE NO SMALLER THAN CT DOT #67 SIZE NOR LARGER THAN CT DOT #3 SIZE.
- SUMPS SHALL BE EXCAVATED AND RELOCATED AS REQUIRED TO MAINTAIN A DRY EXCAVATION.
- ALTERNATE APPROVED PUMP INTAKE PROTECTION AND DEWATERING METHODS MAY BE USED.



SEDIMENT FENCE BACKED BY STRAW BALE BARRIER DETAIL  
NOT TO SCALE

SCALE: As Noted  
DATE: March 2022  
JOB I.D. NO.: 21-3100  
Revisions

SHEET NO.  
**2**

## DEEP TEST HOLE RESULTS

TEST HOLES WERE PERFORMED ON FEBRUARY 14, 2022 AND WITNESSED BY DONOVAN MOE OF THE NORTHEAST DISTRICT DEPARTMENT OF HEALTH.

**TP#1**  
 0'-10" TOPSOIL W/ ROOTS  
 10'-28" BROWN MEDIUM SANDY LOAM  
 28"-82" COMPACT GRAY SAND HARDPAN WITH SMALL ROCKS  
 GROUNDWATER @ 80", NO LEDGE, NO MOTTLING  
 RESTRICTIVE @ 28", ROOTS TO 42"

**TP#2**  
 0'-12" TOPSOIL W/ ROOTS  
 12'-30" BROWN SANDY LOAM  
 30"-66" GRAY VERY FINE SAND WITH PEBBLES  
 NO WATER, NO LEDGE, NO MOTTLING  
 RESTRICTIVE @ 30", ROOTS TO 28"

**TP#3**  
 0'-10" TOPSOIL W/ ROOTS  
 10'-32" BROWN SANDY LOAM  
 32"-60" MODERATELY COMPACT GRAY FINE SAND W/ PEBBLES  
 NO WATER, NO LEDGE, NO MOTTLING  
 RESTRICTIVE @ 32", ROOTS TO 34"

**TP#4**  
 0'-10" TOPSOIL W/ ROOTS  
 10'-52" BROWN SANDY LOAM  
 52'-80" MODERATELY COMPACT GRAY VERY FINE SAND  
 NO WATER, NO LEDGE, NO MOTTLING  
 RESTRICTIVE @ 52", ROOTS TO 54"

## PERCOLATION TEST RESULTS

PERCOLATION TESTS WERE PERFORMED ON MARCH 3, 2022 BY BOUNDARIES, LLC.

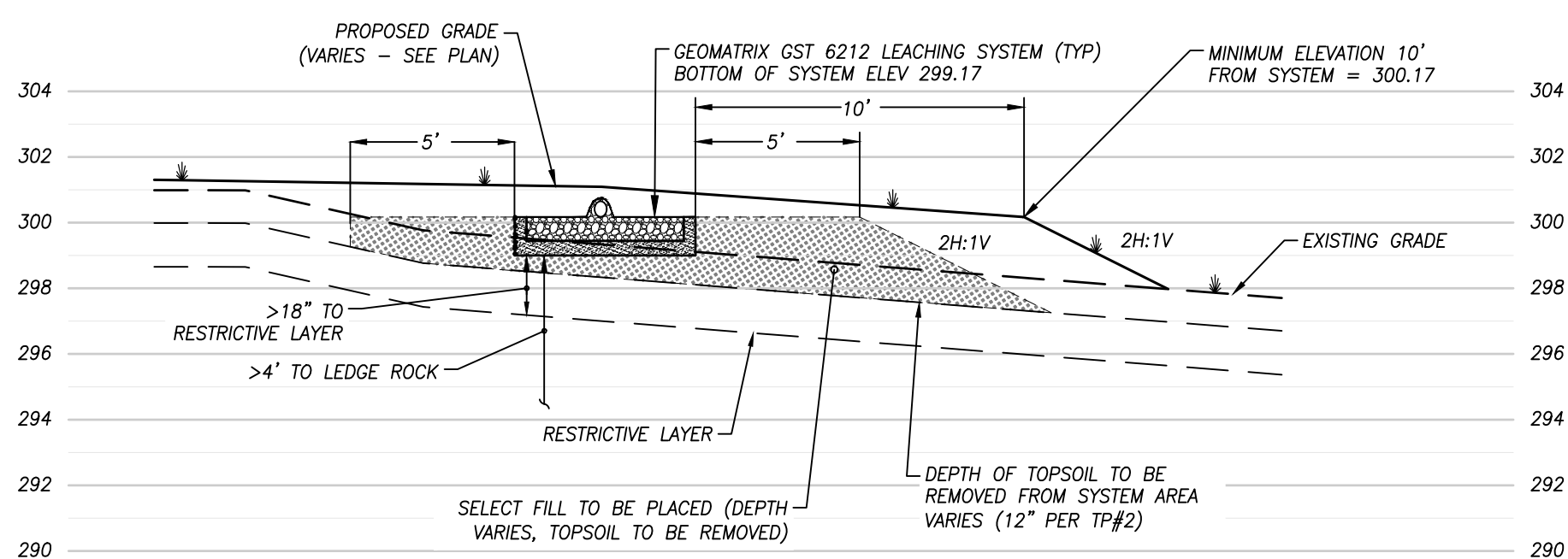
PT#1		PT#2	
DEPTH = 24"		DEPTH = 24"	
PRESOAK @ 1:28		PRESOAK @ 1:25	
TIME	READING	TIME	READING
2:28	2-1/2"	2:25	4"
2:33	4-3/4"	2:30	7-1/2"
2:38	6-3/4"	2:35	9-3/4"
2:43	8-1/4"	2:40	11-3/4"
2:48	9-1/2"	2:45	12-3/4"
2:53	10-1/2"	2:50	14"
2:58	11-3/4"	2:55	15"
3:03	13"	3:00	15-3/4"
3:08	13-3/4"	3:05	16-3/4"
3:13	14-3/4"	3:10	17-3/4"
3:18	15-1/2"	3:15	18-1/2"
3:23	16-1/4"	3:20	19-1/4"

PERCOLATION RATE AT 24" DEPTH = 6.7 MINUTES/INCH  
 PERCOLATION RATE AT 24" DEPTH = 6.7 MINUTES/INCH

## SANITARY DESIGN CRITERIA

PROPOSED 4-BEDROOM HOUSE  
 DESIGN PERCOLATION RATE = 6.7 MINUTES/INCH  
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE (495 + 82.5)  
 DESIGN: 1,500 GALLON SEPTIC TANK AND 1 ROW OF 58' OF GEOMATRIX GST 6212 LEACHING MEDIA INSTALLED PER MANUFACTURER'S REQUIREMENTS  
 LEACHING AREA PROVIDED = 580 SF EFFECTIVE (58 LF X 10.0 SF/LF)  
 100% RESERVE AREA PROVIDED (1 ROW OF 58' OF GEOMATRIX GST 6212 LEACHING MEDIA INSTALLED PER MANUFACTURER'S REQUIREMENTS)

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATION  
 HYDRAULIC GRADIENT = 6.6%  
 RECEIVING SOIL (PER TP#1) = 28"  
 HYDRAULIC FACTOR = 1.75  
 FLOW FACTOR FOR 4 BEDROOMS = 1.0  
 PERCOLATION FACTOR FOR UP TO 10.0 MIN/INCH = 49"  
 MLSS REQUIRED = 58"  
 MLSS PROVIDED = 58"



LEACHING SYSTEM CROSS SECTION A-A

SCALE: 1"=5' (HORIZONTAL & VERTICAL)

## SANITARY NOTES

- THIS SEPTIC SYSTEM INSTALLATION INCLUDING ALL MATERIALS (PIPING, SEPTIC TANK, STONE, FILL, ETC.) USED FOR THIS SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT EDITION/REVISION OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS REVISED JANUARY 2018 OF THE CONNECTICUT PUBLIC HEALTH CODE BY THE STATE OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH.
- THE PROPOSED BUILDING SEWER FROM THE BUILDING TO THE SEPTIC TANK SHALL BE SCHEDULE 40 PVC ASTM D 1785/ASTM D 2665 OR APPROVED EQUAL AND INDICATED IN TABLE NO. 2 OF TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. ALL OTHER GRAVITY SEWER PIPE FOR THIS SEPTIC SYSTEM SHALL BE 4" PVC ASTM D3034, SDR 35 WITH RUBBER COMPRESSION GASKET OR BELL AND SPIGOT OR APPROVED EQUAL.
- THERE ARE NO WELLS (POTABLE, GEOTHERMAL, OR IRRIGATION) WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM. THERE ARE NO SEPTIC SYSTEMS WITHIN 75' OF THE PROPOSED WELL. THERE SHALL BE NO STUMPS OR BOULDERS BURIED WITHIN 50' DOWN GRADIENT OF THE SEPTIC SYSTEM. SHOULD ANY SIGNIFICANT VARIATIONS FROM THE TEST HOLE DATA BE ENCOUNTERED DURING EXCAVATIONS (LEDGE, GROUNDWATER, MOTTLING, SOIL TYPE, ETC.), THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF THE SEPTIC SYSTEM.
- ALL EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- SELECT FILL FOR THIS SEPTIC SYSTEM SHALL MEET THE FOLLOWING SPECIFICATIONS:
  - 100% OF FILL SHALL PASS THROUGH A 3" SIEVE.
  - MAXIMUM % OF GRAVEL (BETWEEN #4 & 3" SIEVE) = 45%.
  - GRADATION OF FILL WITHOUT THE GRAVEL SHALL MEET THE FOLLOWING CRITERIA:
 

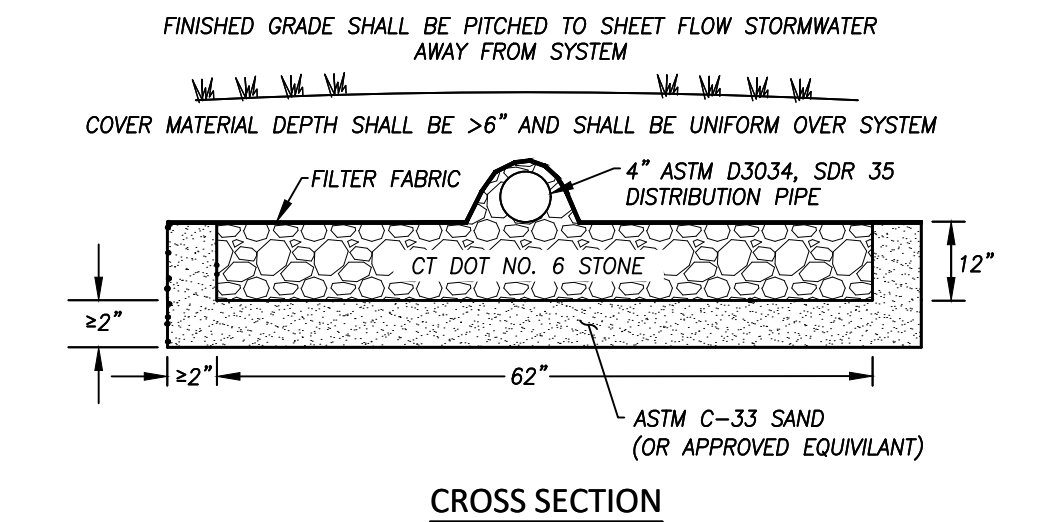
SIEVE SIZE	% PASSING (WET)	% PASSING (DRY)
#4	100%	100%
#10	70 - 100%	70 - 100%
#40	10 - 50%*	10 - 75%
#100	0 - 20%	0 - 5%
#200	0 - 5%	0 - 2.5%

- \* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- PERCOLATION RATE AFTER PLACEMENT AND COMPACTION SHALL BE FASTER THAN OR EQUAL TO 10.0 MINUTES/INCH. A WET OR DRY SIEVE ANALYSIS MAY BE REQUIRED PRIOR TO FILL PLACEMENT TO VERIFY THAT IT MEETS THESE SPECIFICATIONS. THE FILL SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT/DISTRICT OR DESIGN ENGINEER PRIOR TO ITS PLACEMENT ON SITE.
- APPROVED STONE AGGREGATE MEANS CRUSHED OR BROKEN STONE OR CRUSHED AND UNCRUSHED GRAVEL MEETING THE GRADATION FOR NO. 6 (3/4" STONE) AGGREGATE PER DEPARTMENT OF TRANSPORTATION #16 SPECIFICATION M.01.01 (LATEST REVISION), AND THE #40 AND #200 SIEVE GRADATION STIPULATED IN SECTION VII A, BASED ON A WET SIEVE ANALYSIS. STONE AGGREGATE SHALL BE FREE OF SILT, DIRT OR DEBRIS, AND SHALL SHOW A LOSS OF ABRASION OF NOT MORE THAN 50% USING AASHTO METHOD T-96, AND WHEN TESTED FOR SOUNDNESS USING AASHTO METHOD T-104 NOT HAVE A LOSS OF MORE THAN 15% AT THE END OF 5 CYCLES.

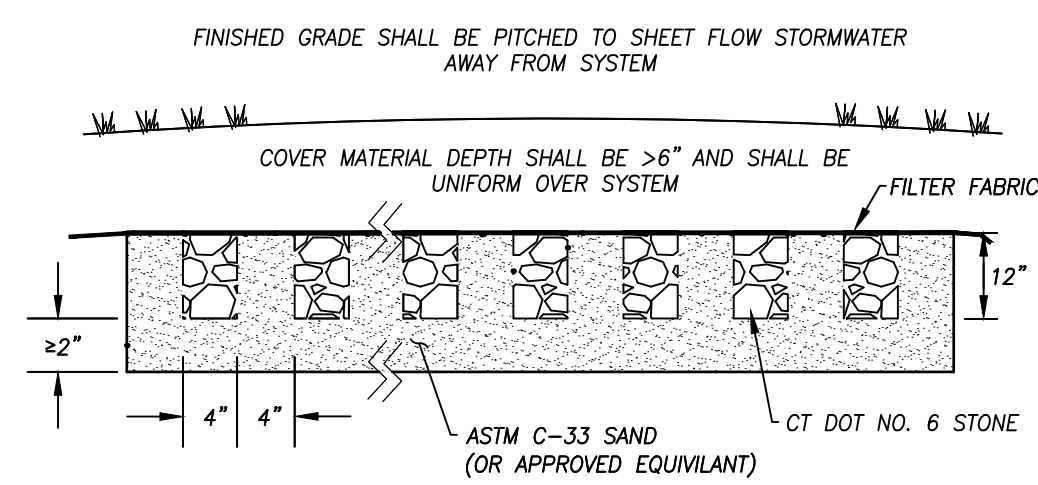
- NO. 6 AGGREGATE
 

SIEVE SIZE	% PASSING
2 INCH	N/A
1.5 INCH	N/A
1 INCH	100%
3/4 INCH	90 - 100%
1/2 INCH	20 - 55%
3/8 INCH	0 - 15%
#4	0 - 5%
#40	0 - 3%
#200	0 - 1.5%

- NO DEVIATION FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LOCAL HEALTH DEPARTMENT/DISTRICT AND THE DESIGN ENGINEER.
- THE SEPTIC TANK SHALL BE PRECAST CONCRETE UNLESS OTHERWISE AUTHORIZED BY THE DESIGN ENGINEER. THE SEPTIC TANK SHALL BE WATER TIGHT AS VERIFIED BY THE LOCAL HEALTH DEPARTMENT/DISTRICT (VACUUM TEST OR WATER PRESSURE TEST) IN ACCORDANCE WITH SECTION V.8.6 OF THE TECHNICAL STANDARDS. IF RISER ASSEMBLIES ARE UTILIZED OVER CLEANOUT OPENINGS, THE COVERS SHALL BE LEFT ON THE TANK. RISER COVERS SHALL WEIGH AT LEAST 59 POUNDS AND A SECONDARY SAFETY LID OR DEVICE SHALL BE PROVIDED INSIDE THE RISER.
- THIS SEPTIC SYSTEM HAS NOT BEEN SIZED TO INCLUDE CAPACITY FOR A GARBAGE GRINDER OR LARGE TUB. A GARBAGE GRINDER OR LARGE TUB SHALL NOT BE USED IN THE RESIDENCE WITHOUT INCREASING THE SIZE OF THE SEPTIC TANK. IF A GARBAGE GRINDER OR LARGE TUB IS DESIRED THEN THE SEPTIC TANK SIZE SHALL BE INCREASED IN ACCORDANCE WITH SECTION V.8.4 OF THE TECHNICAL STANDARDS. WATER TREATMENT WASTEWATER (WATER SOFTENERS) SHALL NOT BE DISCHARGED TO THIS SEPTIC SYSTEM.
- SITE PREPARATION PROCEDURE FOR THE INSTALLATION OF THE PROPOSED SEPTIC SYSTEM (AN AUTHORIZED REPRESENTATIVE OF GEOMATRIX SYSTEMS, LLC MUST BE PRESENT UNLESS THE CONTRACTOR IS CERTIFIED BY GEOMATRIX SYSTEMS):
  - SYSTEM SHALL BE FIELD STAKED BY A LICENSED LAND SURVEYOR.
  - PREPARE SITE AND REMOVE ANY TREES WITH A DRIP LINE WITHIN 10 FEET OF THE LEACHING SYSTEM.
  - STRIP ALL TOPSOIL, VEGETATION, ORGANIC MATERIAL, AND PREVIOUSLY PLACED FILL MATERIAL IN THE AREA OF AND 5' SURROUNDING THE PRIMARY LEACHING TRENCH.
  - USING A HEAVY RAKE OR EQUAL, THOROUGHLY SCARIFY AND ROUGHEN UP THE EXPOSED SUBSOIL. PREVENT ANY VEHICULAR TRAFFIC, BACKHOE, TRUCKS, ETC. FROM SMOOTHING/COMPACTING THIS EXPOSED SUBSOIL.
  - PLACE AND COMPACT SELECT FILL MATERIAL MEETING SPECIFICATIONS INDICATED ABOVE (NOTE #5) IN LIFTS OF NOT GREATER THAN 12-INCHES IN THE AREA OF THE PROPOSED LEACHING TRENCHES UP TO AT LEAST THE ELEVATION OF THE TOP OF THE LEACHING TRENCH.
  - PERFORM AT LEAST 1 PERCOLATION TEST ON PLACED FILL. FILL MUST HAVE A PERCOLATION RATE EQUAL TO OR FASTER THAN THAT AS INDICATED IN NOTE #5.E. IF PERCOLATION RATE IS SLOWER THAN THAT RATE, ALL FILL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MEETING PROPER SPECIFICATIONS.
  - EXCAVATE TRENCH TO A DEPTH OF 2" BELOW THE BOTTOM OF THE GST FORM. TRENCH WIDTH SHOULD BE A MINIMUM OF 70". RAKE/SCARIFY SIDEWALLS AND BOTTOM OF TRENCH TO ADDRESS AND SMEARING OF FINES, AND PROTECT TRENCH FROM COMPACTION.
  - PLACE A MINIMUM OF 2" ASTM C-33 SAND OR APPROVED EQUIVALENT (SAND) IN THE BOTTOM OF THE EXCAVATION TO SERVE AS A BASE FOR THE GST FORM. RAKE, LEVEL, AND UNIFORMLY COMPACT IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
  - SET THE GST FORMS IN THE CENTER OF THE TRENCH.
  - PLACE COVERS OVER ENTIRE CENTER STONE CHANNEL AND ALTERNATING STONE FINGER COMPARTMENTS IN THE FORMS AND UNIFORMLY COMPACT.
  - REMOVE COVERS FROM THE CENTER STONE CHANNEL AND STONE FINGER COMPARTMENTS AND PLACE CLEAN DOT #6 (3/4") CRUSHED STONE INTO THE GST FORMS.
  - INSURE THAT SAND AND BACKFILL MATERIALS ARE COMPACTIONED TO PREVENT SETTLEMENT.
  - INSTALL APPROVED DISTRIBUTION PIPING ON TOP OF THE 12" CENTRAL STONE CHANNEL.
  - PLACE STONE AROUND THE DISTRIBUTION PIPE AND COVER SYSTEM WITH APPROVED FILTER FABRIC.
  - BACKFILL SYSTEM AND INSURE UNIFORM COVER (MINIMUM 6") AND COMPACTION OVER SYSTEM.
  - PROVIDE A MINIMUM OF 6" OF LOAM IN LAWN AREAS, GRADE TO PREVENT PONDING AND SEED WITH GRASS TO STABILIZE. THE FINISHED GRADE 10' FROM ANY PART OF THE PROPOSED LEACHING TRENCHES SHALL BE AT LEAST THE SAME ELEVATION AS THE TOP OF THE RESPECTIVE LEACHING TRENCH.
  - CLEANOUT MANHOLES AT THE INLET BAFFLE AND AT THE OUTLET FILTER OF THE SEPTIC TANK OR ASSOCIATED RISERS AT THESE LOCATIONS IF REQUIRED SHALL BE LOCATED AT A DEPTH NOT GREATER THAN 12" BELOW FINAL GRADE.
  - BENCHMARK SHALL BE LOCATED IN THE AREA OF DEVELOPMENT PRIOR TO THE START OF CONSTRUCTION.



CROSS SECTION

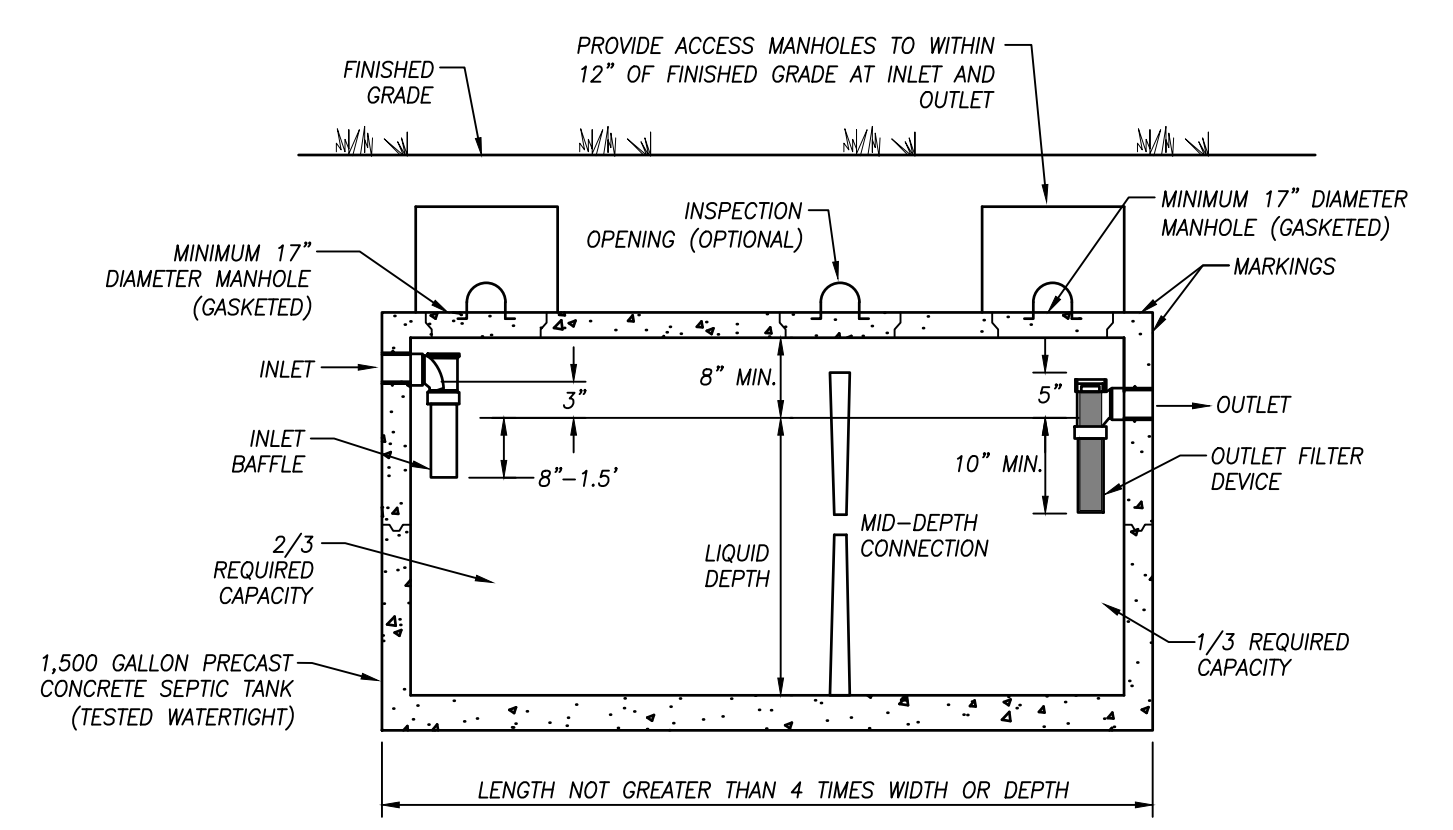


PROFILE

NOTE: INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.

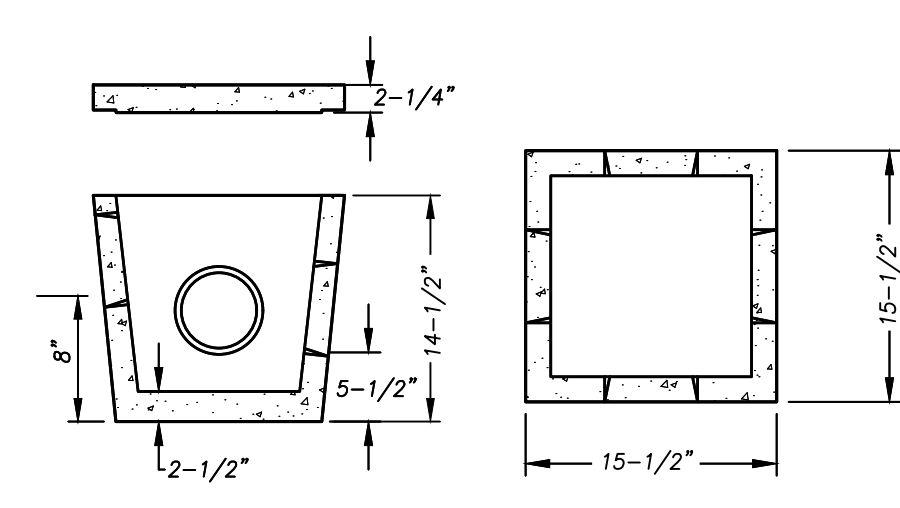
## GEOMATRIX GST 6212 DETAIL

NOT TO SCALE



CONCRETE SEPTIC TANK DETAIL

NOT TO SCALE



D-BOX DETAIL

NOT TO SCALE

NOTE: USE 4HDBOX BY JOLLEY PRECAST, INC. OR APPROVED EQUAL

SCALE:	As Noted
DATE:	March 2022
JOB I.D. NO.	21-3100
	Revisions

SHEET NO.	3
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INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONNECTICUT

Date 7/6/22

Application # 041222E

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT Devin Gibson MAILING ADDRESS 3 Moose Run Hill Rd West Gtly 06088  
APPLICANT'S INTEREST IN PROPERTY Septic PHONE 860 752 2148 EMAIL DBG\_Construction@yahoo.com  
PROPERTY OWNER IF DIFFERENT Norman Edward Estate of c/o Pauline Edward PHONE 860 724 0510  
MAILING ADDRESS 63 Ventura Ave Brooklyn EMAIL paulinesmond@yahoo.com  
ENGINEER/SURVEYOR (IF ANY) NA  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS 14 Hugh Drive Brooklyn  
MAP # 36 LOT # 31 ZONE R30 TOTAL ACRES 1.0 ACRES OF WETLANDS ON PROPERTY \_\_\_\_\_

PURPOSE AND DESCRIPTION OF THE ACTIVITY Failed septic system, new system to be constructed

WETLANDS EXCAVATION AND FILL:  
FILL PROPOSED 0 CUBIC YDS 0 SQ FT 0  
EXCAVATION PROPOSED 0 CUBIC YDS 0 SQ FT 0  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE X OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT 1375 ACRES 0.03

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): No other placement due to lot size and well placement. Silt fence will be put in place before work.

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY 0 SQ FT 0 ACRES 0

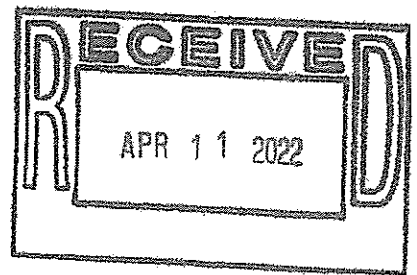
IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? No IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? No

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: \_\_\_\_\_ DATE 7/6/22

OWNER: Pauline Edward DATE 7/8/22





### Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:  
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106  
Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency

#### PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
- ACTION TAKEN (see instructions - one code only): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? yes  no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

#### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): Brooklyn  
does this project cross municipal boundaries (check one)? yes  no   
if yes, list the other town(s) in which the activity is occurring (print name(s)): Nr
- LOCATION (see instructions for information): USGS quad name: Danielson or number: 3710  
subregional drainage basin number: 3710
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Deon Gibson
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): 14 Hugh drive  
briefly describe the action/project/activity (check and print information): temporary  permanent  description: SEPTIC REPAIR
- ACTIVITY PURPOSE CODE (see instructions - one code only): A
- ACTIVITY TYPE CODE(S) (see instructions for codes): 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):  
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): .03 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

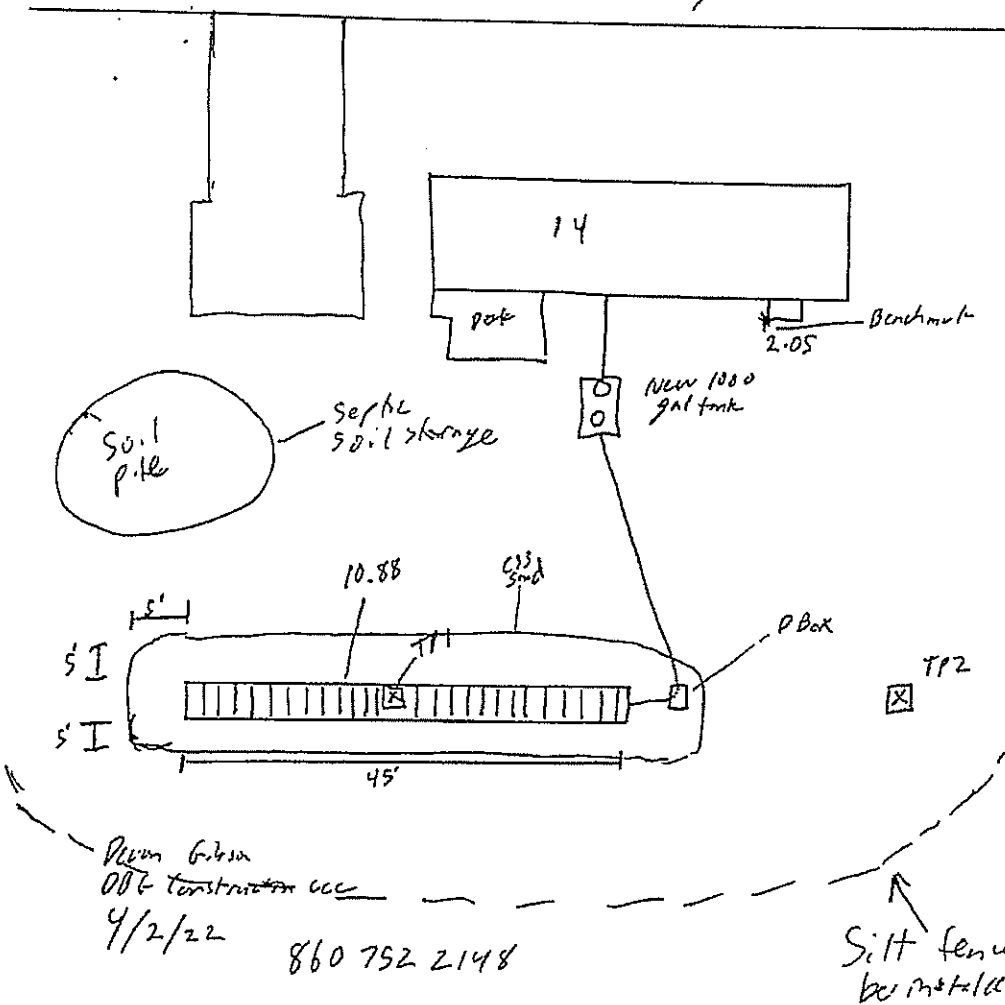
#### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

# Hugh Price



- New 1000 gallon Septic tank
- New Sch 40 pipe from house to tank
- New 4" SPR 75 pipe from tank to D Box
- Strip and security Septic Area. 8'6" x 15'
- Remove all organics / topsoil
- Haul in C33 Sand for new system
- Install Manhole 536-8 units - 45'
- Bottom of system no deeper than 0 inches at 10.88
- System Level
- Backfill system with select fill.
- Grade & seed area

Perry Gibson  
 DBE construction LLC  
 4/2/22  
 860 752 2148

Silt fence to be installed



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

April 04, 2022

Norman Emond Estate of c/o Pauline Emond  
14 Hugh Drive  
Brooklyn, CT 06234

**SUBJECT: FILE #6000280 -- HUGH DRIVE #14, MAP #36, LOT #31, BROOKLYN, CT**

Dear Norman Emond Estate of c/o Pauline Emond:

The subject plan (DEVON GIBSON, EMOND, DRAWN 04/02/2022) submitted on 04/04/2022 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 3-bedroom house based on the following:

1. Installer must stake septic system with flowline or bottom of trench elevation marks on offsets.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations OR an Engineer's As-Built will be required.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

*Donovan Moe*

Donovan Moe, EHS  
Environmental Health Specialist ~ NDDH

cc: Brooklyn Building Official; Devon Gibson

# APPROVAL TO CONSTRUCT OR REPAIR SEWAGE DISPOSAL SYSTEM

NORTHEAST DISTRICT DEPARTMENT OF HEALTH  
69 SOUTH MAIN STREET UNIT 4  
BROOKLYN, CT  
860-774-7350

Approval is hereby granted for the construction/repair of a sewage disposal system at the property described below:

FILE # 6000280

MAP #36 LOT #31

TOWN: BROOKLYN

INSTALLER: DEVON GIBSON (SIG ON FILE)

STREET: 14 HUGH DRIVE

CT LIC #6201 EXPIRES: 06/30/2022

PROPERTY OWNER: CNG HOLDINGS (JIM WEST)

APPRENTICE:

Residential: No. of Bedrooms: 3 Non-Residential: Design Flow: 0 Gallons Per Day (GPD)

## INSTRUCTIONS FOR INSTALLER

1. Construction plot plan submitted and approved by this office must be adhered to.
2. This office must be contacted for approval if any change is going to be made in the system location, size or design, or any changes in house, well or property line locations.
3. Any **NEW** sewage disposal system must conform to **ALL** requirements of Section 19-13-BI03 of the CT Public Health Code.
4. **ALL** new construction to be under **DIRECT** supervision of a CT licensed installer under Section 20-341 of the CT General Statutes.
5. The installer is **RESPONSIBLE** for **VERIFYING LOCATIONS** of **PROPERTY LINES, WELLS,** and **BURIED UTILITY LINES** prior to construction.
6. Installer to notify N.D.D.H. 24 hours, in advance, prior to the start of construction.
7. Installer to have septic tank covers removed at the time of inspection.

## SPECIFIC INSTRUCTIONS:

- Install per plot plan. (Drawn By: Devon Gibson, DBG Construction LLC. Dated: 04/02/2022)
- Installer must stake septic system with flowline or bottom of trench elevation marks on offsets. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
- Install a 1,000-gallon two compartment septic tank with outlet baffle filter.
- Install 495 square feet of effective leaching area consisting of 1 45' row of Eljen Mantis 536-8.
- Maximum depth into existing grade not to exceed 0 inches.
- A current sieve analysis of select fill material (within past 30 days) must be submitted to NDDH.
- Select fill is to be perched once in place.
- Installer to schedule and be present for final inspection with NDDH staff and have level set up so that elevations may be verified.
- Installer's completed checklist and as-built drawing including ties to the house required.

GRANTED BY:

*Donovan Moe*  
Donovan Moe

DATE ISSUED: 04/04/2022

EXPIRES: 04/04/2023

ONE RENEWAL:   /  /  

EXPIRES:   /  /  

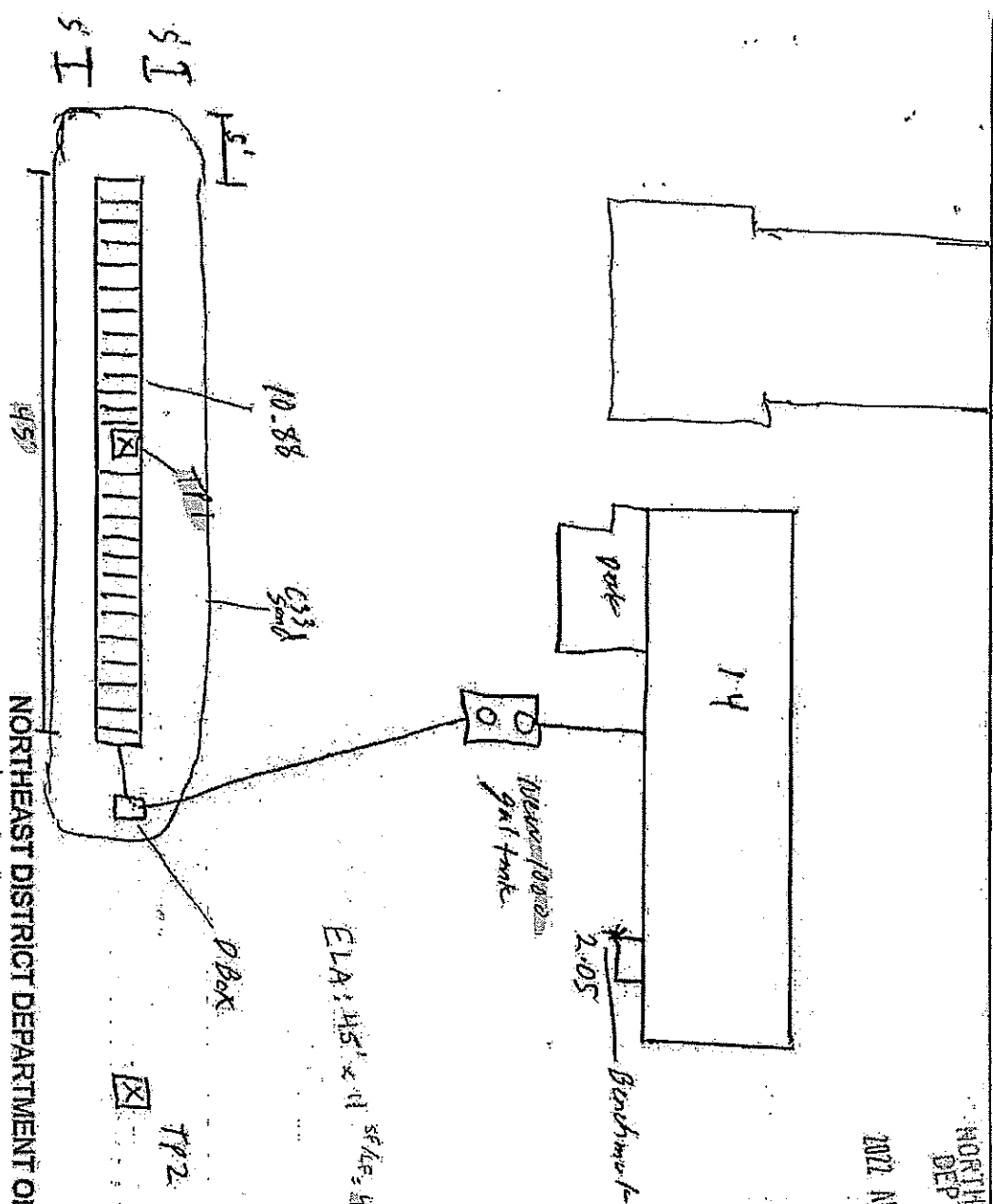
*Maureen Marcoux*  
Maureen Marcoux

THIS PERMIT IS VALID FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE, IN ACCORDANCE WITH THE CT PUBLIC HEALTH CODE SECTION 19-13-BI03a(F)(i). ONE RENEWAL IS POSSIBLE PROVIDED NDDH IS NOTIFIED PRIOR TO THE EXPIRATION DATE NOTED ABOVE. IF PERMIT EXPIRES, INSTALLERS ARE CHANGED, OR ANY OTHER DEVIATION FROM THE ORIGINAL PERMIT, A NEW APPLICATION MUST BE COMPLETED AND ALL APPLICABLE FEES MUST BE PAID.

Hugh River

NORTHEAST DISTRICT  
DEPT OF HEALTH

2012 APR -14 A 9:41A



ELA: 45' x 11' side, 495 sq ft

NORTHEAST DISTRICT DEPARTMENT OF HEALTH  
 FILE# 0000280 REV#      PLAN REC'D DATE 4/4/02  
 SITE PLAN A2 SURVEY T2 REDLINE      # OF COPIES 1  
 REVIEWED BY D. Gonzalez MISC      DATE 4/4/02  
 SENT TO STATE CIO      DATE     

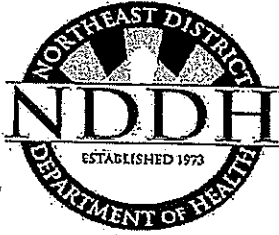
APPROVED  APPROVED-SEE LETTER  
 REJECTED  REVISION REQUIRED  
 RELEASE TO ENGINEER ONLY  PRELIMINARY COPIES TO ENGINEER

- New 1000 gallon Septic tank
- New 8" x 40 pipe from house to tank
- New 4" SPR 35 pipe from tank to D box
- Stop and security Septic
- Remove all organics from soil
- Haul in C33 Sand for new system
- Install 11 plants, 536-8 units - 45'
- Bottom of system no deeper than D boxes at 10.88'
- System Level
- Backfill system with select fill.
- Grade & seed area.

Ryan Gibson  
 O&C Construction LLC

4/2/22  
 860 752 2148





## INSTALLER CHECKLIST SEPTIC SYSTEM AS-BUILT

File # \_\_\_\_\_ Street Address \_\_\_\_\_  
Town \_\_\_\_\_ Map # \_\_\_\_\_ Block # \_\_\_\_\_ Lot# \_\_\_\_\_  
Number of Bedrooms \_\_\_\_\_ or Design Flow of Building \_\_\_\_\_  
Property Owner \_\_\_\_\_  
Installer \_\_\_\_\_ License # \_\_\_\_\_ Telephone # \_\_\_\_\_

### SEPTIC TANK

Manufacturer \_\_\_\_\_ Size \_\_\_\_\_ (gallons) New \_\_\_\_\_ Existing \_\_\_\_\_  
Outlet Filter Baffle Type \_\_\_\_\_ Risers - Size \_\_\_\_\_ Depth to cleanout \_\_\_\_\_  
Pump Chamber-Manufacturer \_\_\_\_\_ Size \_\_\_\_\_  
Pump Information \_\_\_\_\_

### LEACHING SYSTEM

Description \_\_\_\_\_  
Effective Area \_\_\_\_\_ Sq Ft Serial Distribution \_\_\_\_\_ Level System \_\_\_\_\_  
Curtain drain installed \_\_\_\_\_ Pumping required \_\_\_\_\_  
Bottom of leaching system \_\_\_\_\_ inches below final grade

### SEPARATION DISTANCES

Length of sewer line \_\_\_\_\_  
Distance between septic tank and foundation \_\_\_\_\_  
Distance between leach field and property line \_\_\_\_\_  
Distance to nearest ground or surface water drain \_\_\_\_\_  
Distance to nearest well \_\_\_\_\_  
Distance to public water line \_\_\_\_\_

Variances required: \_\_\_\_\_

Installer shall complete the above sections of this form and provide a sketch of the installed septic system with appropriate ties on the reverse side.

## SEPTIC SYSTEM AS-BUILT DRAWING

File # \_\_\_\_\_ Address \_\_\_\_\_

Location of System (N, S, E, W, Front, Back) Side of House \_\_\_\_\_

**To provide an accurate record of the entire septic system location, drawing should include all of the following information:**

Two corners of the building closest to the system, tank, house sewer, D-Boxes, trench ends, curtain drain, well, and any other features affecting the system.

Point	1	2	3	4	5	6	7	8	9	10
Distance from corner A										
Distance from corner B										
Distance from corner C										
Distance from corner D										

Installer's Signature \_\_\_\_\_ Date \_\_\_\_\_



necocog

14 Hugh Drive



0.0 0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1: 1,128






This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**Legend**

-  Town
-  Buildings 2012
-  Parcels

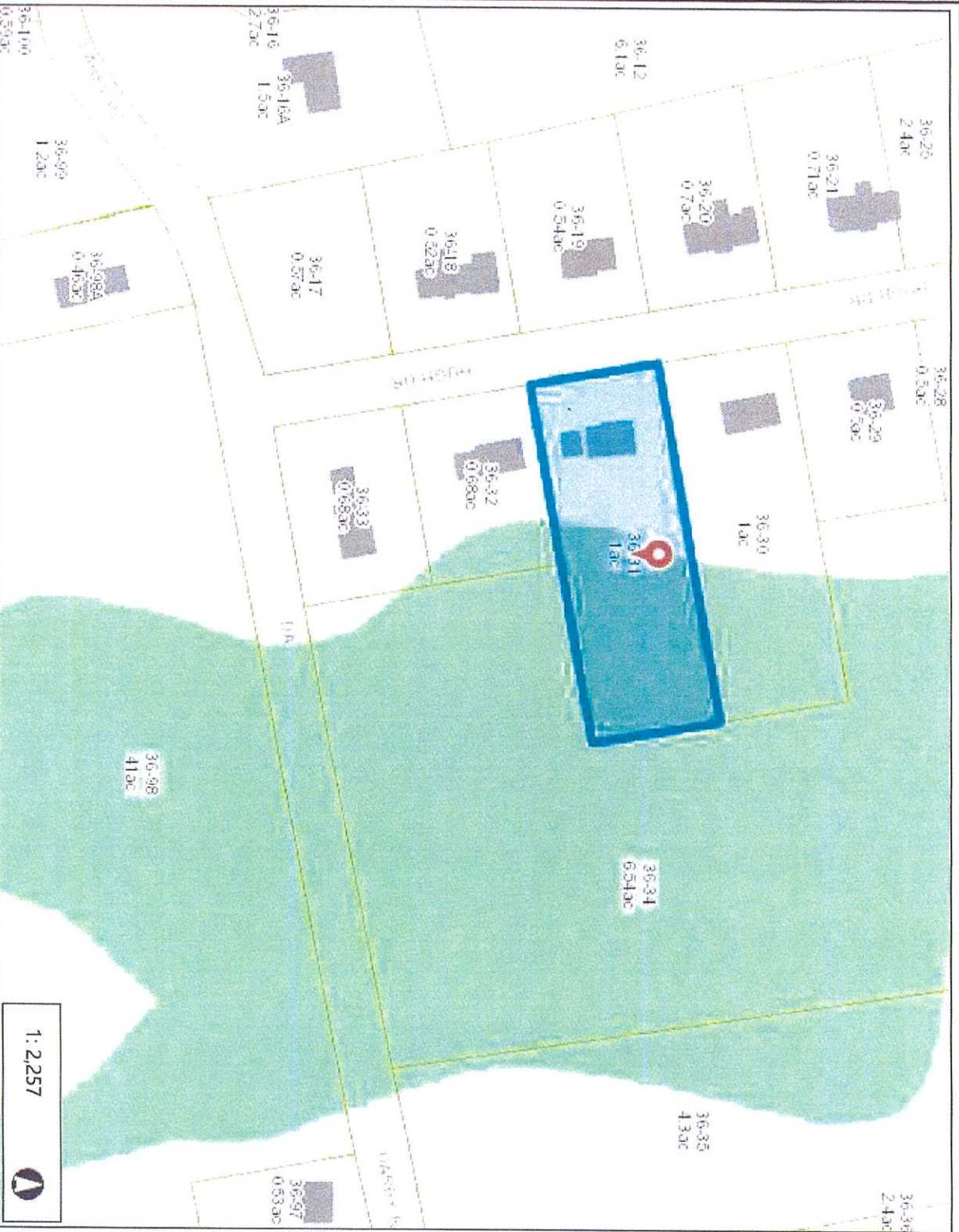
**Notes**

14 Hugh Drive



neccog

14 HUGH DRIVE



1: 2,257



Legend

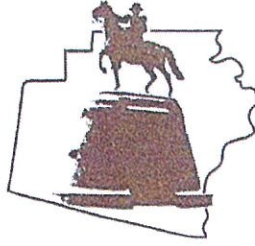
- Town
- Buildings 2012
- Parcels
- Wetlands
  - Alluvial and Floodplain Soils
  - Peony Drained and Very Peony Drk

Notes

14 Hugh Drive

This map is a user-generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands  Zoning Enforcement \_\_\_\_\_ Blight Enforcement \_\_\_\_\_

SITE INSPECTION NUMBER

1 2 3 4 5

14 Hugh Drive

6-8-22

Address

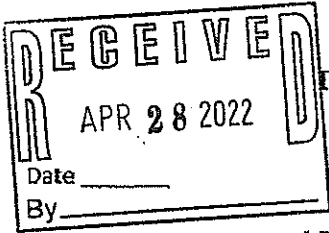
Date

I met Andy Bowen and Paulino Emond, inspected and took photos for a septic repair. There are no IWWC issues. Recommend approval.

Commission Representative M Washburn

Owner or Authorized Signature \_\_\_\_\_





INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONECTICUT

Application # 051022A

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT Brooklyn Sand & Gravel, LLC MAILING ADDRESS 42 Junior Avenue, Danielson, CT 06239  
APPLICANT'S INTEREST IN PROPERTY operator PHONE 860-774-5000 EMAIL wjolley@jolleyconcrete.net

PROPERTY OWNER IF DIFFERENT Wayne L. & Leslie A. Jolley PHONE 860-774-  
MAILING ADDRESS 42 Junior Avenue, Danielson, CT 06239 EMAIL wjolley@jolleyconcrete.net

ENGINEER/SURVEYOR (IF ANY) Provost & Rovero, Inc., P.O. Box 191, Plainfield, CT 06374  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS Wauregan Road, Route 205  
MAP # 30 LOT # 97 ZONE RA TOTAL ACRES 64+/- ACRES OF WETLANDS ON PROPERTY unknown

PURPOSE AND DESCRIPTION OF THE ACTIVITY  
continuation and expansion of gravel excavation and processing operations

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED none CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
EXCAVATION PROPOSED none CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE \_\_\_\_\_ OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT 0 ACRES 0

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED):  
none

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY 0 SQFT 0 ACRES 0

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN?  IF YES, WHICH TOWN(S) Killingly, Plainfield

IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? \_\_\_\_\_

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: Wayne Jolley DATE 4/28/22

OWNER: Wayne Jolley DATE 4/28/22

**REQUIREMENTS**

✓ APPLICATION FEE \$ 205<sup>00</sup> STATE FEE (\$60.00) \$ 60<sup>00</sup> CK # 16092

\$50 NOA

\_\_\_\_\_ COMPLETION OF CT DEEP REPORTING FORM

\_\_\_\_\_ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

\_\_\_\_\_ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

\_\_\_\_\_ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

\_\_\_\_\_ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

\_\_\_\_\_ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

**ADDITIONAL INFORMATION/ACTION NEEDED:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:**

APPLICATION TO STATE OF CONNECTICUT DEEP  
INLAND WATER RESOURCES DIVISION  
79 ELM ST.  
HARTFORD, CT. 06106  
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
696 VIRGINIA ROAD  
CONCORD, MA. 01742  
1-860-343-4789

**STAFF USE ONLY:**

\_\_\_\_\_ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

\_\_\_\_\_ PERMIT REQUIRED:

\_\_\_\_\_ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ AUTHORIZED BY IWWC

\_\_\_\_\_ SIGNIFICANT ACTIVITY/PUBLIC HEARING

\_\_\_\_\_ NO PERMIT REQUIRED

\_\_\_\_\_ OUTSIDE OF UPLAND REVIEW AREA

\_\_\_\_\_ NO IMPACT

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ TIMBER HARVEST





## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:  
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3<sup>rd</sup> Floor, Hartford, CT 06106

### PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (enter one year and month): Year \_\_\_\_\_ Month \_\_\_\_\_
- ACTION TAKEN (enter one code letter): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? Yes \_\_\_\_\_ No \_\_\_\_\_
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Brooklyn  
Does this project cross municipal boundaries (check one)? Yes \_\_\_\_\_ No X  
If Yes, list the other town(s) in which the action is occurring (type name(s)): \_\_\_\_\_
- LOCATION (see directions for website information): USGS Quad Map Name: Painfield or Quad Number: 58  
Subregional Drainage Basin Number: 3700
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Brooklyn Sand & Gravel, LLC
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): Waugan Road  
Briefly describe the action/project/activity (check and type information): Temporary \_\_\_\_\_ Permanent X  
Description: gravel excavation / processing
- ACTIVITY PURPOSE CODE (enter one code letter): D
- ACTIVITY TYPE CODE(S) (enter up to four code numbers): 2, 12, 14, \_\_\_\_\_
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):  
Wetlands: 0 acres      Open Water Body: 0 acres      Stream: 0 linear feet
- UPLAND AREA ALTERED (type in acres as indicated): 9.1 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

### PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

# Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

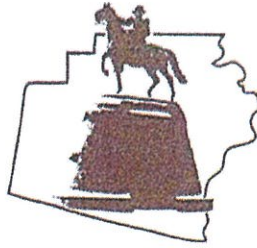
May 2, 2022

**Brooklyn Sand & Gravel LLC**

P & R Job #153082

## APPLICATION PACKAGE CONTENTS – Inland Wetlands Application

1. Application fee \$360.00 - ~~\$310~~ - \$200 \$60 state - \$50 Noa
2. Wetlands application form
3. DEEP activity reporting form
4. 5 copies of site plans dated 4/28/2022



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands  Zoning Enforcement  Blight Enforcement

SITE INSPECTION NUMBER

1 2 3 4 5

Brooklyn Sand and Gravel

6-7-22

Address

Date

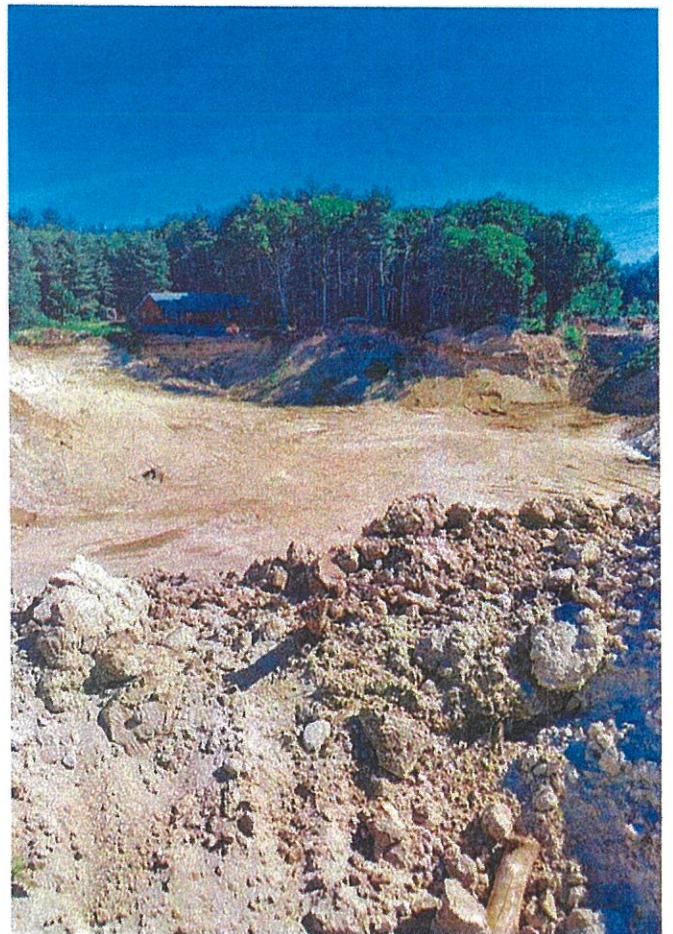
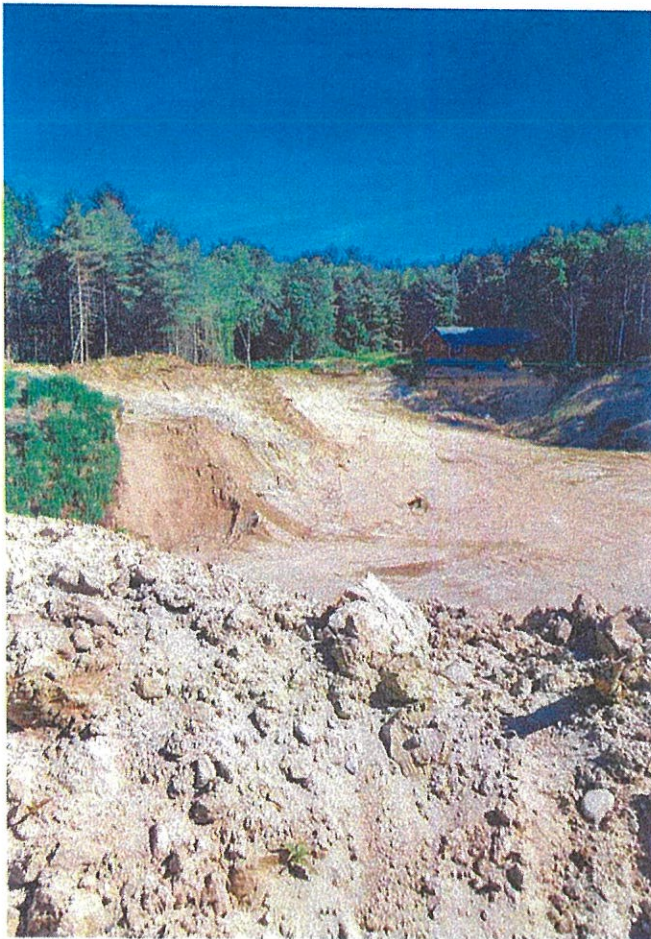
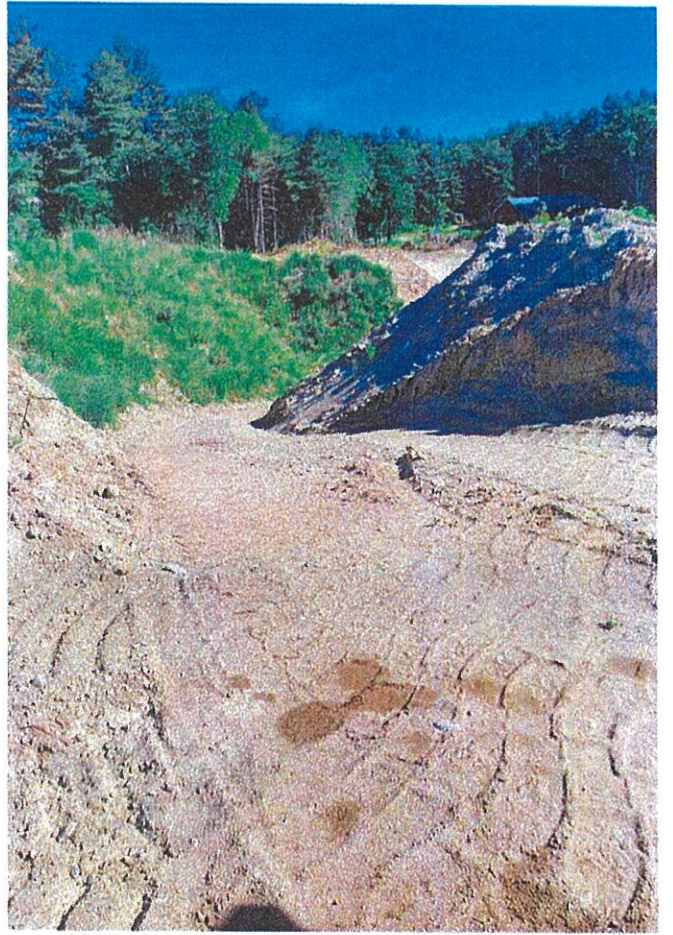
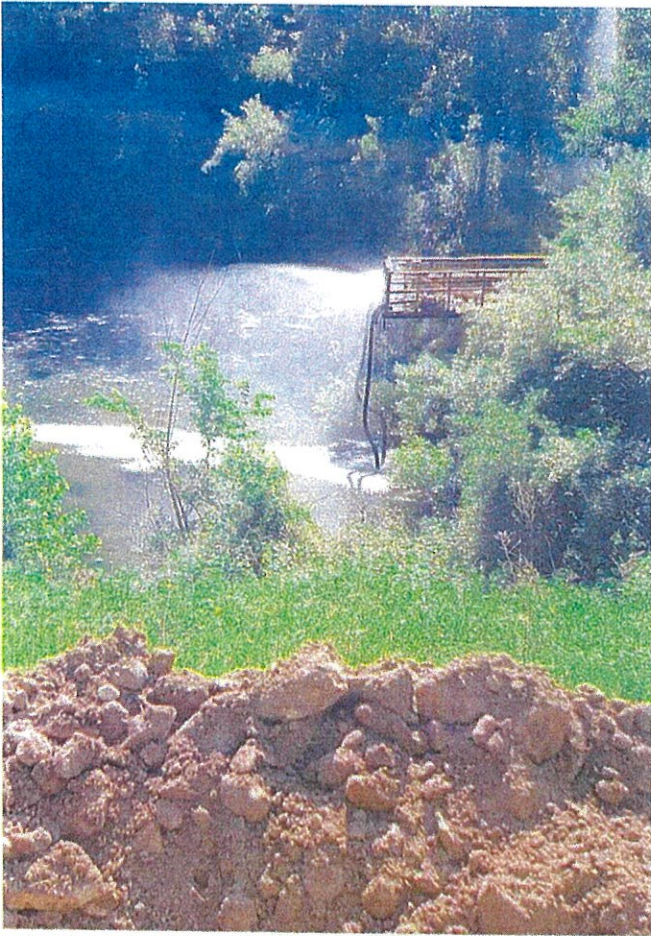
I met David Held, inspected and took photos for the IWWC permit application to renew the PZC permit for ongoing activities in upland review areas.

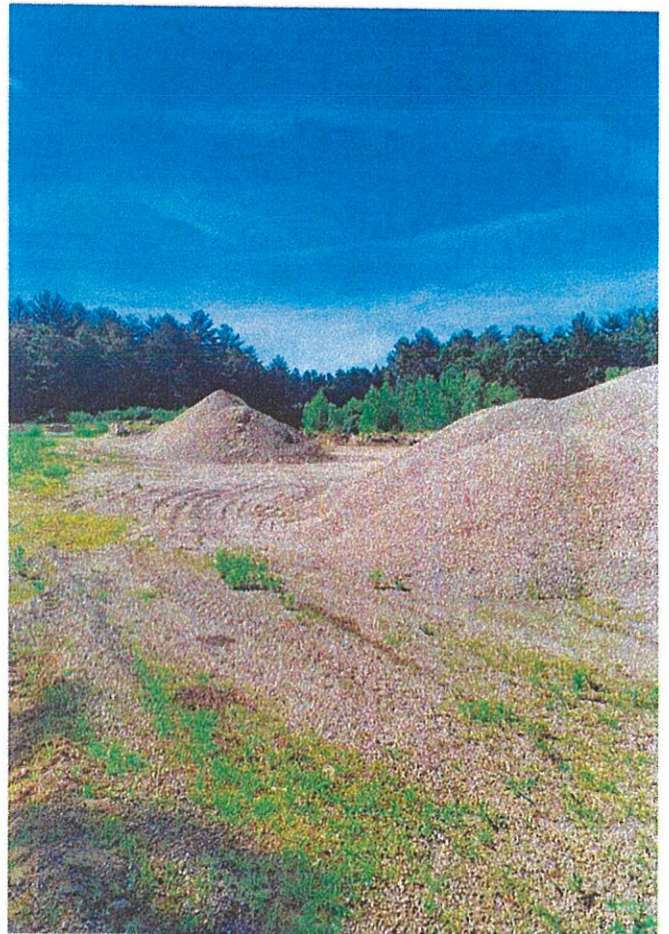
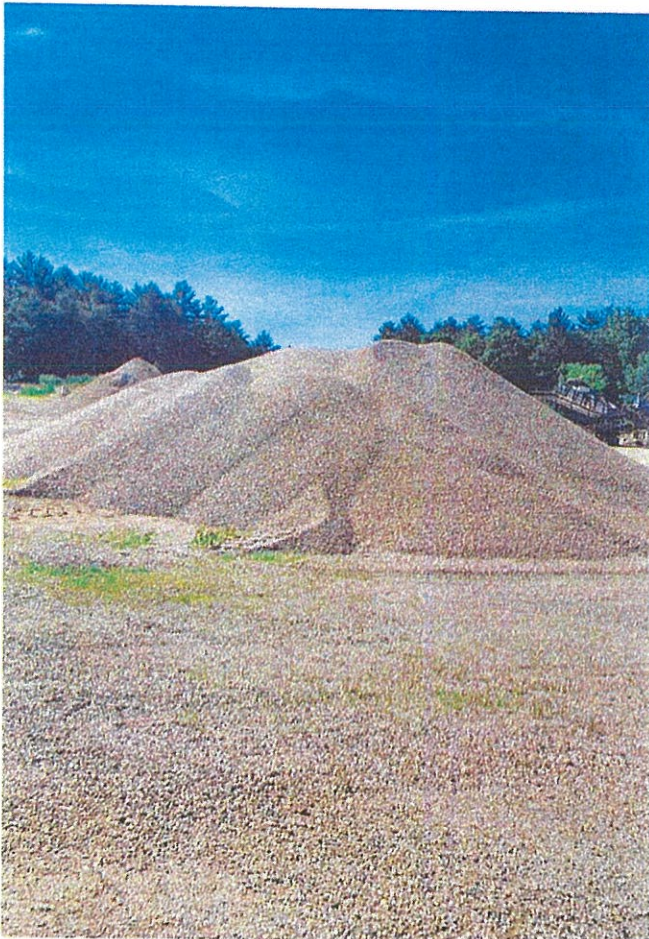
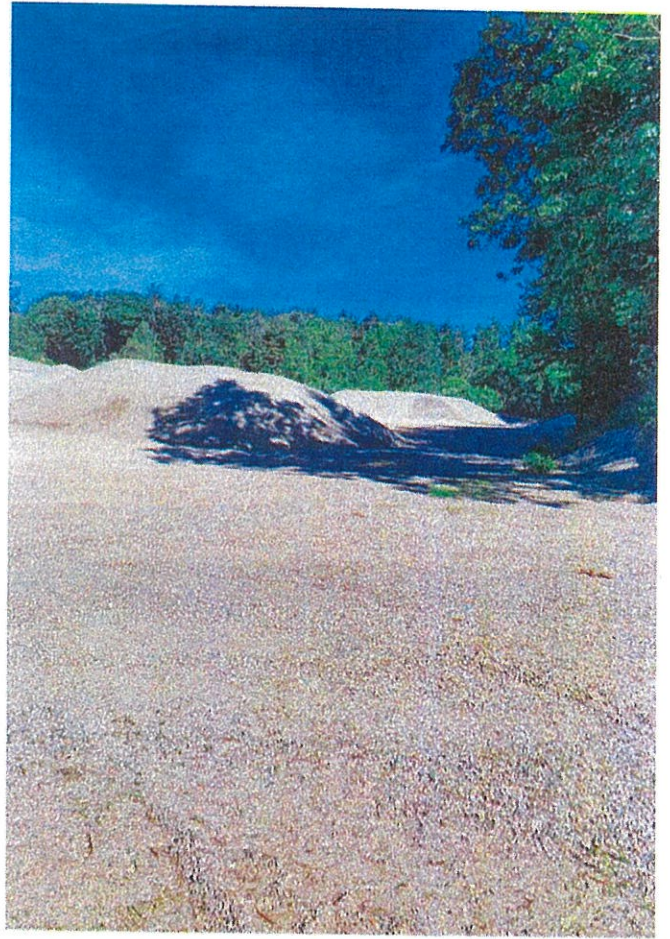
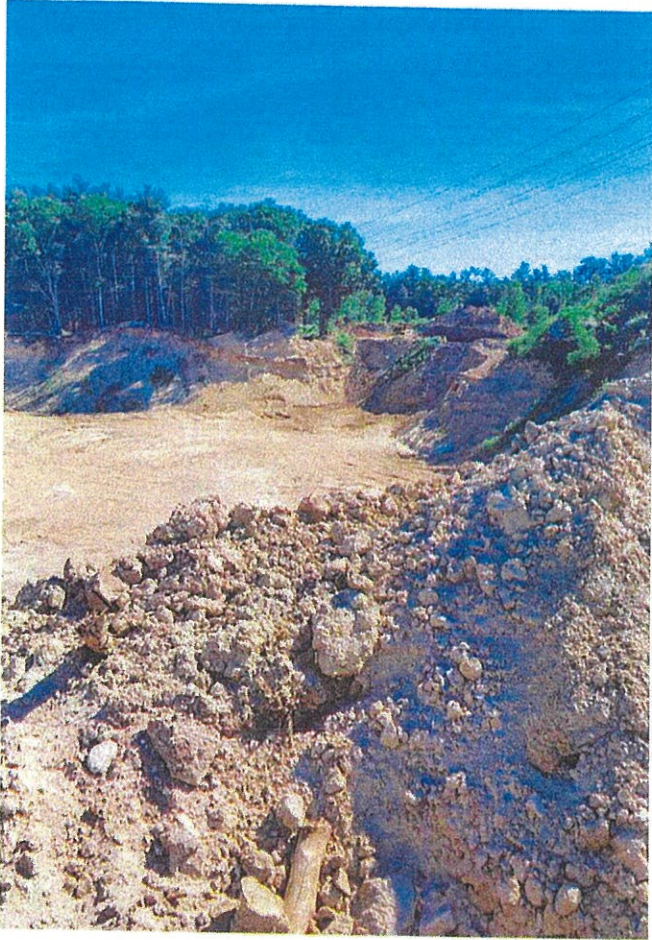
There is material being stockpiled in the upland review area to the Quinebaug River. There is a berm upslope of the pond where water from wash ponds is discharged. These are ongoing activities.

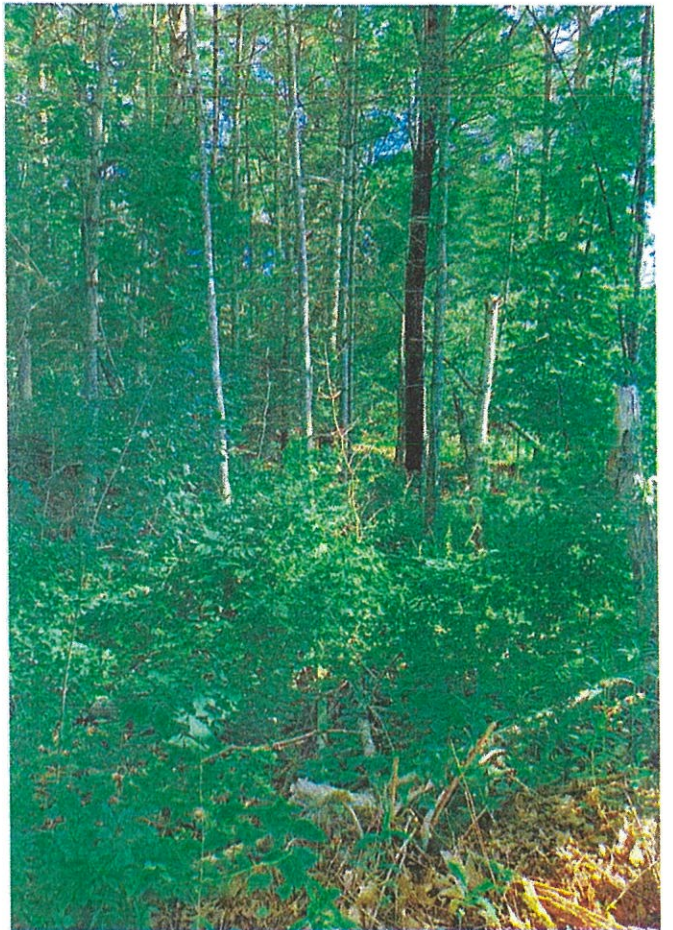
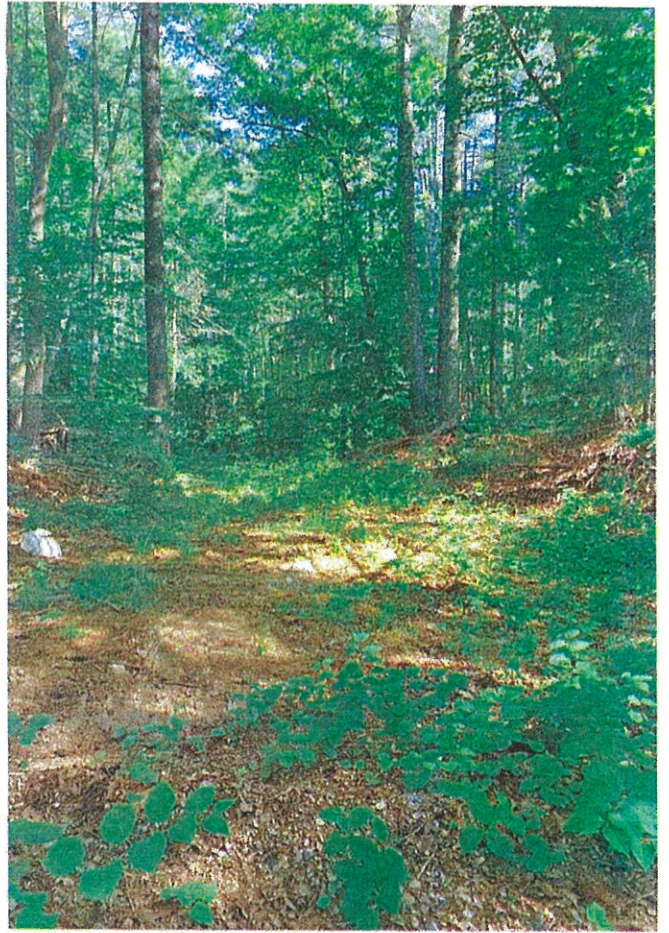
There are no IWWC problems at this time.

Commission Representative M. Washburn

Owner or Authorized Signature \_\_\_\_\_







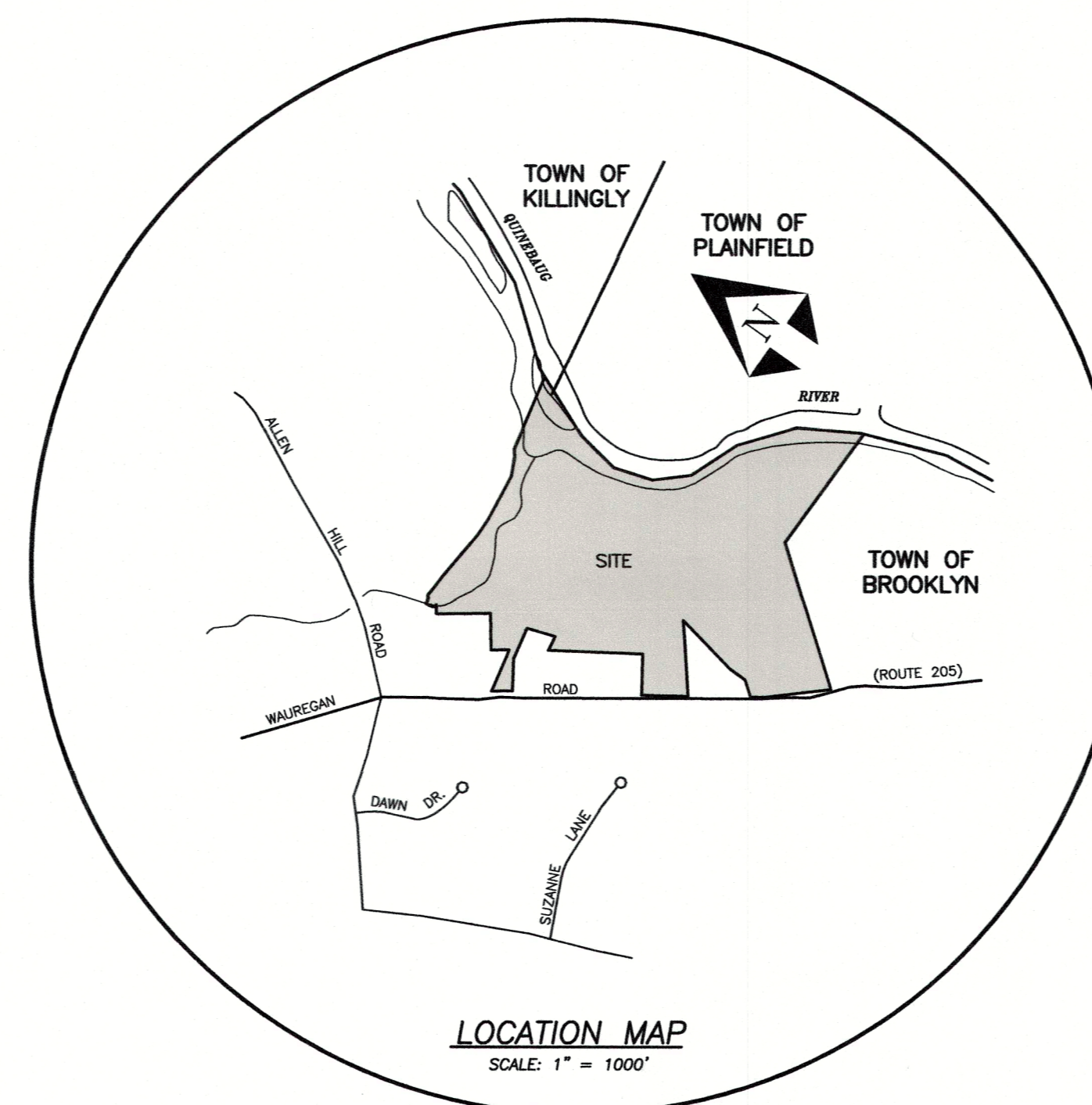
# PROPOSED GRAVEL EXCAVATION & PROCESSING OPERATION

WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

APPLICANT:  
**BROOKLYN SAND & GRAVEL, LLC**

**LEGEND**

#	WETLAND FLAG
○	IRON PIN RECOVERED
⊗	TEST PIT
~~~~~	EXISTING TREE LINE
- - - - -	EXISTING CONTOUR
- - - - -	EXISTING INDEX CONTOUR
— 100 —	PROPOSED CONTOUR
.....	PROPOSED EXCAVATION PHASE LIMITS
~~~~~	PROPOSED CLEARING LIMITS



INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
OVERALL SITE PLAN	2 OF 7
PROPOSED EXCAVATION PLAN No. 1	3 OF 7
PROPOSED EXCAVATION PLAN No. 2	4 OF 7
PROPOSED EXCAVATION PLAN No. 3	5 OF 7
SITE RESTORATION PLAN	6 OF 7
DETAIL SHEET	7 OF 7

PREPARED BY:

**Provost & Rovero, Inc.**  
Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering

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Plainfield, Connecticut 06374  
(860) 230-0856 - FAX: (860) 230-0860  
info@prorovinc.com  
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION

APRIL 28, 2022

APPROVED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING  
& ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

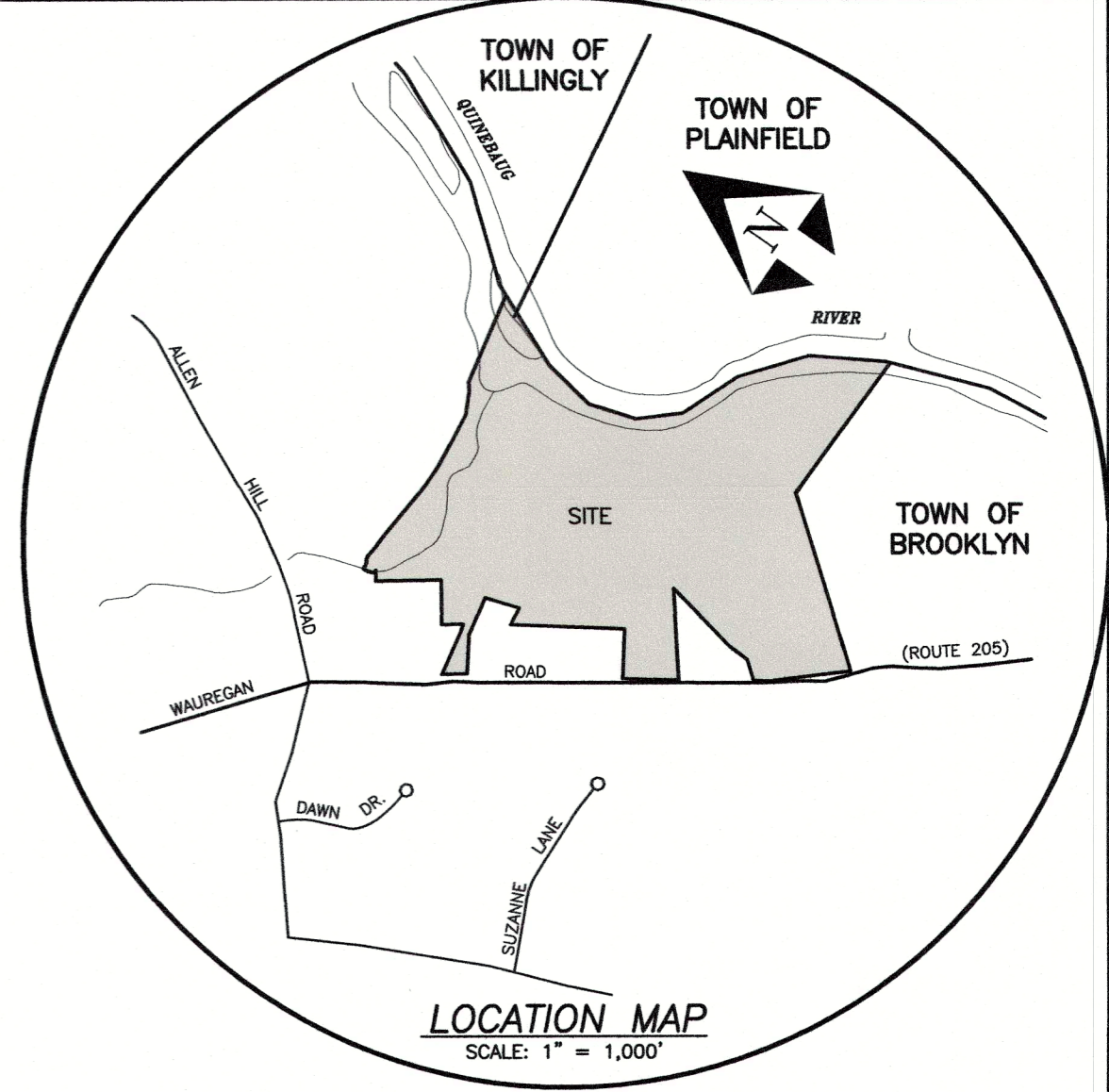
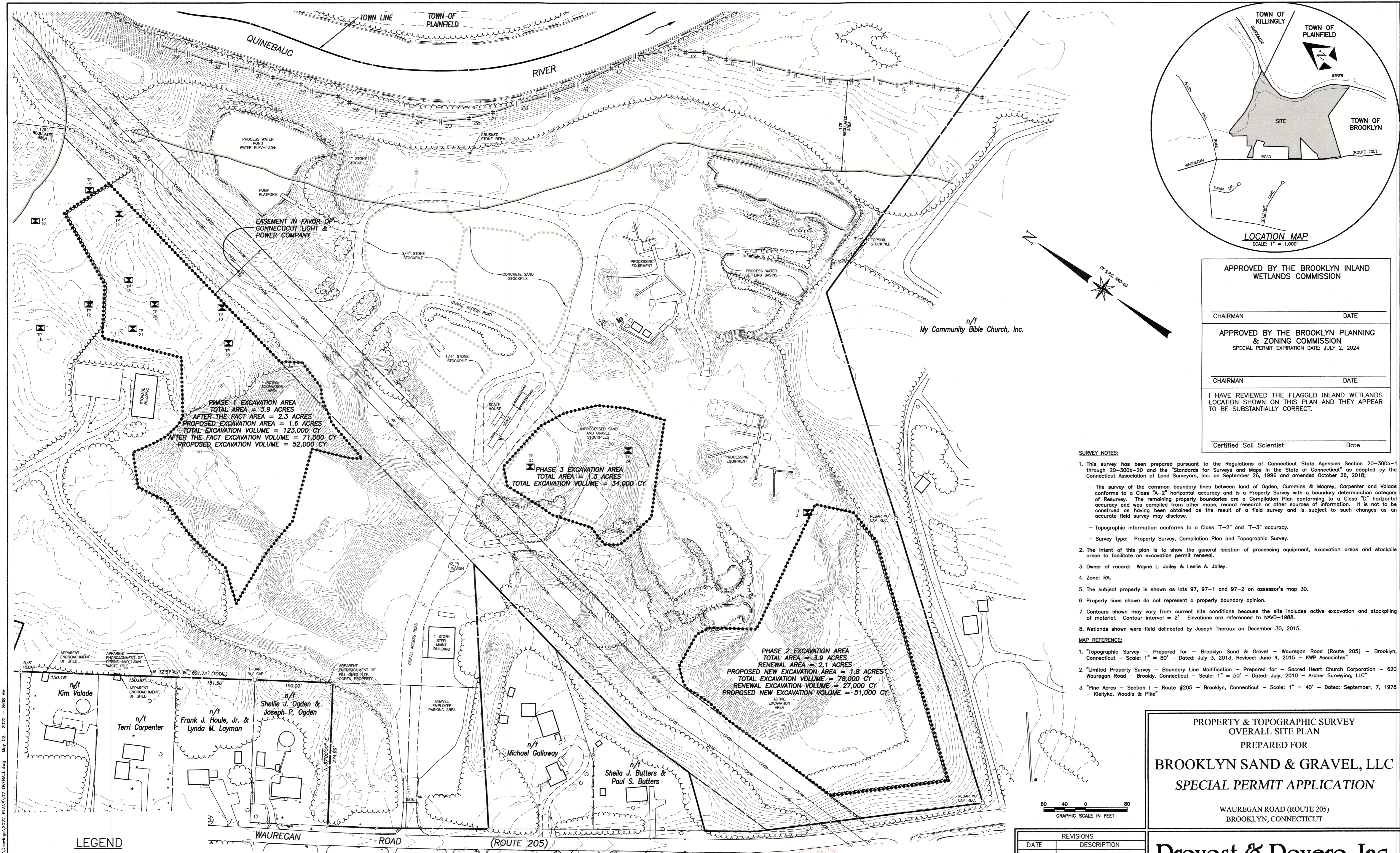
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS  
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR  
TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_





APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

- SURVEY NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996 and amended October 26, 2018;
    - The survey of the common boundary lines between land of Ogden, Cummins & Magrey, Carpenter and Valade conforms to a Class "A-2" horizontal accuracy and is a Property Survey with a boundary determination category of Resurvey. The remaining property boundaries are a Completion Plan conforming to a Class "D" horizontal accuracy and was compiled from other maps, record research or other sources of information. It is not to be construed as having been obtained as the result of a field survey and is subject to such changes as an accurate field survey may disclose.
    - Topographic information conforms to a Class "T-2" and "T-3" accuracy.
    - Survey Type: Property Survey, Completion Plan and Topographic Survey.
  - The intent of this plan is to show the general location of processing equipment, excavation areas and stockpile areas to facilitate an excavation permit renewal.
  - Owner of record: Wayne L. Jolley & Leslie A. Jolley.
  - Zone: RA.
  - The subject property is shown as lots 97, 97-1 and 97-2 on assessor's map 30.
  - Property lines shown do not represent a property boundary opinion.
  - Contours shown may vary from current site conditions because the site includes active excavation and stockpiling of material. Contour interval = 2'. Elevations are referenced to NAVD-1988.
  - Wetlands shown were field delineated by Joseph Theroux on December 30, 2015.
- MAP REFERENCE:**
- "Topographic Survey - Prepared for - Brooklyn Sand & Gravel - Wauregan Road (Route 205) - Brooklyn, Connecticut - Scale: 1" = 80' - Dated: July 3, 2013, Revised: June 4, 2015 - KWP Associates"
  - "Limited Property Survey - Boundary Line Modification - Prepared for - Sacred Heart Church Corporation - 620 Wauregan Road - Brooklyn, Connecticut - Scale: 1" = 50' - Dated: July, 2010 - Archer Surveying, LLC"
  - "Pine Acres - Section 1 - Route #205 - Brooklyn, Connecticut - Scale: 1" = 40' - Dated: September, 7, 1978 - Kiehlka, Wooda & Pike"

**LEGEND**

- # WETLAND FLAG
- IRON PIN RECOVERED
- ⊗ TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED EXCAVATION PHASE LIMITS
- PROPOSED CLEARING LIMITS

STATE OF CONNECTICUT  
DAVID J. HELD, L.S.  
ENGINEER  
DATE: 5/2/22

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID J. HELD, L.S. LIC. NO. 24267 DATE: 5/2/22

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

REVISIONS	
DATE	DESCRIPTION
4/28/2022	DRAWN: DJH
	SCALE: 1" = 80'
	DESIGN: DJH
	SHEET: 2 OF 7
	CHK BY: ---
	DWG. No: Client File
	JOB No: 153082

PROPERTY & TOPOGRAPHIC SURVEY  
OVERALL SITE PLAN  
PREPARED FOR  
**BROOKLYN SAND & GRAVEL, LLC**  
SPECIAL PERMIT APPLICATION

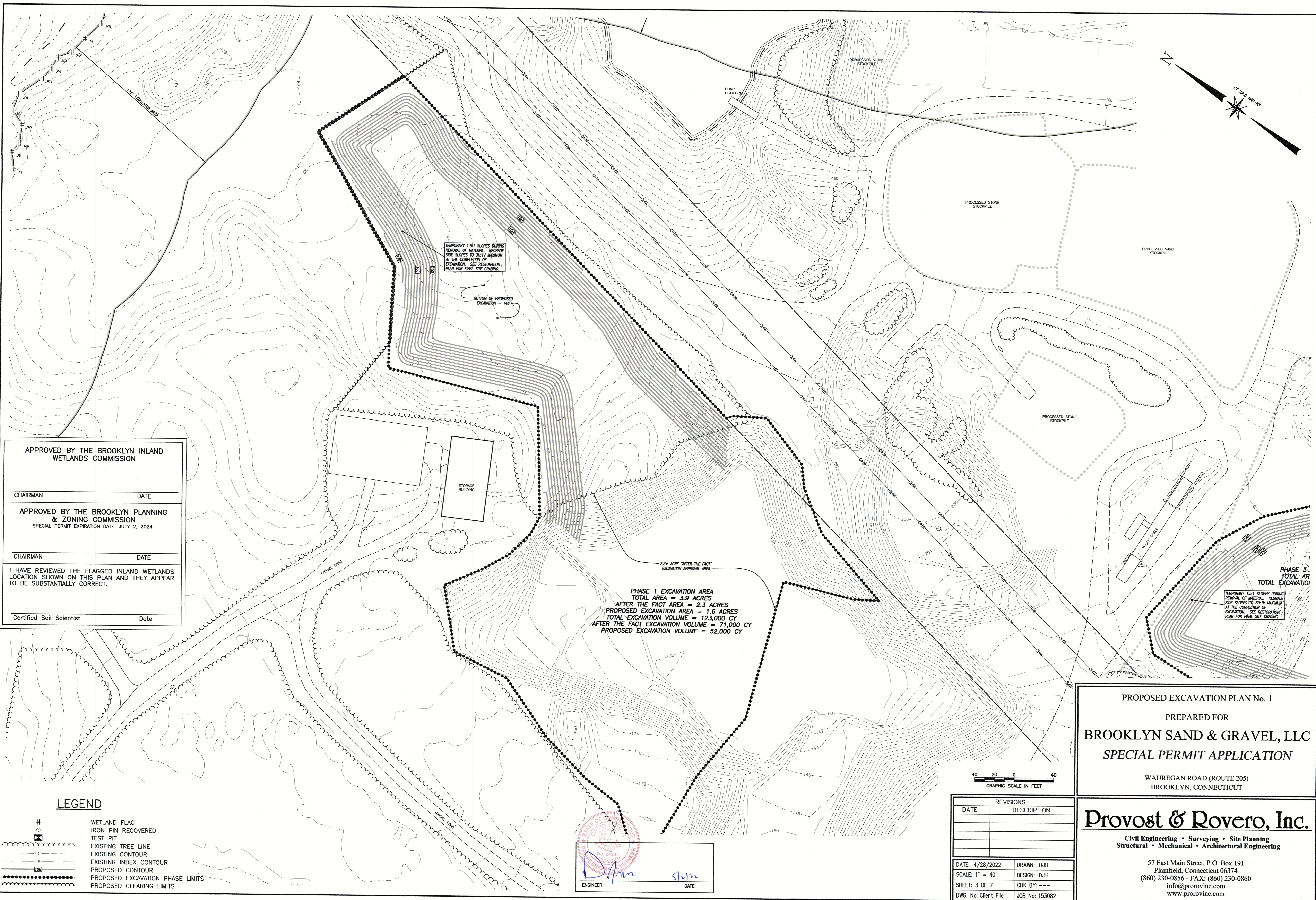
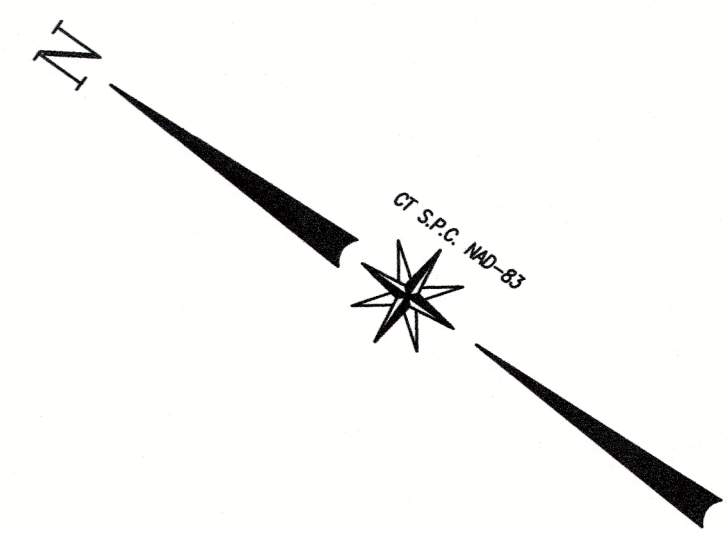
WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

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APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN	DATE
----------	------

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN	DATE
----------	------

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist	Date
--------------------------	------

**LEGEND**

- # WETLAND FLAG
- IRON PIN RECOVERED
- ⊗ TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED EXCAVATION PHASE LIMITS
- PROPOSED CLEARING LIMITS

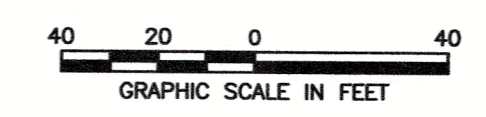
TEMPORARY 1:1 SLOPES DURING REMOVAL OF MATERIAL. REGRADE SIDE SLOPES TO 3H:1V MAXIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.

BOTTOM OF PROPOSED EXCAVATION = 146

PHASE 1 EXCAVATION AREA  
TOTAL AREA = 3.9 ACRES  
AFTER THE FACT AREA = 2.3 ACRES  
PROPOSED EXCAVATION AREA = 1.6 ACRES  
TOTAL EXCAVATION VOLUME = 123,000 CY  
AFTER THE FACT EXCAVATION VOLUME = 71,000 CY  
PROPOSED EXCAVATION VOLUME = 52,000 CY

2.34 ACRE "AFTER THE FACT" EXCAVATION APPROVAL AREA

PHASE 3 TOTAL AREA EXCAVATION  
TEMPORARY 1:1 SLOPES DURING REMOVAL OF MATERIAL. REGRADE SIDE SLOPES TO 3H:1V MAXIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.



REVISIONS	
DATE	DESCRIPTION

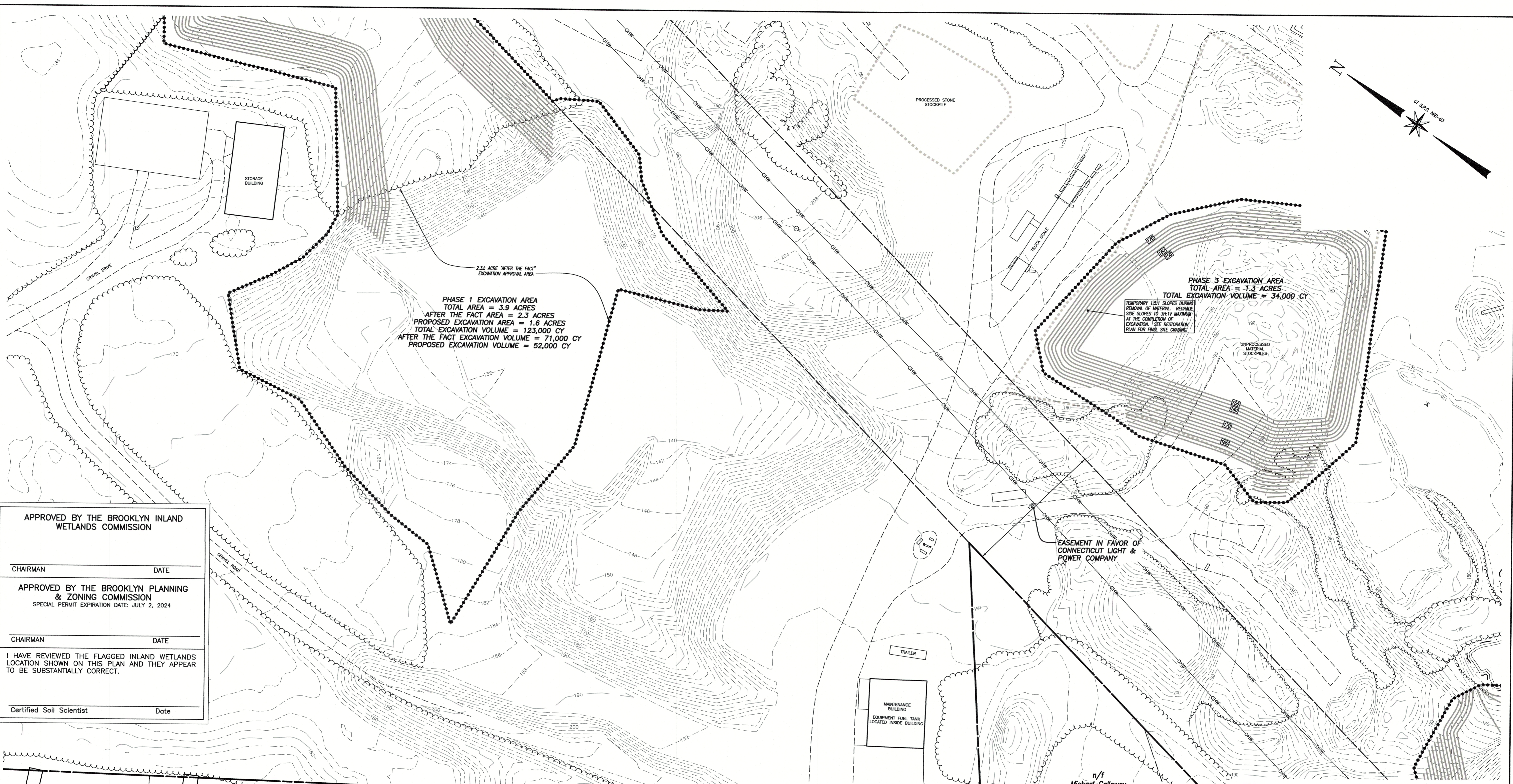
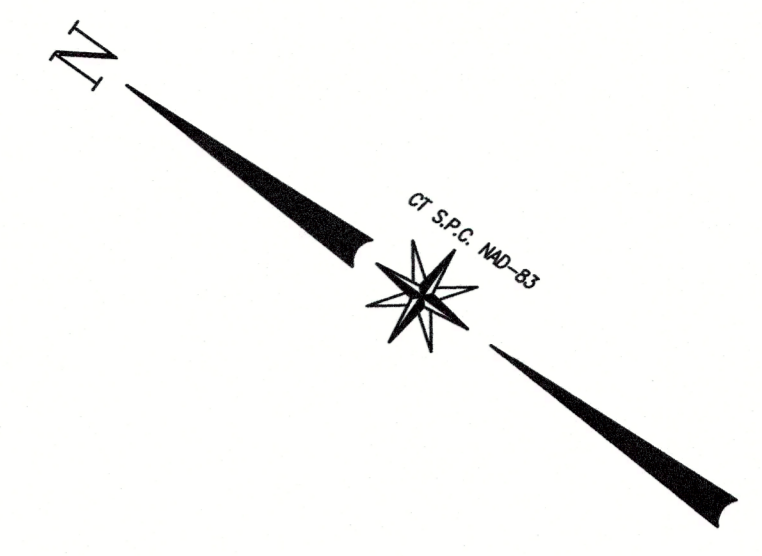
DATE: 4/28/2022	DRAWN: DJH
SCALE: 1" = 40'	DESIGN: DJH
SHEET: 3 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 153082

Professional Engineer Seal for David J. H...  
ENGINEER: [Signature]  
DATE: [Signature]

PROPOSED EXCAVATION PLAN No. 1  
PREPARED FOR  
**BROOKLYN SAND & GRAVEL, LLC**  
SPECIAL PERMIT APPLICATION  
WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

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PHASE 1 EXCAVATION AREA  
 TOTAL AREA = 3.9 ACRES  
 AFTER THE FACT AREA = 2.3 ACRES  
 PROPOSED EXCAVATION AREA = 1.6 ACRES  
 TOTAL EXCAVATION VOLUME = 123,000 CY  
 AFTER THE FACT EXCAVATION VOLUME = 71,000 CY  
 PROPOSED EXCAVATION VOLUME = 52,000 CY

PHASE 3 EXCAVATION AREA  
 TOTAL AREA = 1.3 ACRES  
 TOTAL EXCAVATION VOLUME = 34,000 CY

TEMPORARY 1:1 SLOPES DURING REMOVAL OF MATERIAL. REGRADE SIDE SLOPES TO 3:1:1V MAXIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.

EASEMENT IN FAVOR OF CONNECTICUT LIGHT & POWER COMPANY

APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
 SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

LEGEND

- # WETLAND FLAG
- IRON PIN RECOVERED
- ⊗ TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED EXCAVATION PHASE LIMITS
- PROPOSED CLEARING LIMITS

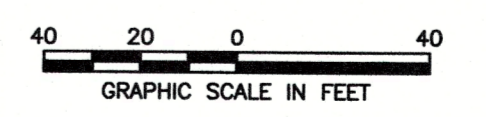
n/f Kim Valade

n/f Terri Carpenter

n/f Frank J. Houle, Jr. & Lynda M. Layman

n/f Shellie J. Ogden & Joseph P. Ogden

ENGINEER [Signature] DATE



REVISIONS	
DATE	DESCRIPTION

DATE: 4/28/2022 DRAWN: DJH  
 SCALE: 1" = 40' DESIGN: DJH  
 SHEET: 4 OF 7 CHK BY: ---  
 DWG. No: Client File JOB No: 153082

PROPOSED EXCAVATION PLAN No. 2

PREPARED FOR

**BROOKLYN SAND & GRAVEL, LLC**

SPECIAL PERMIT APPLICATION

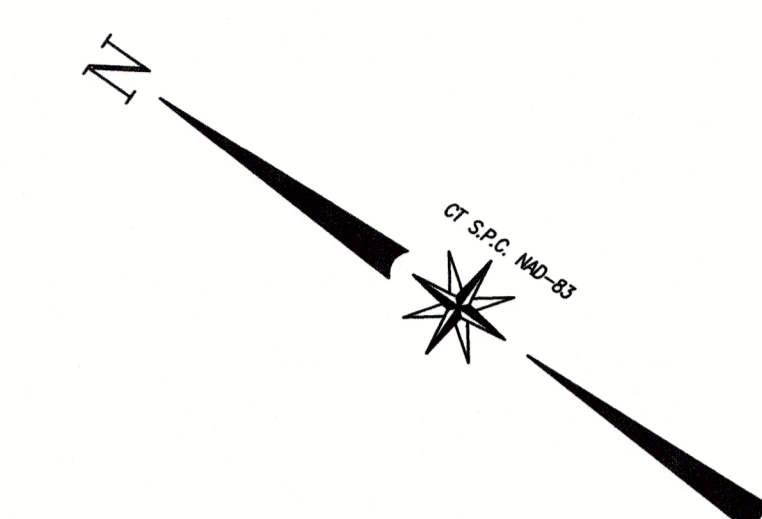
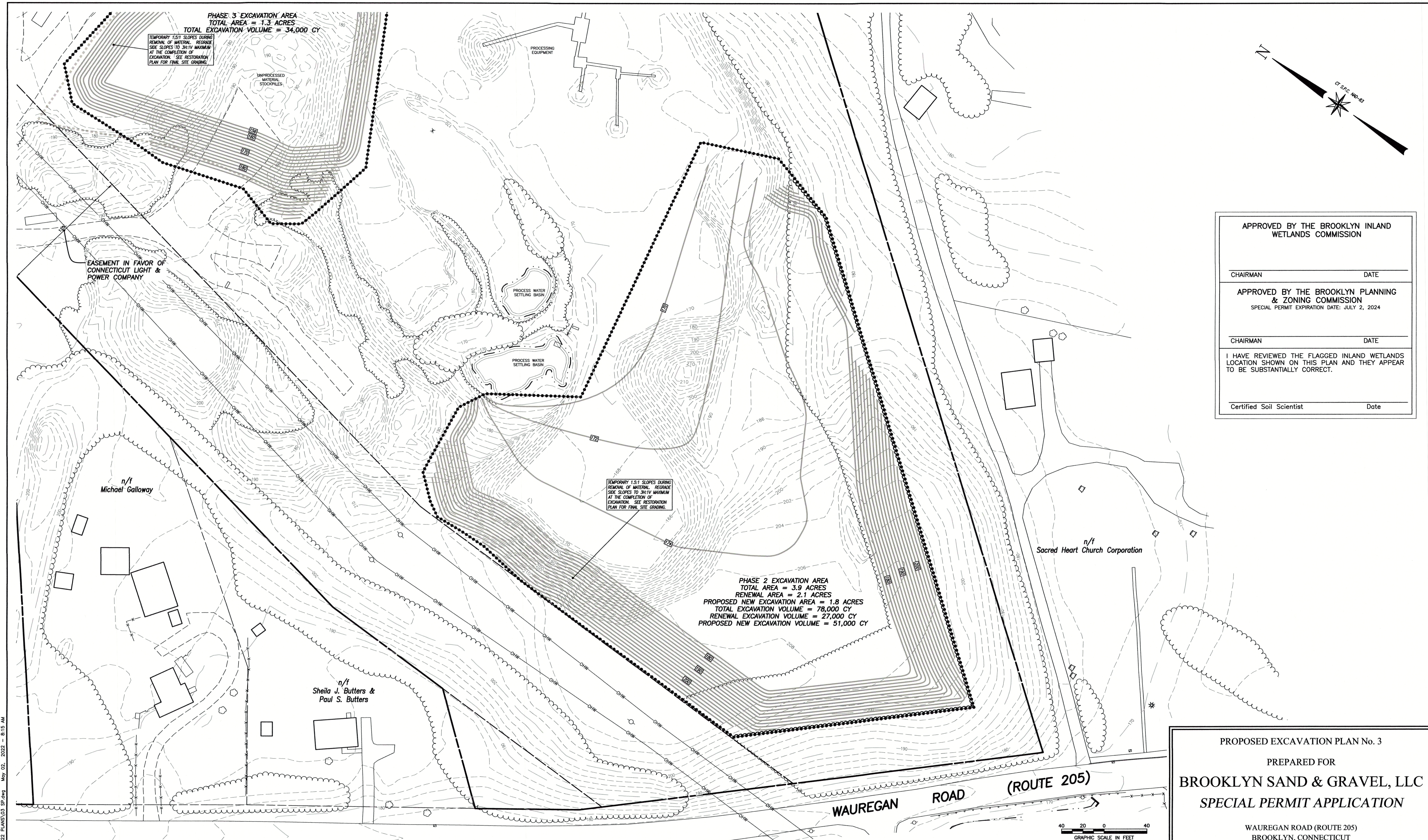
WAUREGAN ROAD (ROUTE 205)  
 BROOKLYN, CONNECTICUT

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 www.prorovinc.com

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APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

PHASE 2 EXCAVATION AREA  
TOTAL AREA = 3.9 ACRES  
RENEWAL AREA = 2.1 ACRES  
PROPOSED NEW EXCAVATION AREA = 1.8 ACRES  
TOTAL EXCAVATION VOLUME = 78,000 CY  
RENEWAL EXCAVATION VOLUME = 27,000 CY  
PROPOSED NEW EXCAVATION VOLUME = 51,000 CY

PHASE 3 EXCAVATION AREA  
TOTAL AREA = 1.3 ACRES  
TOTAL EXCAVATION VOLUME = 34,000 CY

TEMPORARY 1.5:1 SLOPES DURING REMOVAL OF MATERIAL. RESLOPE SIDE SLOPES TO 3H:1V MAXIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.

TEMPORARY 1.5:1 SLOPES DURING REMOVAL OF MATERIAL. RESLOPE SIDE SLOPES TO 3H:1V MAXIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.

PROPOSED EXCAVATION PLAN No. 3

PREPARED FOR

**BROOKLYN SAND & GRAVEL, LLC**

**SPECIAL PERMIT APPLICATION**

WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

**Provost & Rovero, Inc.**

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**LEGEND**

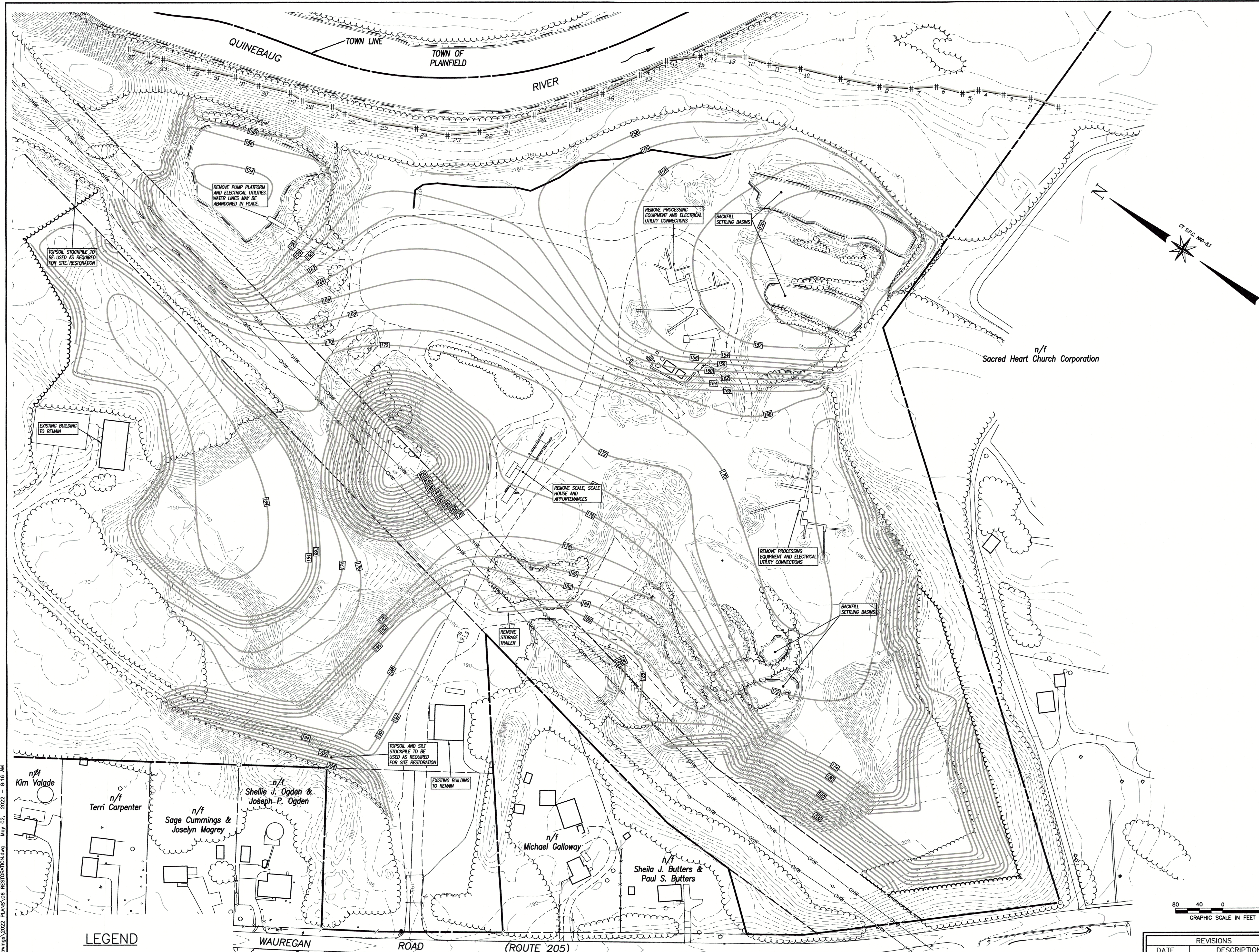
- #
- WETLAND FLAG
- IRON PIN RECOVERED
- TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED EXCAVATION PHASE LIMITS
- PROPOSED CLEARING LIMITS

STATE OF CONNECTICUT  
PROFESSIONAL ENGINEER  
No. 24267  
DATE

REVISIONS	
DATE	DESCRIPTION

DATE: 4/28/2022 DRAWN: DJH  
SCALE: 1" = 40' DESIGN: DJH  
SHEET: 5 OF 7 CHK BY: ---  
DWG. No: Client File JOB No: 153082

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**SEE SHEET 7 FOR ALL  
SITE RESTORATION  
REQUIREMENTS AND NOTES**

APPROVED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING  
& ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS  
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR  
TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

SITE RESTORATION PLAN  
PREPARED FOR  
**BROOKLYN SAND & GRAVEL, LLC**  
SPECIAL PERMIT APPLICATION

WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

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info@provostinc.com  
www.provostinc.com

REVISIONS	
DATE	DESCRIPTION

DATE: 4/28/2022 DRAWN: DJH  
SCALE: 1" = 80' DESIGN: DJH  
SHEET: 6 OF 7 CHK BY: ---  
DWG. No: Client File JOB No: 153082

**LEGEND**

#	WETLAND FLAG
○	IRON PIN RECOVERED
⊠	TEST PIT
—	EXISTING TREE LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED EXCAVATION PHASE LIMITS
---	PROPOSED CLEARING LIMITS

STATE OF CONNECTICUT  
PROFESSIONAL ENGINEER  
No. 24509  
Sheila J. Butters  
ENGINEER DATE

C:\Users\Dave\Desktop\0085\153082\Drawings\2022\PLANS\06 RESTORATION.dwg May 02, 2022 - 8:16 AM

**EROSION AND SEDIMENT CONTROL PLAN:**

**REFERENCE IS MADE TO:**

- Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
- Soil Survey of Connecticut, N.R.C.S.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

- Dig a 6" deep trench on the uphill side of the barrier location.
- Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
- Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
- Inspect and repair barrier after heavy rainfall.
- Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
- Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
- Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

**HAY BALE INSTALLATION AND MAINTENANCE:**

- Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
- Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
- Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
- Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
- Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

**TEMPORARY VEGETATIVE COVER:**

**SEED SELECTION**

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

**TIMING CONSIDERATIONS**

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

**SITE PREPARATION**

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

**SEEDBED PREPARATION**

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, grading, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

**SEEDING**

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

**MULCHING**

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

**MAINTENANCE**

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and soil erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

**PERMANENT VEGETATIVE COVER:**

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

- Topsail will be replaced once the excavation and grading has been completed. Topsail will be spread at a minimum compacted depth of 6".
- Once the topsail has been spread, all stones 2" or larger in any dimension will be removed as well as debris in areas to be maintained as lawn.
- Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
- Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
- Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
- Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsail such as netting, mat or organic mulch.

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

**PRINCIPLES OF EROSION AND SEDIMENT CONTROL**

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

**KEEP LAND DISTURBANCE TO A MINIMUM**

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific

area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.

- Route traffic patterns within the site to avoid existing or newly planted vegetation.

- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.

- Schedule construction so that final grading and stabilization is completed as soon as possible.

**SLOW THE FLOW**

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

**KEEP CLEAN RUNOFF SEPARATED**

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.

- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

**REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS**

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

- Grade and landscape around buildings and septic systems to divert water away from them.

**EXCAVATION NOTES:**

- No blasting is anticipated for completion of the work shown. If blasting is required, the owner is responsible for obtaining all necessary permits.
- The emergency contact for operations at this site is Wayne Jolley (860) 774-5000.
- The allowable hours of operation for both processing and excavation shall be 7:00 AM to 6:00 PM, Monday through Friday and 7:00 AM to 12:00 noon on Saturday. No operations shall be allowed on Sundays, Christmas, New Years Day, Memorial Day, Fourth of July, Labor Day and Thanksgiving except by special permission of the Brooklyn Planning & Zoning Commission.
- The owner and/or site operator shall provide adequate dust control to prevent any off-site nuisance. The preferred dust control measure is the application of water to vehicular travel areas.
- The owner/operator shall install any necessary barricades or barriers to provide protection around the perimeter of open excavation faces and steep slopes.
- Excavation operations shall be completed in accordance with all appropriate Mine Safety & Health Administration (MSHA) rules and regulations.
- The estimated total number of truck trips entering or exiting the site is 9,000 trips per year. The estimated daily average number of truck trips entering or exiting the site is 80. The estimated maximum number of daily truck trips entering or exiting the site is 80.
- The site operator is responsible for determining the most appropriate means and methods for excavating material in the applicable phase. In general, excavation shall begin with stripping and stockpiling of topsoil and subsoil which will be utilized for site restoration. Removal of material should begin with a downcutting technique to ensure proper internal drainage.
- The entire site, including the active excavation area shall be maintained in a self-contained condition to prevent the discharge of sediment laden stormwater to undisturbed areas, public roads, the Quinebaug River, Pine Brook or associated wetlands.
- All trucks leaving the site shall have the loads covered.
- Any repair work to trucks or mobile equipment should be completed in the maintenance garage if possible. If field repairs are necessary, the site operator and/or mechanic shall take appropriate measures for spill prevention and containment.
- Trucks and mobile equipment should generally be parked in the employee parking area near the maintenance garage.
- Fueling of equipment should take place in the maintenance garage from the tank located there.

**RESTORATION NOTES:**

The restoration requirements described below will be applicable to disturbed areas of the site which are no longer required for excavation, stockpiles, processing equipment or other uses. As site areas become available for restoration, refer to the Site Restoration Plan for proposed grading.

When excavation of the site has been completed, all processing equipment and appurtenances, stockpiles, scales and other equipment shall be removed within 6 months from the termination of operations.

Restoration work shall begin within 12 months of the termination of operation in the phase and be completed within 18 months from the termination of operations or the termination of the excavation permit.

- Restoration of disturbed areas shall take place following the completion of excavation or other work. Sufficient restoration bonding should be maintained as required by the Town to cover the restoration cost for disturbed/open site areas.
- Final restoration shall begin with establishing the required subgrade elevations. Proposed grades may be adjusted at time of restoration following approval by Town staff, depending on field conditions so long as the final configuration is compliant with the Zoning Regulations. In general, all disturbed slopes shall be graded to a 3H:1V maximum gradient.

3. Prepare the restoration area by spreading a 12" min. thickness (compacted) layer of silt or washing fines.

4. Complete restoration by spreading on-site stockpiled topsoil to an approximate minimum thickness of 6" (compacted) and seeding for a permanent vegetative cover. On-site topsoil stockpiles may be supplemented with composted organic matter, wood chips and imported topsoil as necessary to provide a suitable planting medium.

5. Spread seed for a permanent vegetative cover over the prepared restoration area. The permanent vegetative cover may be a suitable wildlife habitat mix or the following mixture which is suitable for use in all locations:

Variety	Lbs./Acra
Switchgrass (Blackwell, Shelter, Cave-in-rock)	4.0
Big Bluestem (Niagra, Kaw)	4.0
Little Bluestem (Blaze, Aldous, Camper)	2.0
Sand Lovegrass (NE-27, Bend)	1.5
Bird's-foot Trefoil (Empire, Viking)	2.0
<b>TOTAL</b>	<b>13.5</b>

6. Hay or straw mulch shall be utilized on 3H:1V slopes to provide temporary stabilization during establishment of permanent vegetative cover. In general, no slopes greater than 3H:1V will be allowable. In the event that steeper slopes are necessary in isolated locations to transition to existing natural grades, no slopes should be steeper than 2:1.

7. Fertilizer and lime shall be provided as required to establish a permanent vegetative cover based on laboratory soil testing results.

8. In lieu of the manual application of mulch and fertilizer, the restoration area may be planted with hydroseeding methods with a suitable tackifier, mulch and fertilizer mix.

**TEST PIT OBSERVATIONS - DECEMBER 2016**

TEST PIT	DEPTH	PROFILE
1	0-2'	Topsoil and subsoil
	2'-22'	Coarse sand and gravel
		No GWT
		No ledge
2	0-22'	Fine silty sand
		No GWT
		No ledge
3	0-22'	Fine silty sand
		No GWT
		No ledge
4	0-20'	Coarse sand and gravel
		No GWT
		No ledge
7	0-6'	Topsoil and subsoil
	6'-20'	Medium-coarse sand and gravel
		No GWT
		No ledge
8	0-20'	Coarse sand and gravel
		No GWT
		No ledge
9	0-20'	Silt and fine silty sand
		No GWT
		No ledge
10	0-2'	Topsoil and subsoil
	2'-20'	Fine sand
		No GWT
		No ledge
11	0-2'	Topsoil and subsoil
	2'-20'	Silt and fine silty sand
		No GWT
		No ledge
12	0-2'	Topsoil and subsoil
	2'-20'	Silt and fine silty sand
		No GWT
		No ledge
13	0-6'	Topsoil and subsoil
	6'-20'	Coarse sand and gravel
		No GWT
		No ledge
14	0-1'	Topsoil and subsoil
	1'-20'	Fine sand and silty sand
		No GWT
		No ledge
15	0-4'	Topsoil and subsoil
	4'-20'	Coarse sand and gravel
		No GWT
		No ledge
16	0-4'	Topsoil and subsoil
	4'-20'	Coarse sand and gravel
		No GWT
		No ledge

**TEST PIT OBSERVATIONS - FEBRUARY 2018**

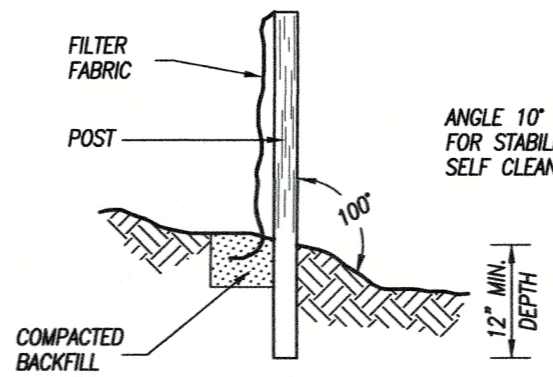
TEST PIT	DEPTH	PROFILE
17	0-4'	Coarse sand and gravel
	4'-8'	Very fine silty sand
	8'-24'	Medium to coarse sand
		No GWT
		No ledge

**TEST PIT OBSERVATIONS - JUNE 12, 2019**

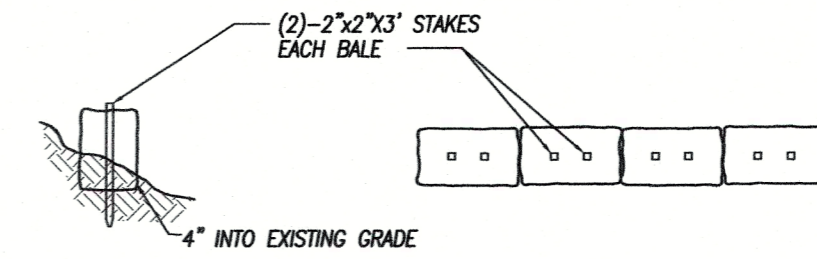
TEST PIT	DEPTH	PROFILE
18	0-8'	Coarse sand and gravel
	8'-14'	Very fine silty sand and silt
		Apparent perched GWT @ 8'
		No ledge
19	0-20'	Coarse sand and gravel layers
		No GWT
		No ledge

**TEST PIT OBSERVATIONS - APRIL 15, 2022**

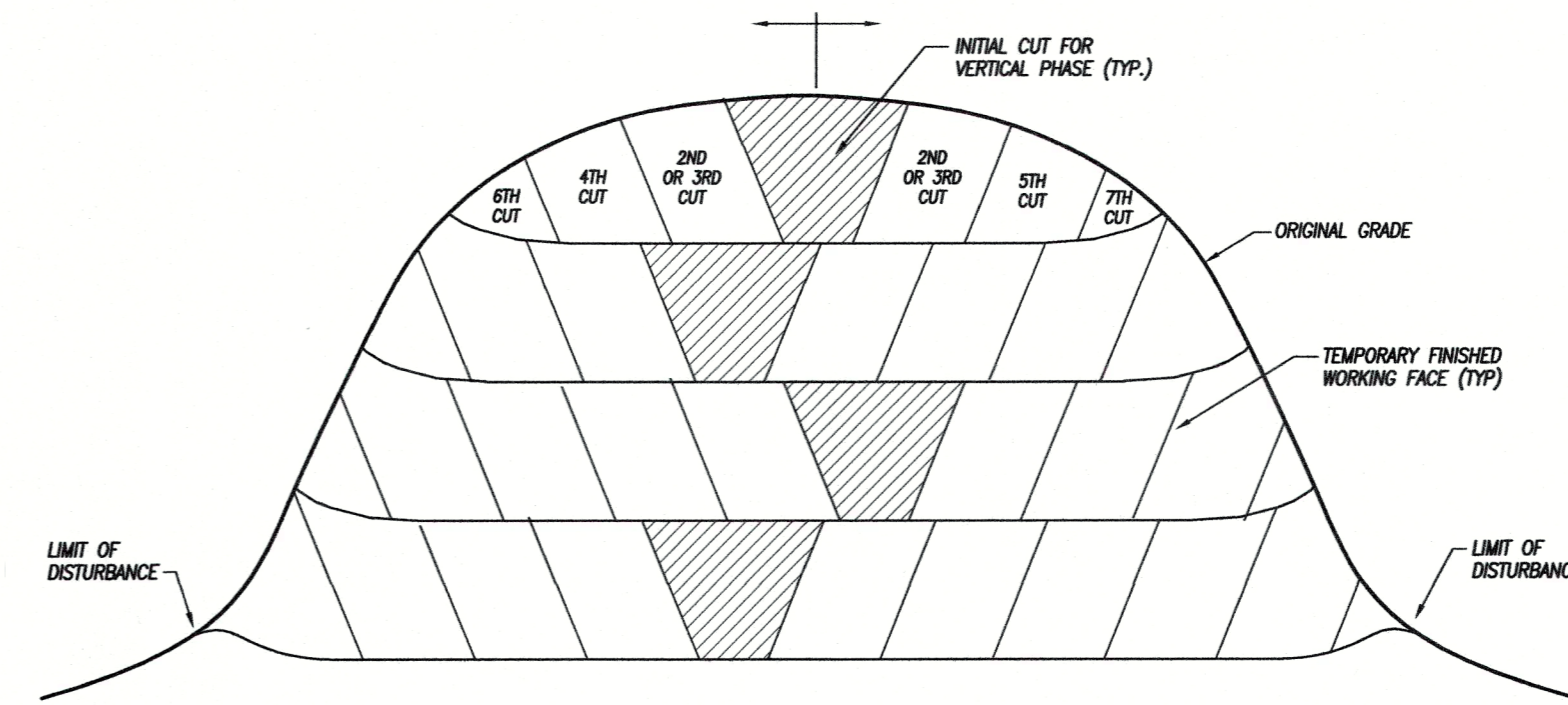
TEST PIT	DEPTH	PROFILE
20	0-2'	Topsoil and subsoil
	2'-15'	Coarse sand and gravel
		No GWT
		No ledge
21	0-4'	Topsoil and subsoil
	4'-15'	Medium-fine sand and silty sand
		No GWT
		No ledge
22	0-3'	Topsoil and subsoil
	3'-15'	Coarse sand and gravel
		No GWT
		No ledge
23	0-15'	Coarse sand and gravel
		No GWT
		No ledge
24	0-10'	Coarse sand and gravel
		No GWT
		No ledge



**SILT FENCE**  
NOT TO SCALE



**HAYBALE BARRIER**  
NOT TO SCALE



**DETAIL SHOWING "DOWNCUTTING" EXCAVATION METHOD**  
NOT TO SCALE

APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DETAIL SHEET  
PREPARED FOR  
**BROOKLYN SAND & GRAVEL, LLC**  
**SPECIAL PERMIT APPLICATION**  
WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

**Provost & Rovero, Inc.**  
Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering  
57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 - FAX: (860) 230-0860  
info@prorovinc.com  
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION
DATE: 4/28/2022	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 7 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 153082

STATE OF CONNECTICUT  
BROOKLYN PLANNING & ZONING COMMISSION  
[Signature]  
ENGINEER  
[Signature]  
DATE

INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONECTICUT

Date 6/6/22

Application # 061422A

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT Jason e Johnson MAILING ADDRESS 14 darby road brooklyn ct 06234  
APPLICANT'S INTEREST IN PROPERTY Owner PHONE 4013093095 EMAIL Fordfx41995@gmail.com

PROPERTY OWNER IF DIFFERENT \_\_\_\_\_ PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_ EMAIL \_\_\_\_\_

ENGINEER/SURVEYOR (IF ANY) \_\_\_\_\_  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS 14 darby rd brooklyn ct 06234  
MAP # 36 LOT # 15 ZONE \_\_\_\_\_ TOTAL ACRES 1 ACRES OF WETLANDS ON PROPERTY .15

PURPOSE AND DESCRIPTION OF THE ACTIVITY \_\_\_\_\_  
New lawn install around back yard, spending of clean fill and loom. Seeding. Removal of a fence.

WETLANDS EXCAVATION AND FILL:  
FILL PROPOSED Clean fill CUBIC YDS 160 SQ.FT 0  
EXCAVATION PROPOSED 0 CUBIC YDS \_\_\_\_\_ SQ.FT \_\_\_\_\_  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE  OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ.FT 0 ACRES 0

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): \_\_\_\_\_  
Hand rake or leave dirt and seed as is around wetlands.

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY \_\_\_\_\_ SQFT \_\_\_\_\_ ACRES \_\_\_\_\_

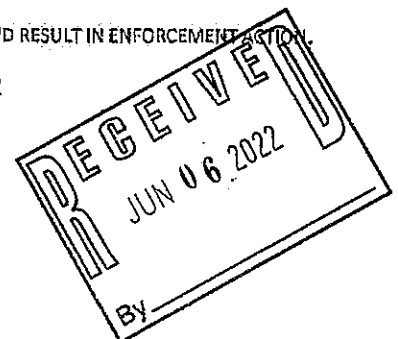
IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? \_\_\_\_\_ IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? \_\_\_\_\_

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT:  DATE: 05/11/2022

OWNER: \_\_\_\_\_ DATE \_\_\_\_\_



**REQUIREMENTS**

\_\_\_\_\_ APPLICATION FEE \$ \_\_\_\_\_ STATE FEE (\$60.00) \_\_\_\_\_

\_\_\_\_\_ COMPLETION OF CT DEEP REPORTING FORM

\_\_\_\_\_ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

\_\_\_\_\_ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

\_\_\_\_\_ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

\_\_\_\_\_ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

\_\_\_\_\_ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS.
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

**ADDITIONAL INFORMATION/ACTION NEEDED:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP  
 INLAND WATER RESOURCES DIVISION  
 79 ELM ST.  
 HARTFORD, CT. 06106  
 1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
 696 VIRGINIA ROAD  
 CONCORD, MA. 01742  
 1-860-343-4789

**STAFF USE ONLY:**

\_\_\_\_\_ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

\_\_\_\_\_ PERMIT REQUIRED:

\_\_\_\_\_ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

\_\_\_\_\_ CHAIR, BROOKLYN IWWC  
 \_\_\_\_\_ AUTHORIZED BY IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ SIGNIFICANT ACTIVITY/PUBLIC HEARING

\_\_\_\_\_ NO PERMIT REQUIRED

\_\_\_\_\_ OUTSIDE OF UPLAND REVIEW AREA

\_\_\_\_\_ NO IMPACT

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ TIMBER HARVEST



## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:  
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street – 3<sup>rd</sup> Floor, Hartford, CT 06106

### PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (enter one year and month): Year \_\_\_\_\_ Month \_\_\_\_\_
- ACTION TAKEN (enter one code letter): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? Yes \_\_\_\_\_ No \_\_\_\_\_
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): BROOKLYN  
Does this project cross municipal boundaries (check one)? Yes \_\_\_\_\_ No   
If Yes, list the other town(s) in which the action is occurring (type name(s)): \_\_\_\_\_
- LOCATION (see directions for website information): USGS Quad Map Name: DANIELSON or Quad Number: 43  
Subregional Drainage Basin Number: 3903
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): JASON E JOHNSON
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): BROOKLYN, 14 DAWBY RD 06234  
Briefly describe the action/project/activity (check and type information): Temporary \_\_\_\_\_ Permanent   
Description: LAWN INSTALL, FILL and LOAM to REGRADE PROPERTY.
- ACTIVITY PURPOSE CODE (enter one code letter): A
- ACTIVITY TYPE CODE(S) (enter up to four code numbers): 1, 10, 12
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):  
Wetlands: 0.1 acres Open Water Body: 0 acres Stream: 0 linear feet
- UPLAND AREA ALTERED (type in acres as indicated): 0.5 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

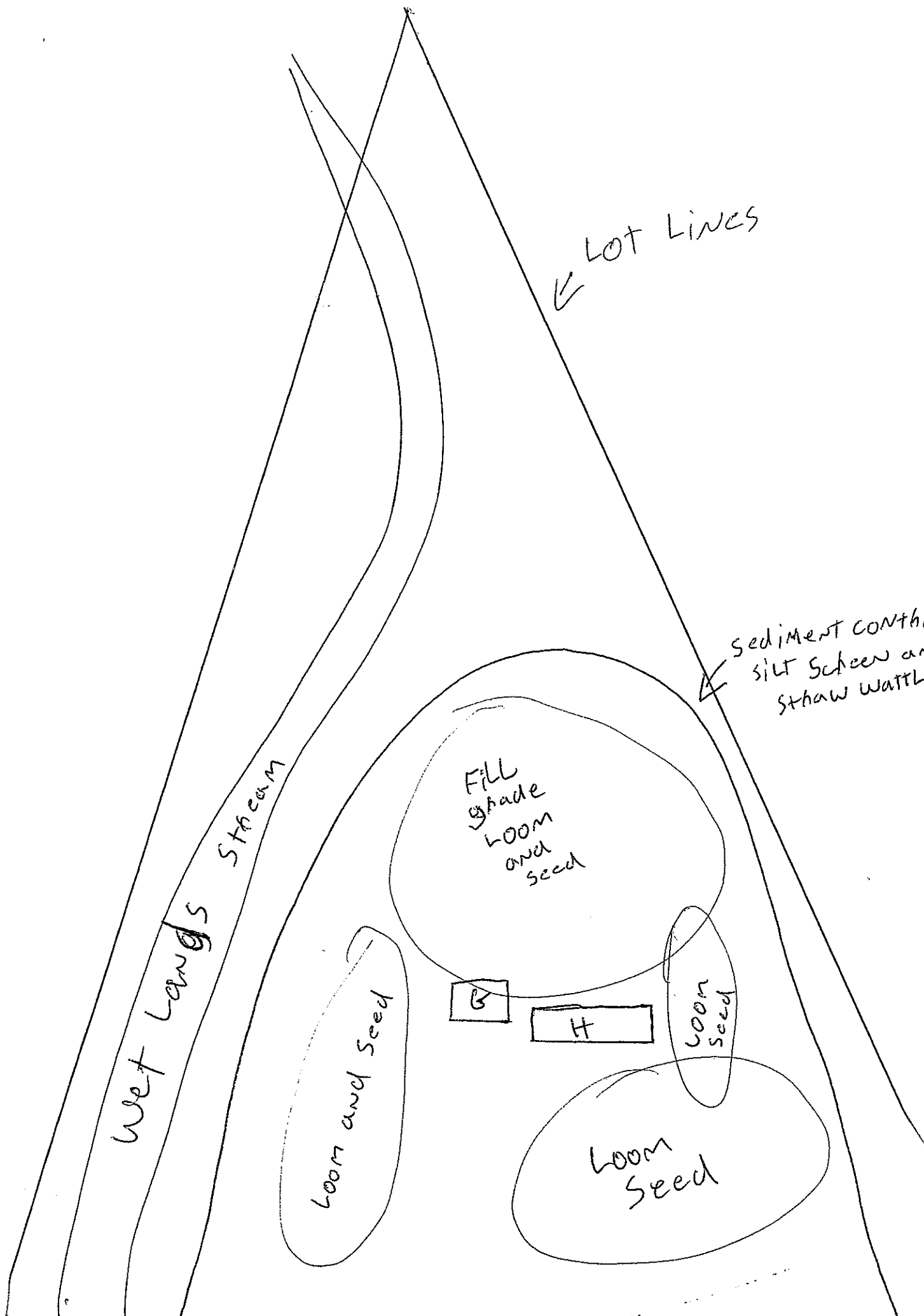
PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO





Wet lands Stream

LOT LINES

Sediment control  
silt screen and  
straw wattle

Fill grade  
LOOM  
and  
seed

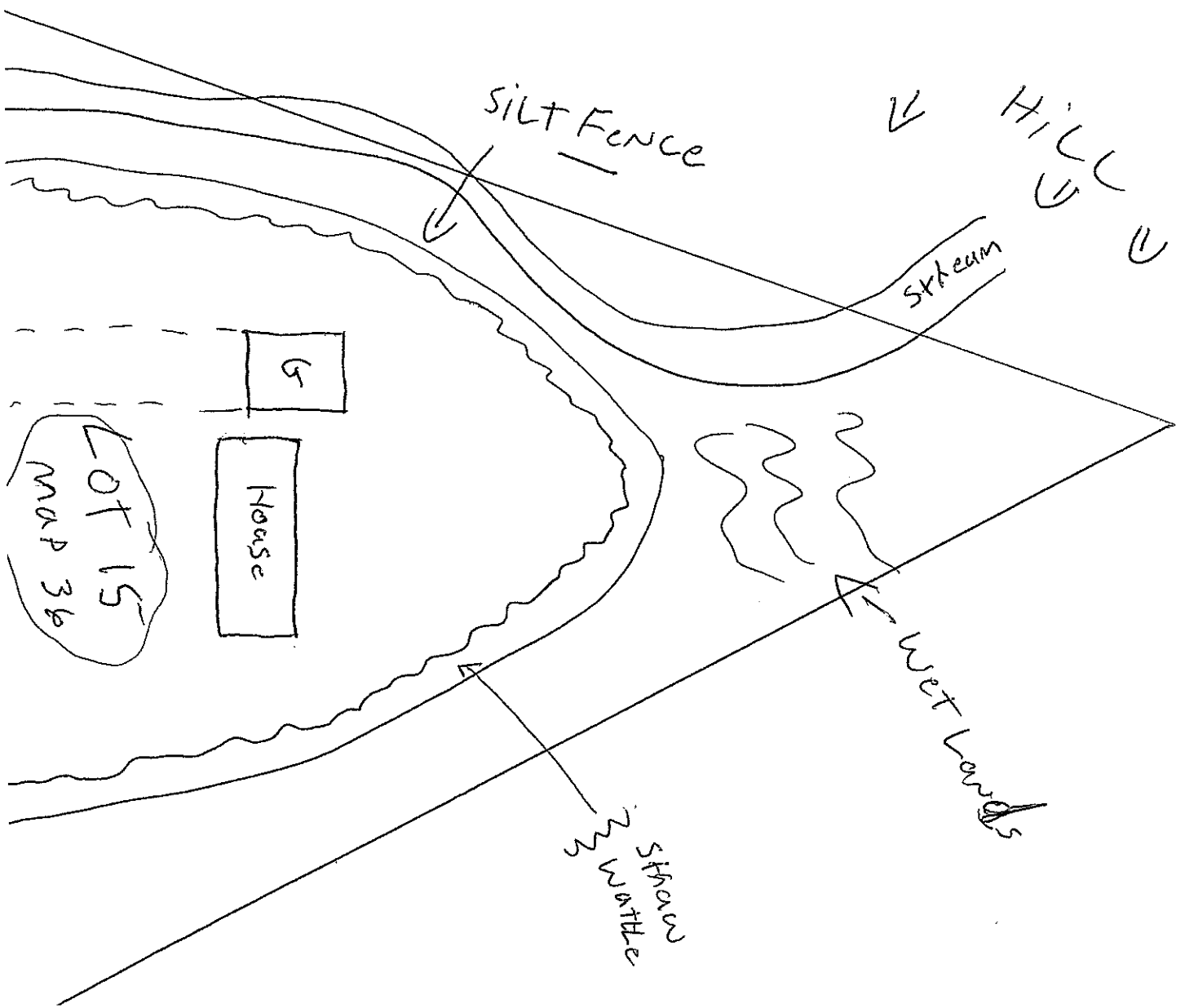
loom and seed

B

H

loom  
seed

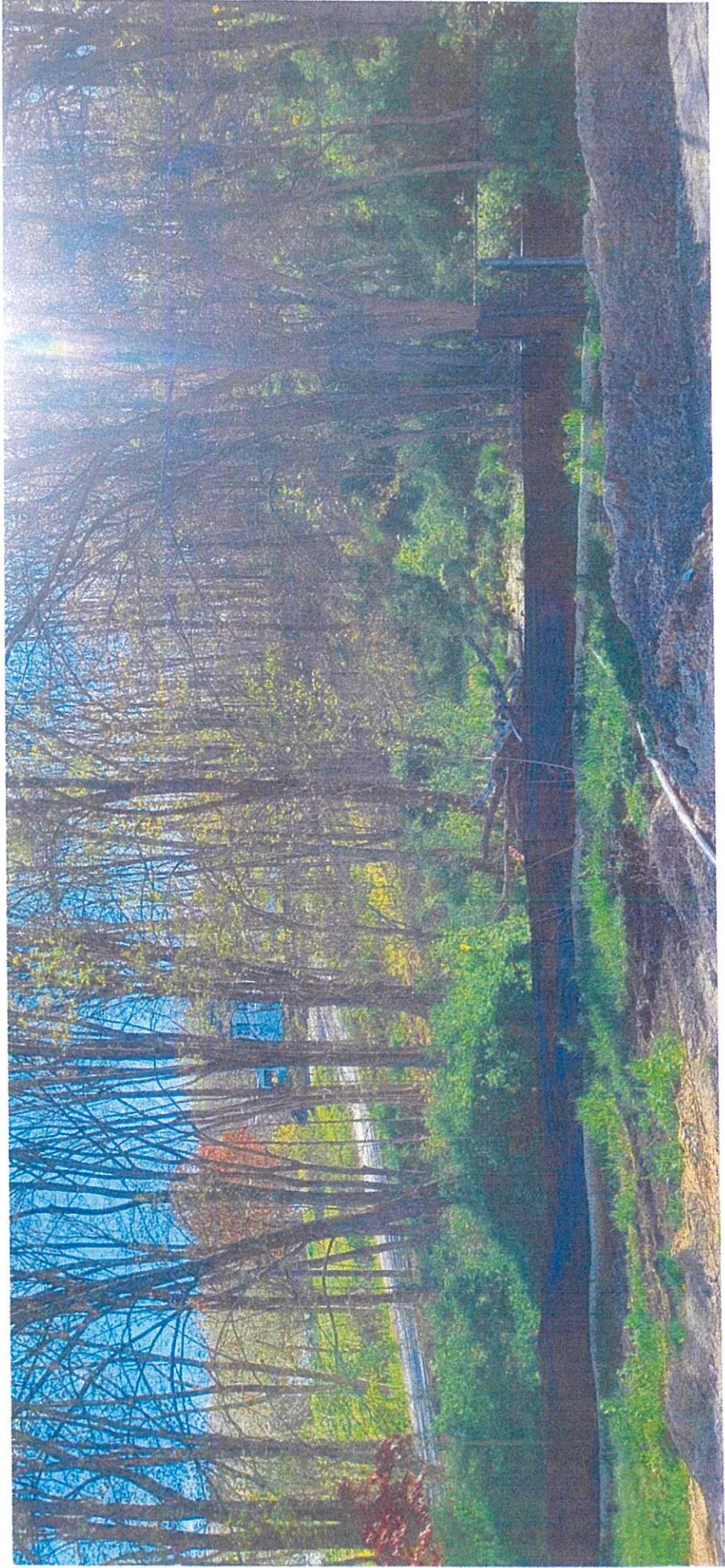
loom  
Seed



14 Darby



14 Darbous





TOWN OF BROOKLYN  
Land Use Department  
69 South Main Street • Suite 22  
BROOKLYN, CONNECTICUT 06234  
860-779-3411 Ext. 12

## CEASE AND DESIST ORDER

CERTIFIED : 7021 2720 0001 3206 2009

Jason Johnson  
14 Darby Road  
Brooklyn, CT 06234

April 22, 2022

Re: Violation of Inland Wetlands Regulations at 14 Darby Road

Mr. Johnson,

You are hereby required to **CEASE AND DESIST** from all site work affecting the wetlands and upland review area at **your property at 14 Darby Road (Assessors Map 36 Lot 15)**. On 4/21/22, I inspected the subject property at the request of Richard Oliverson, Inland Wetlands and Watercourses Commission (IWWC) Chairman.

I inspected and took the attached photographs on 4/21/22. It appeared that approximately 160 cubic yards of fill had been deposited in the wetlands and upland review area. The wetlands border on a stream on the subject property that flows through a culvert under Darby Road.

Refer to the attached copy of Section 6 of the Town of Brooklyn IWWC Regulations, which states that any person violating provisions of these regulations shall be subject to enforcement proceedings and penalties. Also, refer to the attached ordinance Chapter 20-.2, the Town Ordinance in which **the fine for each day a wetland violation continues is \$1,000.00.**

The IWWC may require that the wetlands be delineated by a Soil Scientists and that the wetlands and review area be restored.

You are hereby required to immediately install and stake 8-inch diameter straw wattles around all sides of the areas where fill was deposited within 125 feet of the stream on the subject property to prevent erosion during storms.

You are hereby required to attend a Show Cause Hearing at the IWWC meeting at 6:00 p.m. on Tuesday, May 10, 2022 at the Clifford B. Green Meeting Center at 69 South Main Street, Brooklyn, CT. At that meeting, you will have the opportunity to be heard and show cause why the Cease and Desist Order should not remain in effect.

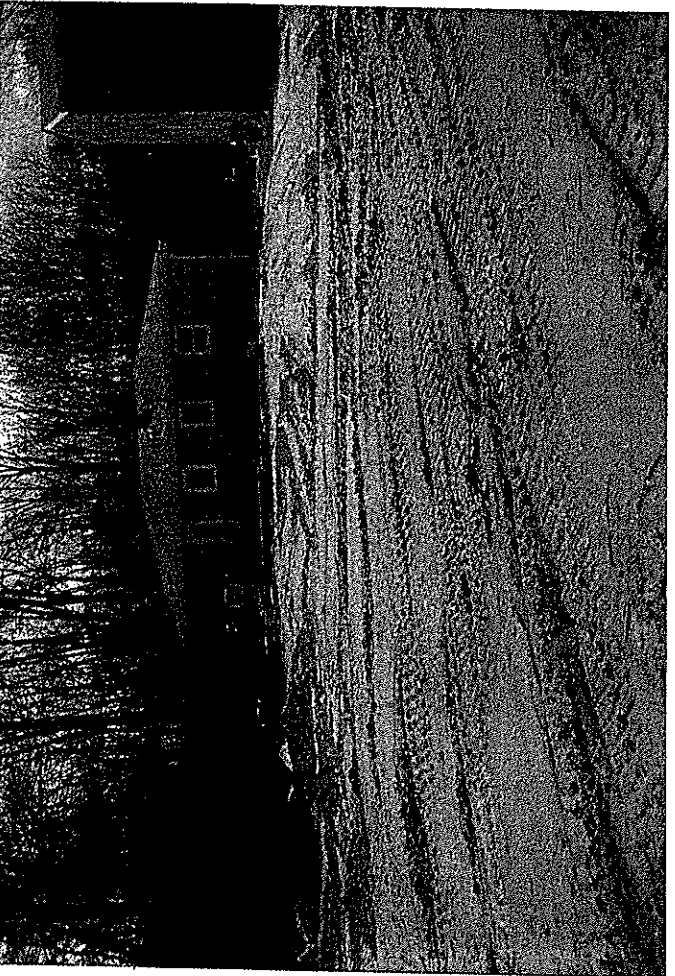
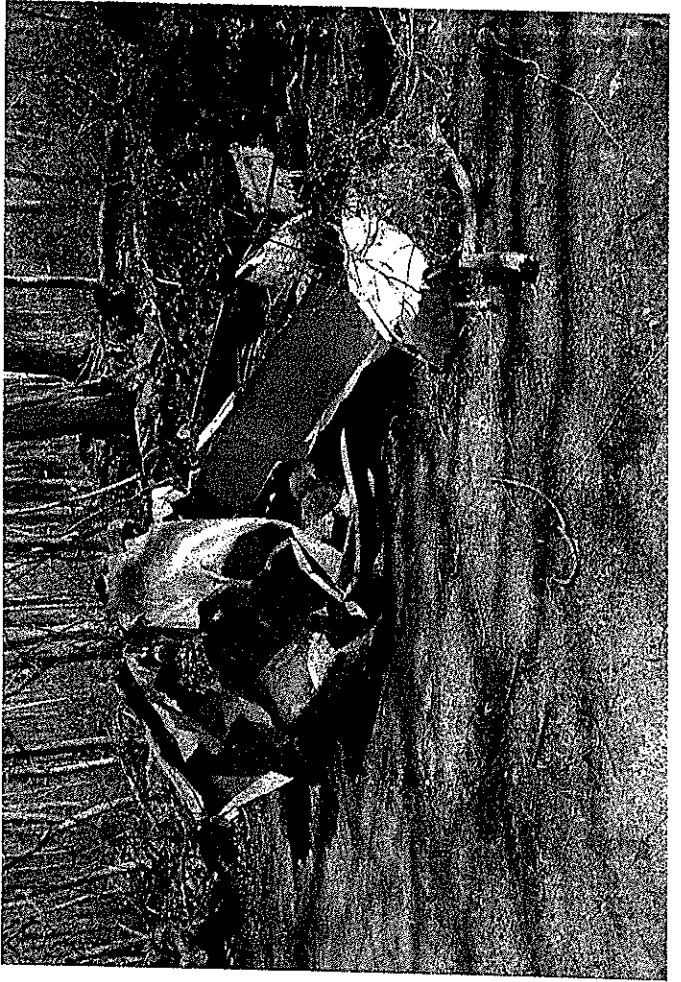
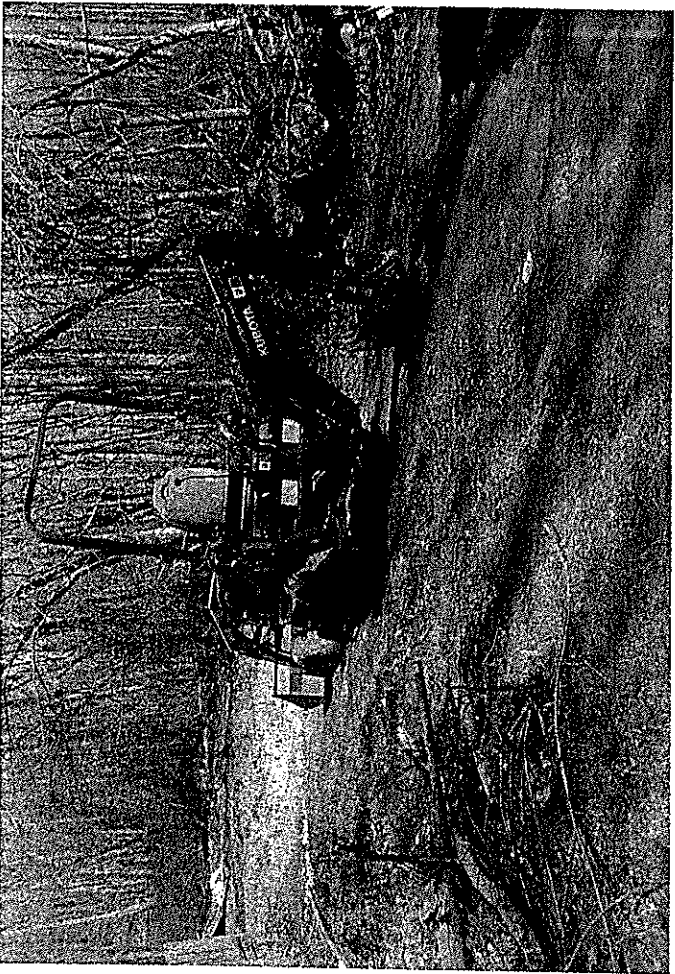
Issued by:

A handwritten signature in cursive script that reads "Margaret Washburn". The signature is written in black ink and has a long, sweeping underline.

Margaret Washburn  
Brooklyn Wetlands Enforcement Officer

CC:

Austin Tanner, First Selectman  
Jana Roberson, Town Planner  
Peter Alter, Town Counsel  
Kyle Ambrose, Resident State Trooper  
John Berard, Building Inspector



## Chapter 20. Fees for Land Use Applications

### § 20-1. ESTABLISHING LAND USE APPLICATION FEES.

[Prior ordinance history includes portions of Ordinances 3/1/88, 8/15/88, 91-2, 04-5 and 06-4]

#### § 20-1.1. Purpose.

[Ord. 5/3/10]

The purpose of this chapter is to establish a reasonable and equitable Schedule of Fees, pursuant to Section 8-1c and 22a-42a of the Connecticut General Statutes, to defray the administrative costs and any additional costs, including professional consulting fees, incurred by the Planning and Zoning Commission, Inland Wetlands Agency and Zoning Board of Appeals of the Town of Brooklyn (each a "Land Use Agency") for the processing and subsequent monitoring of Land Use applications.

#### § 20-1.2. Definitions.

[Ord. 5/3/10]

##### **LAND USE APPLICATION**

Shall mean an application for (1) any permit(s) or approval(s) required by any Land Use Agency regulations for the use of any land, building or structure; (2) proposed amendments to such regulations or the zoning map; (3) a request for a zoning variance; (4) an appeal of a decision of the Zoning Enforcement Officer or (5) a certificate of location approval and or appropriateness pursuant to Section 14-67 and/or Section 14-321 of the Connecticut General Statutes, submitted by any person, organization or corporation (the applicant).

##### **STAFF**

Shall mean any employee or appointee of the Town of Brooklyn or employees of the Northeast Connecticut Council of Governments "NECCOG" who, as part of his or her duties, render advice or assistance to any land use agency. Planning Staff shall be the Zoning Enforcement Officer, Town Planner or employees of NECCOG.

#### § 20-1.3. Determination of Fees Charged for Land Use Applications.

[Ord. 5/3/10]

- a. **Base Fees.** The base fees established hereby are based on a reasonable estimate of the direct and indirect costs for time spent by staff in reviewing and evaluating each type of land use application and, except as noted, the cost of any public hearing. The base fee plus the estimated costs for advertising and required legal notices shall be paid at the time the land use application is filed.
- b. **Additional Fees.**



1. In addition to the base fees set forth herein, a Land Use Agency may require the applicant to pay an "additional fee" to defray other costs and expenses incurred by the Land Use Agency. Such additional fee shall be assessed to the applicant when the Planning Staff and/or the Land Use Agency determines that there is a need for the assistance of one or more third party consultants for review, evaluation or processing the land use application (consultation services). Consultants may be engaged to render engineering, architectural, environmental and planning services including traffic studies. Consultation services may include, but not be limited to, consultation with Town staff or the Town Attorney, discussions with the applicant or its agents, rendering such information and research that the Land Use Agency may request, the preparation of written findings and recommendations, written or oral testimony at any public hearing and post-approval inspections to ascertain that all terms and conditions of any permit have been met.
  2. The additional fee shall be equal to the reasonable cost incurred by the Land Use Agency for such consultation services.
  3. Upon the determination by the Town staff and/or Land Use Agency that consultation services are necessary, the Town Staff shall provide to the Land Use Agency, for its approval, a reasonable estimate of the cost based on the nature and the extent of the consultation services deemed necessary. Such determination shall be made as soon as practicable after the receipt (filing) of the land use application by the Land Use Agency and, upon approval by the Land Use Agency, the applicant shall be billed an additional fee in an amount equal to 125% of such estimate. Such additional fee shall be due and payable 10 days after receipt.
  4. Upon receipt of an additional fee from the applicant, the Land Use Agency shall create an application specific account and shall document the amount of the additional fee and all payments made for consultation services. The Land Use Agency shall render periodic accounting to the applicant. Any balance remaining after the land use application has been acted upon shall be refunded to the applicant, provided there has been a determination by the Staff that all terms and conditions of the permit have been met.
  5. Upon the failure of the applicant to pay such additional fee when due, the land use application shall be deemed to be incomplete and may be denied by the Land Use Agency for that reason with or without prejudice. No land use application shall be approved until the base fee, the additional fee, if any, and costs of advertising and legal notices have been paid in full.
- c. No fees shall be required for any land use application submitted by the Town of Brooklyn or any of its municipal agencies.

## § 20-1.4. Effective Date; Validity.

[Ord. 5/3/10]

In accordance with Connecticut General Statutes Section 8-1c, upon its effective date the fee structure set forth in this chapter shall supersede any fee schedule adopted by any Land Use Agency (this schedule was adopted May 3, 2010). If any provision or fee imposed by this chapter is, for any reason, found to be invalid by a court of competent jurisdiction, such invalidation shall not affect the validity of the remaining portions of this chapter and the fees imposed.

## § 20-1.5. Amendment of Schedule.

[Ord. 5/3/10]

The Board of Selectmen, acting pursuant to the provisions of Connecticut General Statutes Section 7-157(a), may, by ordinance, amend the Schedule of Base Fees from time to time after consultation with the Land Use Agency(ies).

## § 20-1.6. Fee Schedule.

**Base Land Use Application Fees**

<b>ZONING FEES</b>	
Text Amendment to Regulations	\$250.00
Zoning Map Change	\$250.00
Home Occupation	\$50.00
Special Permit	\$100.00 plus site plan review
Site Plan Review	
2,500 sq. ft. or less	\$300.00
Over 2,500 sq. ft.	\$300.00 plus \$15.00 per each additional 1,000 sq. ft.
Site Plan Review (multi-family/active adult or elderly)	\$300.00 plus \$20.00 per unit
Amendment to Site Plan After Submission	\$150.00
Special Permit (Sand and Gravel)	\$250.00 +
< 1,000 cu. yds.	\$200.00
1,000 to 20,000 cu. yds.	\$300.00
21,000 to 50,000 cu. yds.	\$750.00
51,000 to 100,000 cu. yds.	\$2,500.00
> 100,000 cu. yds.	\$5,000.00
Annual Sand and Gravel Renewal	\$100.00

<b>ZONING PERMITS</b>	
New Residential Dwelling	\$200.00
Residential Accessory Uses/Additions	\$50.00
Addition/Modification of a Nonresidential Building	\$75.00
New Commercial Building	\$250.00
Change of Use in Existing Commercial Building	\$75.00
Sign Permit	\$20.00

<b>SUBDIVISION APPROVAL</b>	
Basic Application	\$250.00
Subdivision Plan Review	\$250.00 per lot
Engineering Review for New Road(s) and Drainage	*
Inspection and Supervision of Road Construction and Utilities	*
Text Amendment to Subdivision Regulations	\$250.00

\*Included in Plan Review Fee but may be subject to the payment of additional fees as set forth in this chapter.

<b>ZONING BOARD OF APPEALS</b>	
All Applications	\$250.00

**INLAND WETLANDS APPLICATION FEES**

## INLAND WETLANDS APPLICATION FEES

Residential (Single Lot)	\$150.00
Subdivision Application	\$150.00 plus \$150.00 per lot in the regulated area
Commercial/Industrial	\$200.00
Additional fee based on total impervious surface included in commercial/industrial application	
< 20,000 sq. ft.	\$400.00
20,001—50,000 sq. ft.	\$1,200.00
> 50,000 sq. ft.	\$800.00
Additional Fee for Significant Activity Requiring Public Hearing	\$250.00

All fees payable pursuant to this chapter are nonrefundable.

In addition to any other remedies permitted by law, any land use application submitted after work has started on a project shall be subject to a surcharge of \$500.00.

In addition to the fees set forth above payable to the Town of Brooklyn, each application is subject to an additional charge payable to the State of Connecticut, which, as of the effective date of this chapter is \$60.00.

## § 20-2. CITATION PROCEDURES AND FINES FOR ZONING AND WETLANDS VIOLATIONS.

### § 20-2.1. Issuance of Citations; Schedule of Fines.

[Ord. 8/1/13]

The Brooklyn Land Use Officer is authorized to issue citations for violations of the Zoning Regulations and the Wetlands Regulations of the Town of Brooklyn to the extent and manner provided by this section and the Connecticut General Statutes 7-152c. Any such citation may be served either by hand or by certified mail, return receipt requested, to the person named in such citation. If the person(s) named in the citation sent by certified mail refuses to accept such mail, the citation may be sent by regular United States mail. The Land Use Officer shall file and retain an original or certified copy of the citation, as served.

- a. Citations may be issued for those types of zoning and wetlands violations specified in paragraph b below.
- b. The fine for each citation shall be in accordance with this schedule:

ZONING REGULATIONS	
Nature of Violation	Amount of Fine
Construction of any building without Zoning approval	\$150.00
Alteration of any building without Zoning approval	\$100.00
Conducting an unauthorized use	\$150.00
Illegal Sign	\$100.00
Building beyond foundation without prior Foundation as-built or erosion control approval	\$150.00
Failure to comply with an approved Site Plan, Special Permit, Subdivision or Re-subdivision including any conditions of approval	\$150.00

## ZONING REGULATIONS

Nature of Violation	Amount of Fine
Any other violation of the Zoning Regulations	\$100.00

## INLAND WETLAND REGULATIONS

Nature of Violation	Amount of Fine
For each violation	\$1,000.00

\* In the case of a continuing violation, each day's continuation of the violation shall be deemed a separate and distinct violation.

### § 20-2.2. Citation Hearing Officers.

[Ord. No. 06-3 § 3]

The Chief Executive Officer shall appoint one or more Citation Hearing Officers, other than Police Officers or employees or persons who issue citations, to conduct the hearings authorized by this section.

### § 20-2.3. Notice.

[Ord. No. 06-3 § 4]

At any time within 12 months from the expiration of the final period for the uncontested payment of fines, penalties, costs or fees for any citation issued under any ordinance adopted pursuant to section 7-148 or section 22a-226d, for an alleged violation thereof, shall send notice to the person cited:

- a. Of the allegations against him and the amount of the fines, penalties, costs or fees due;
- b. That he may contest his liability before a Citation Hearing Officer by delivering in person or by mail written notice within 10 days of the date thereof;
- c. That if he does not demand such hearing, an assessment and judgment shall be entered against him; and
- d. That such judgment may issue without further notice.

### § 20-2.4. Liability; Payment of Fines; Costs.

[Ord. No. 06-3 § 5]

If the person who is sent notice pursuant to subsection 20-2.3 wishes to admit liability for any alleged violation, he may, without requesting a hearing, pay the full amount of the fines, penalties, costs or fees admitted to in person or by mail to the Land Use Officer. Such payment shall be inadmissible in any proceeding, civil or criminal, to establish the conduct of such person or other person making the payment. Any person who does not deliver or mail written demand for a hearing within 10 days of the date of the first notice provided for in subsection 20-2.3 shall be deemed to have admitted liability, and the Land Use Officer shall certify such person's failure to respond to the Hearing Officer. The Hearing Officer shall thereupon enter and assess the fines, penalties, costs or fees provided for by the applicable ordinances and shall follow the procedures set forth in subsection 20-2.5.

### § 20-2.5. Hearing.

[Ord. No. 06-3 § 6]

Any person who requests a hearing shall be given written notice of the date, time and place for the hearing. Such hearing shall be held not less than 15 days not more than 30 days from the date of the mailing of the notice, provided the Hearing Officer shall grant upon good cause shown any reasonable request by any interested party for postponement or continuance. An original certified copy of the initial notice of violation issued by the Land Use Officer or Police Officer shall be filed and retained by the Town of Brooklyn, and shall be deemed to be a business record within the scope of CGS 52-180 and evidence of the facts contained therein. The presence of the Land Use Officer or Police Officer shall be required at the hearing if such person so requests. A person wishing to contest his liability shall appear at the hearing and may present evidence in his behalf. The Land Use Officer may present evidence on behalf of the Town of Brooklyn. If such person fails to appear, the Hearing Officer may enter an assessment by default against him upon a finding of proper notice and liability under the applicable statutes or ordinances. The Hearing Officer may accept from such person copies of Police reports, investigatory and citation reports, and other official documents by mail and may determine thereby that the appearance of such person is unnecessary. The Hearing Officer shall conduct the hearing in the order and form and with such methods of proof, as he deems fair and appropriate. The rules regarding the admissibility of evidence shall not be strictly applied, but all testimony shall be given under oath or affirmation. The Hearing Officer shall announce his decision at the end of the hearing. If he determines that the person is not liable, he shall dismiss the matter and enter his determination in writing accordingly. If he determines that the person is liable for the violation, he shall forthwith enter and assess the fines, penalties, costs or fees against such person as provided by the applicable ordinances of the Town of Brooklyn.

## § 20-2.6. Notice of Assessment Which is Unpaid.

[Ord. No. 06-3 § 7]

If such assessment is not paid on the date of its entry, the hearing officer shall send by first class mail a notice of assessment to the person found liable and shall file, not less than 30 days nor more than 12 months after such mailing, a certified copy of the notice of assessment with the Clerk of a Superior Court facility designated by the Chief Court Administrator together with an entry fee of \$8.00. The certified copy of notice of assessment shall constitute a record of assessment. Within such twelve-month period, assessments against the same person may be accrued and filed as one record of assessment. The Clerk shall enter judgment, in the amount of such record of assessment and court costs of \$8.00, against such person in favor of the Town of Brooklyn. Notwithstanding any provision of the General Statutes, the Hearing Officer's assessment, when so entered as a judgment, shall have the effect of a civil money judgment and a levy of execution on such judgment may issue without further notice to such person.

## § 20-2.7. Appeal.

[Ord. No. 06-3 § 8]

A person against whom an assessment has been made pursuant to this section is entitled to judicial review by way of appeal. An appeal shall be instituted within 30 days of the mailing of the notice of such assessment by filing a petition to reopen assessment, together with an entry fee in an amount equal to the entry fee for small claims case pursuant to Connecticut General Statutes (Revision of 1958) 52-259, at a Superior Court facility designated by the Chief Court Administrator, which shall entitle such person to a hearing in accordance with the rules of the Judges of the Supreme Court.

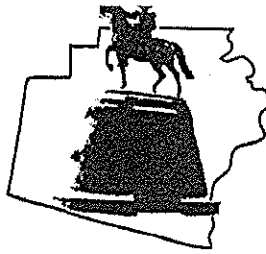
## § 20-3. PUBLIC IMPROVEMENT SPECIFICATIONS.

[Ord. 6/28/89 § 1]

- a. It is hereby found that rapid growth and development within the Town of Brooklyn are placing unprecedented strain upon Town roads and appurtenant drainage systems, culverts, and catch-basins.

- b. To alleviate that siltation, and as empowered by Section 7-148 (c) of the General Statutes, the Board of Selectmen are hereby authorized to develop such regulations as they may deem appropriate to carry out the following purposes:
1. To provide the proper alignment, width, and grades and pavements of existing Town roads serving as a right of way to any proposed subdivision, to ensure that such existing Town roads remain safe and continue to conform to the plan of development of the Town;
  2. To provide adequate and sufficient storm drainage systems for carrying off increased storm drainage created by any proposed subdivision and associated access road improvements, whether such additional drainage would impact upon existing Town improvements or private lands;
  3. To provide that adequate and sufficient culverts, manholes, and catch-basins be installed to carry run-off water from the road surface and to divert road water from the proposed subdivision beneath or around existing roads without causing significant increases in erosion or sedimentation.
- c. Compliance with the regulations adopted by the Board of Selectmen shall be a condition precedent to any application for subdivision of property within the Town of Brooklyn. Failure to comply shall be adequate cause for denial of any such application.

If any portion of this section is deemed by a court of competent jurisdiction to be impermissible, its remaining sections shall continue to be valid and enforceable.



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands  Zoning Enforcement  Blight Enforcement

SITE INSPECTION NUMBER

1 2 3 4 5

14 Darby Rd.

4/20/22

Address

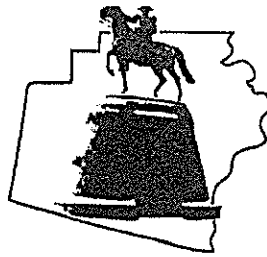
Date

I met Mrs. J, inspected + took photos due to a complaint about fill near wetlands. I called Mr. J this AM + he said they removed an old in-ground pool in the back yard and filled it in, plus covered up some mud. Mr. J said all the neighbors' land drains onto his, and his sump pump never stops running. While I was there I observed the sump pump causing water to flow down Darby Rd. towards Hugh Dr

There is standing water on edge of fill in back yard at tree line where fence has been pushed.

Commission Representative \_\_\_\_\_

Owner or Authorized Signature \_\_\_\_\_



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x.31

Inland Wetlands \_\_\_\_\_

Zoning Enforcement  \_\_\_\_\_

Blight Enforcement \_\_\_\_\_

## SITE INSPECTION NUMBER

1 2 3 4 5

14 Darby Rd  
Address

4/20/22  
Date

vehicles Silver Toyota Corolla RI plate  
4 door 79199

Larson outboard motor fishing boat on trailer  
in front yard ← boat on

silver Mazda 3 4-dr sedan no plate

grey/silver GMC Sierra pickup no plate crew cab  
2nd white fishing boat on trailer in front yard

Black Toyota Avalon XLS CT plate AX 75610 4-dr

Red Ford Mustang Mach 1 2-dr CT plate BB.65143  
3rd boat frame - fiberglass

junk yard - tires, ATV discarded, old trailer, auto parts  
discarded household items, very close to wetlands.

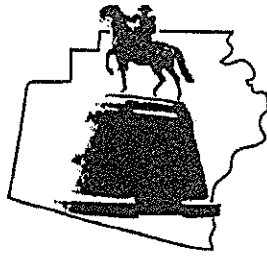
knocked down chain link fence

Someone living above garage?

Commission Representative \_\_\_\_\_

Owner or Authorized Signature \_\_\_\_\_





# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands \_\_\_\_\_ Zoning Enforcement \_\_\_\_\_ Blight Enforcement \_\_\_\_\_

SITE INSPECTION NUMBER

1 2 3 4 5

14 Darby Rd Cont'A

Address

Date

The fill has been pushed right up to edge of wetlands beside int. stream on left side of property facing it from D. Rd. Entire back yard has been filled to edge of tree line.

Commission Representative \_\_\_\_\_

Owner or Authorized Signature \_\_\_\_\_

**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

Element	Cd	Description	Element	Cd	Description
Style: 01		Ranch			
Model: 01		Residential			
Grade: 03		C			
Stories: 1					
Occupancy: 1					
Exterior Wall 1: 11		Clapboard			
Exterior Wall 2: 03		Gable/Hip			
Roof Structure: 03		Asph/F Gls/Cmp			
Roof Cover: 03		Drywall/Sheet			
Interior Wall 1: 05					
Interior Wall 2: 12		Hardwood			
Interior Fir 1: 02		Oil			
Interior Fir 2: 05		Hot Water			
Heat Fuel: 01		None			
Heat Type: 01		1 Bedroom			
VC Type: 01					
Total Bedrooms: 1					
Total Baths: 1					
Total Half Baths: 0					
Total Xtra Fixtrs: 5					
Total Rooms: 02		Average			
Bath Style: 02		Modern			
Kitchen Style: 02					

CONDO DATA			
Parcel Id	C	B	S
Adjust Type	Code	Description	Factor%
Condo Fir			
Condo Unit			

**COST / MARKET VALUATION**

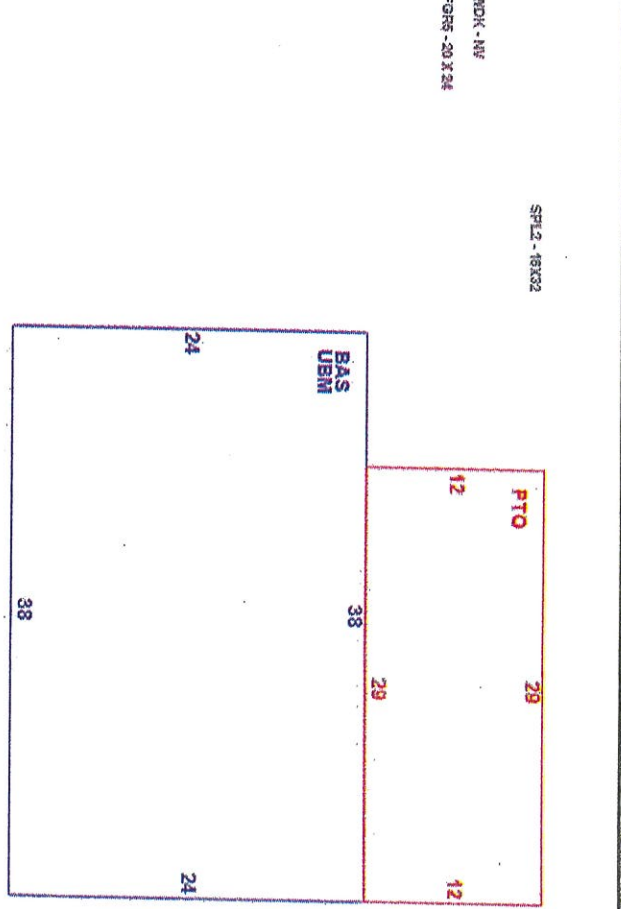
Building Value New	152,101
Year Built	1970
Effective Year Built	1990
Depreciation Code	A
Remodel Rating	
Year Remodeled	30
Depreciation %	2
Functional Obsol	1
External Obsol	
Trend Factor	
Condition	
Condition %	68
Percent Good	103,400
RCNLD	
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

**OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)**

Code	Description	UB	Units	Unit Price	Yr Bit	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
GR4	GARAGE W/L	L	480	30.00	1989		50		0.00	7,200
PL2	POOL- INGR	L	512	38.00	1976		10		0.00	1,900
/DS	WOODSTOVE	B	1	0.00			68		0.00	0

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
AS	First Floor	912	912	912	129.45	118,056
TO	Patio	0	348	35	13.02	4,531
BM	Basement, Unfinished	0	912	228	32.36	29,514
<b>Ttl Gross Liv/Lease Area</b>		<b>912</b>	<b>2,172</b>	<b>1,175</b>		<b>152,101</b>



PROPERTY OWNER	TOPO	UTILITIES	STRT / ROAD	LOCATION	DESCRIPTION	CURRENT ASSESSMENT	ASSESSED
OHNSON JASON					RES LAND	1-1	39,600
					DWELLING	1-3	103,400
					RES OUTBL	1-4	9,100
Total							152,100
PREVIOUS ASSESSMENTS (HISTORY)							106,400
Total							105,800

ADDRESS	CITY	STATE	ZIP
4 DARBY RD	CT	06234	6019
ROOKLVN	CT	06234	BROOKLVN, CT

101-309-3895  
 FIRE DIST SEWER  
 SUPPLEMENTAL DATA  
 All Parcel ID 36/015  
 OVERLAY  
 490 PEN  
 DEVRIGH  
 SUBDIV. GREEN DUNNIN  
 SURVEY # 3/58  
 DEV LOT  
 Census # 9051

RECORD OF OWNERSHIP	BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VG	Year	Code	Assessed	Year	Code	Assessed
JHNSON JASON	0622	01-23-2019	U	1	190,550	14	2020	1-1	27,700	2019	1-1	34,200
MC KEYWEST LLC	0617	10-16-2018	U	1	110,500	14		1-3	72,400		1-3	59,800
SECRETARY OF HOUSING & URBAN DEV	0612	07-05-2018	U	1	0	14		1-4	6,300		1-4	11,800
CONNECTICUT HOUSING FINANCE AUTHO	0552	11-20-2014	U	1	170,905	14						
DLIN MARK	0328	04-29-2004	U	1	179,900	14						
Total							106,400	Total	105,800	Total		105,800

EXEMPTIONS					OTHER ASSESSMENTS				
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int	Appraised Bldg. Value (Card)
									Appraised Xf (B) Value (Bldg)
									Appraised Ob (B) Value (Bldg)
									Appraised Land Value (Bldg)
									Special Land Value
									Total Appraised Parcel Value
									Valuation Method
									C

ASSESSING NEIGHBORHOOD				NOTES			
Nbhd	Nbhd Name	B	Tracing	Batch	Appraised Bldg. Value (Card)	Appraised Xf (B) Value (Bldg)	Appraised Ob (B) Value (Bldg)
0001		B			103,400	9,100	0

KEY IA (09)  
 WK - NV/SIZE  
 T. PAT1 - FAIR (09)  
 NC-WB/SP  
 ME DEF MAINT - COSMETICS (09)  
 HEATED RM OVER GARAGE  
 2019-1A/EA  
 INGRND POOL-POOR COND

BUILDING PERMIT RECORD							VISIT/CHANGE HISTORY							
Permit ID	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Ch	Purpose/Result
3-116	05-28-2020	RE	Remodel	6,000	07-27-2020	100	10-01-2020	CONVERT ONE BEDROOM T	07-27-2020	KN	26			Building Permit
	09-15-2011	RF	Roofing	2,000	02-02-2012	100	02-02-2012	STRIP & REROOF	07-13-2020	MM	13			Field Review
	04-22-2004	RE	Remodel	1,000		100	10-01-2004	KITCHEN & BATH RENOVATI	12-19-2019	DCA	01			Measure+Visit
	11-12-1999	RE	Remodel	3,670		100	10-01-2000	RENOVATIONS	02-06-2019	MS	47			Change
	09-16-1986	SH	Shed	5,000		100	09-16-1986	20X25 CARRIAGE SHED	10-29-2018	MS	47			Change
									07-10-2018	MS	47			Change
									12-03-2014	MS	47			Change

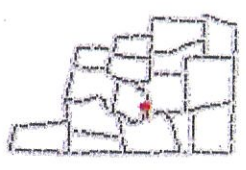
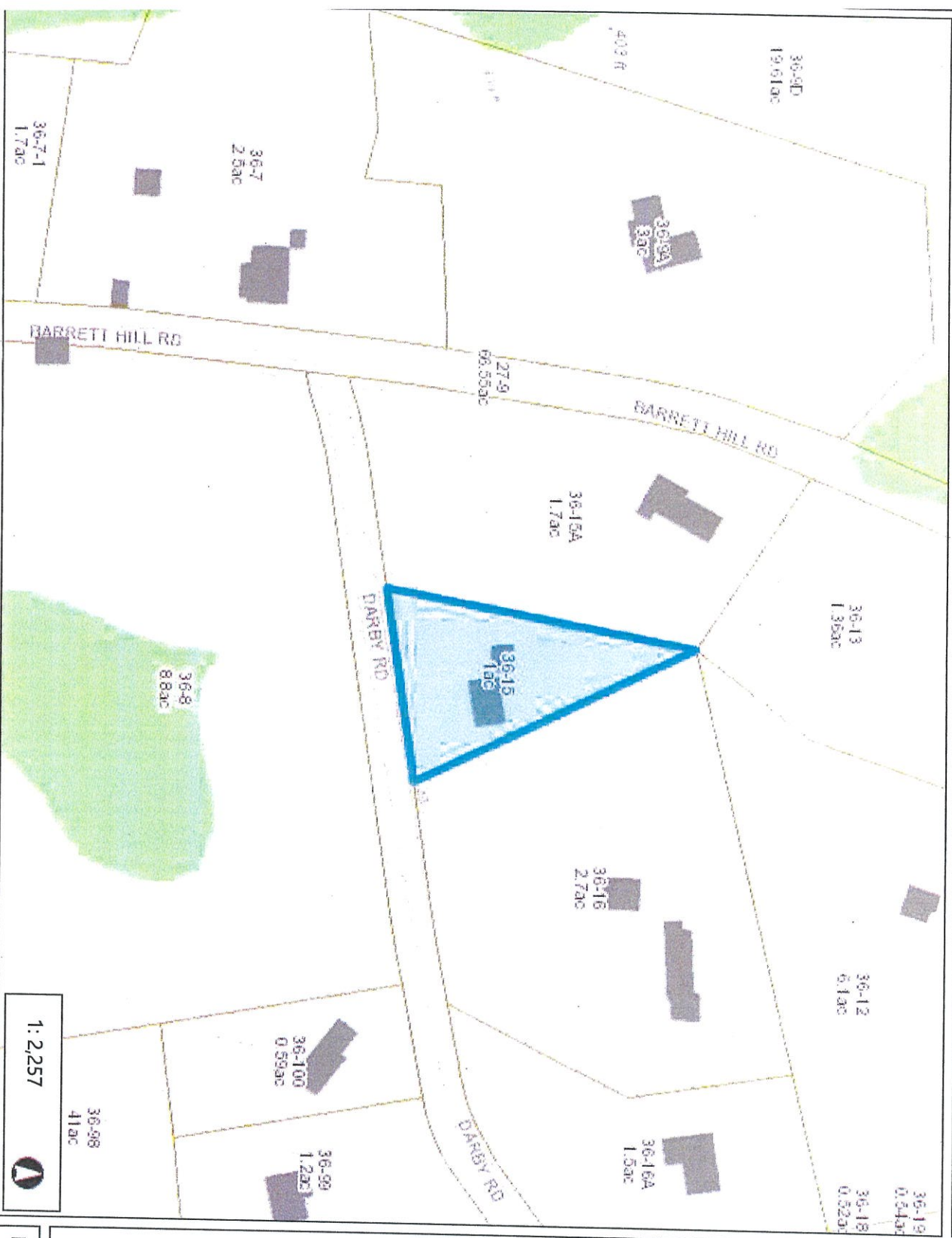
LAND LINE VALUATION SECTION															
Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value
1010	Single Fam MDL	RA			1,000	36,000	1.00000	5	1.00	0050	1.100		1.0000		39,600

Total Card Land Units	1,000	AC	Parcel Total Land Area	11,000
-----------------------	-------	----	------------------------	--------



neccog

Verdugo G.S. Site



**Legend**

- Town
- Buildings 2012
- Parcels
- Wetlands**
  - Alluvial and Floodplain Soils
  - Poorly Drained and Very Poorly Dre

**1:2,257**

**Notes**  
14 Darby Rd.  
Complaint:

This map is a user-generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

# 14 Darby Rd.



**Legend**

- 14 Darby Rd
- 1690Overlay
- Feature 1
- GWPOverlay
- IND
- NB
- PC
- R-10
- R-30
- RB
- VC

Google Earth

Darby Rd

Darby Rd

Darby Rd

14 Darby Rd

100 ft





neccoog

Neccoog GIS site



Legend

-  Town
-  Buildings 2012
-  Parcels

Notes

14 Darby Rd.  
Jason Johnson

1:1,128



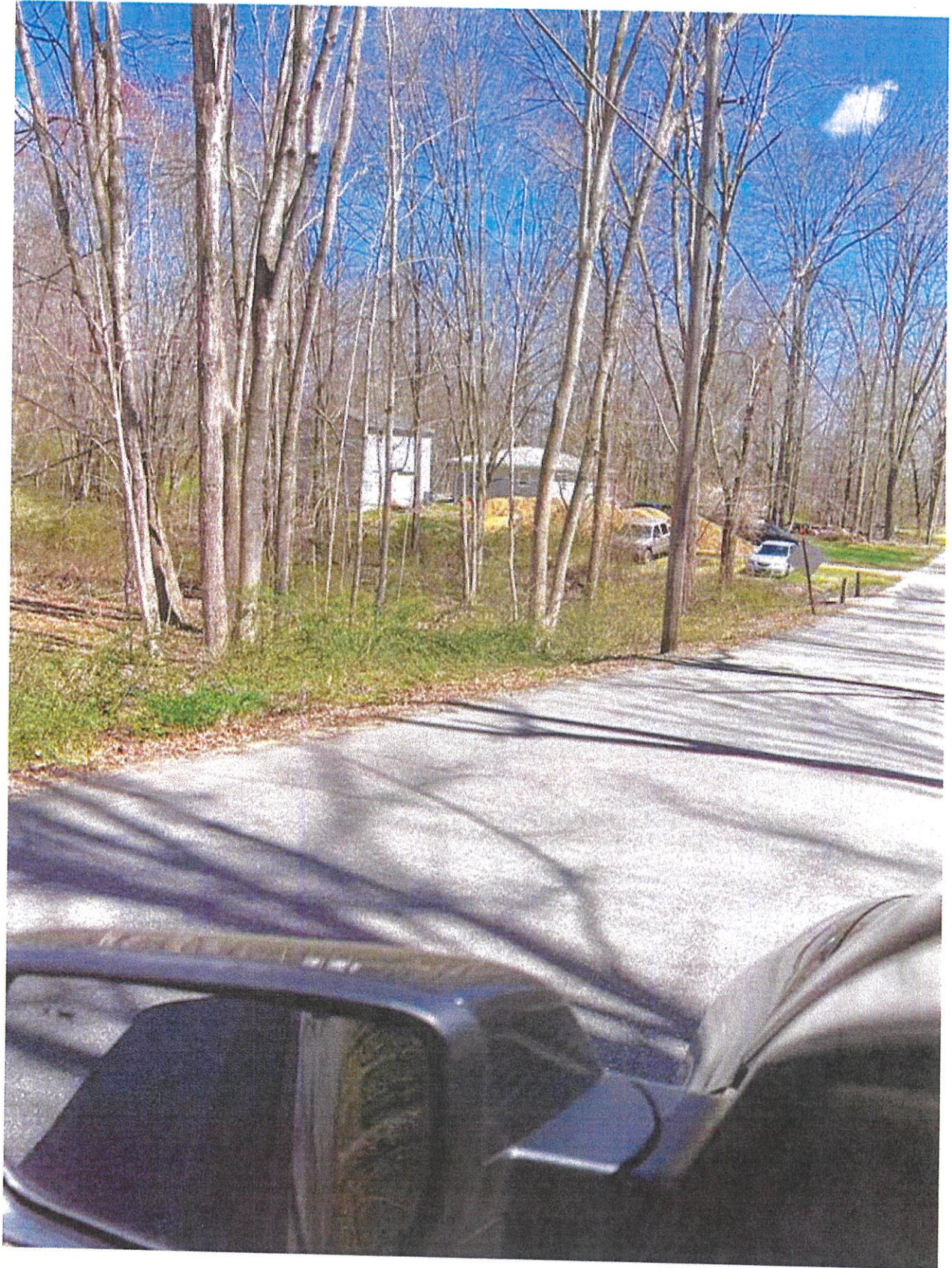
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.0 0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.









INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONECTICUT

Date \_\_\_\_\_  
By \_\_\_\_\_

Application # 061422B

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT BROOKLYNS COUNTRYVIEW RESTAURANT, LLC MAILING ADDRESS 170 SOUTH STREET, BROOKLYN, CT 06234  
APPLICANT'S INTEREST IN PROPERTY OWNER PHONE 860 230 6848 (JEFF FONTAINE) EMAIL \_\_\_\_\_

PROPERTY OWNER IF DIFFERENT SAME PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_ EMAIL \_\_\_\_\_

ENGINEER/SURVEYOR (IF ANY) PC SURVEY ASSOCIATES, LLC / KILLINGLY ENGINEERING ASSOCIATES  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS 170 SOUTH STREET, BROOKLYN, CT 06234  
MAP # 40 LOT # 11 ZONE R-30 TOTAL ACRES 11.58 ACRES OF WETLANDS ON PROPERTY 0.8 +/-  
GCO

PURPOSE AND DESCRIPTION OF THE ACTIVITY CONSTRUCTION OF 6000 S.F. STORAGE/MAINTENANCE BUILDING WITH SEPTIC SYSTEM, WELL, DRIVEWAY, UTILITY SERVICE, DRAINAGE AND SITE GRADING

WETLANDS EXCAVATION AND FILL:  
FILL PROPOSED N/A CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
EXCAVATION PROPOSED N/A CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE N/A OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT 12,000 ACRES 0.28  
(UPLAND REVIEW AREA)

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): NONE CONSIDERED N/A

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY 0 SQFT 0 ACRES 0

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? NO IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? NO

*THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.*

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: X  DATE 6/6/22

OWNER: X  DATE 6/6/22

**REQUIREMENTS**

✓ APPLICATION FEE \$ 150 STATE FEE (\$60.00) \$60<sup>50</sup> = \$ 50 NOA

\_\_\_\_\_ COMPLETION OF CT DEEP REPORTING FORM

\_\_\_\_\_ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

\_\_\_\_\_ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

\_\_\_\_\_ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

\_\_\_\_\_ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

\_\_\_\_\_ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

**ADDITIONAL INFORMATION/ACTION NEEDED:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP  
INLAND WATER RESOURCES DIVISION  
79 ELM ST.  
HARTFORD, CT. 06106  
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
696 VIRGINIA ROAD  
CONCORD, MA. 01742  
1-860-343-4789

STAFF USE ONLY:

\_\_\_\_\_ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

\_\_\_\_\_ PERMIT REQUIRED:

\_\_\_\_\_ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ AUTHORIZED BY IWWC

\_\_\_\_\_ SIGNIFICANT ACTIVITY/PUBLIC HEARING

\_\_\_\_\_ NO PERMIT REQUIRED

\_\_\_\_\_ OUTSIDE OF UPLAND REVIEW AREA

\_\_\_\_\_ NO IMPACT

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ TIMBER HARVEST



GIS CODE #: \_\_\_\_\_  
 For DEP Use Only

## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Complete, print, **sign**, and mail this form in accordance with the instructions on pages 2 and 3.

### PART I: To Be Completed By The Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (use drop-down box):      Year      Month
- ACTION TAKEN (use drop-down box):
- WAS A PUBLIC HEARING HELD? (select one only)       Yes       No
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
 (print): \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Municipal Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING:      BROOKLYN  
 Does this project cross municipal boundaries? (select one only)       Yes       No  
 If Yes, list the other town(s) in which the action is occurring:
- LOCATION: [USGS Quad Map Name](#) (see hyperlink):      DANIELSON  
[Quad Number](#) (see hyperlink):      43  
 Subregional Drainage [Basin Number](#) (see hyperlink):      3700
- NAME OF APPLICANT, VIOLATOR OR PETITIONER:      BROOKLYNS COUNTRYVIEW RESTAURANT
- NAME & ADDRESS/LOCATION OF PROJECT SITE:      170 SOUTH STREET, BROOKLYN, CT 06234  
  
 Briefly describe the action/project/activity:  Temporary       Permanent  
    CONSTRUCTION OF STORAGE/MAINTENANCE BUILDING
- ACTIVITY PURPOSE CODE (Use drop-down box):      D
- ACTIVITY TYPE CODE(S) (Use drop-down box)      1 , 2 , 12 , 14
- WETLAND / WATERCOURSE AREA ALTERED [must be provided in acres or linear feet as indicated]:  
 Wetlands:      0      acres      Open Water Body:      0      acres      Stream:      0      linear feet
- UPLAND REVIEW AREA ALTERED [must be provided in acres]:      0.4      acres
- AREA OF WETLANDS AND / OR WATERCOURSES RESTORED, ENHANCED OR CREATED:      0      acres  
 [must be provided in acres]

### PART III: To Be Completed By The DEP

DATE RECEIVED: \_\_\_\_\_ DATE RETURNED TO DEP: \_\_\_\_\_  
 FORM COMPLETED:  YES       NO      FORM CORRECTED / COMPLETED:  YES       NO

**ABUTTERS LIST – MAP 40 , LOT 11 - 170 SOUTH STREET, BROOKLYN, CT**

MAP 40 , LOT 9

PETER WOLAK, TRUSTEE – EVERGREEN WILDLIFE FOUNDATION LAND TRUST  
134 SOUTH STREET, BROOKLYN, CT 06234

MAP 40 , LOT 12

KA&G DEVELOPMENT, LLC  
15 WOODLAND AVENUE, BALTIC, CT 06330

MAP 40 , LOT 12-1

ADVANTA IRA SERVICES, LLC  
15 WOODLAND AVENUE, BALTIC, CT 06330

MAP 40 , LOT 13

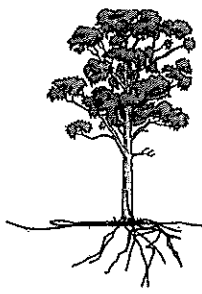
ROBERT HARRY PERRY, SR.  
202 SOUTH STREET, BROOKLYN, CT 06234

MAP 40 , LOT 14

RACHEL MARIE FORTIN  
23 FORTIN DRIVE, BROOKLYN, CT 06234

MAP 41 , LOT 129

PINEDALE FARM, LLP  
278 SPERRY ROAD, BETHANY, CT 06524



## JOSEPH R. THEROUX

~ CERTIFIED FORESTER / SOIL SCIENTIST ~  
PHONE 860-428-7992 ~ FAX 860-376-6842

P.O. Box 32, VOLUNTOWN, CT. 06384

FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENT  
DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING  
WETLAND FUNCTION AND VALUE ASSESSMENTS

WETLAND

4/21/22

P.C. SURVEY ASSOC. LLC.  
63 SNAKE MEADOW HILL RD.  
KILLINGLY, CT. 06239

ATTN: MR. PAUL TERWILLIGER

RE: COUNTRY VIEW RESTAURANT WETLAND DELINEATION, 170 SOUTH STREET, BROOKLYN, CT.

DEAR MR. TERWILLIGER,

AT YOUR REQUEST I HAVE DELINEATED THE INLAND WETLANDS ON THE ABOVE REFERENCED PROPERTY.

THESE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY AND THE DEFINITIONS OF WETLANDS AS FOUND IN THE CONNECTICUT STATUTES, CHAPTER 440, SECTION 22A-38.

FLUORESCENT PINK FLAGS WITH A CORRESPONDING LOCATION NUMBER DELINEATE THE BOUNDARY BETWEEN THE UPLAND SOILS AND THE INLAND WETLANDS.

FLAG NUMBERS WF-1 THRU WF-18 DELINEATE THE BOUNDARY OF THE PALUSTRINE FORESTED WETLANDS LOCATED TO THE NORTH OF THE DRIVING RANGE.

THESE SOILS ARE CHARACTERIZED BY THICK ORGANIC TOPSOIL HORIZONS, SHALLOW REDOXIMORPHIC FEATURES AND LOW CHROMA COLORS WITHIN 20 INCHES OF THE SOIL SURFACE.

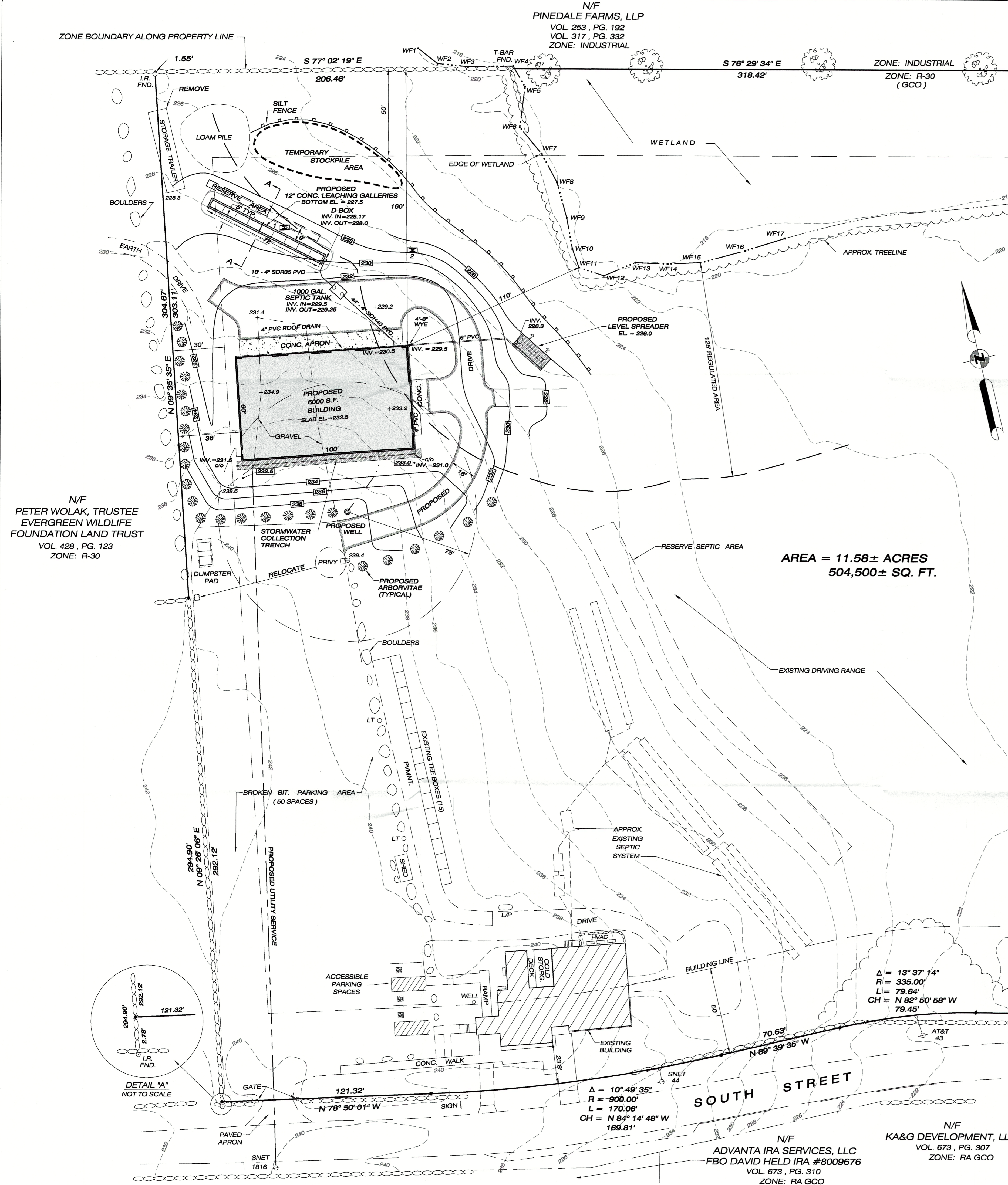
THESE SOILS HAVE FORMED DUE TO THE PROLONGED WETNESS FROM THE HIGH SEASONAL WATER TABLE AND GROUNDWATER BREAKOUT.

IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE DELINEATION OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

*Joseph R. Theroux*

JOSEPH R. THEROUX  
CERTIFIED SOIL SCIENTIST  
MEMBER SSSSNE, NSCSS, SSSA.



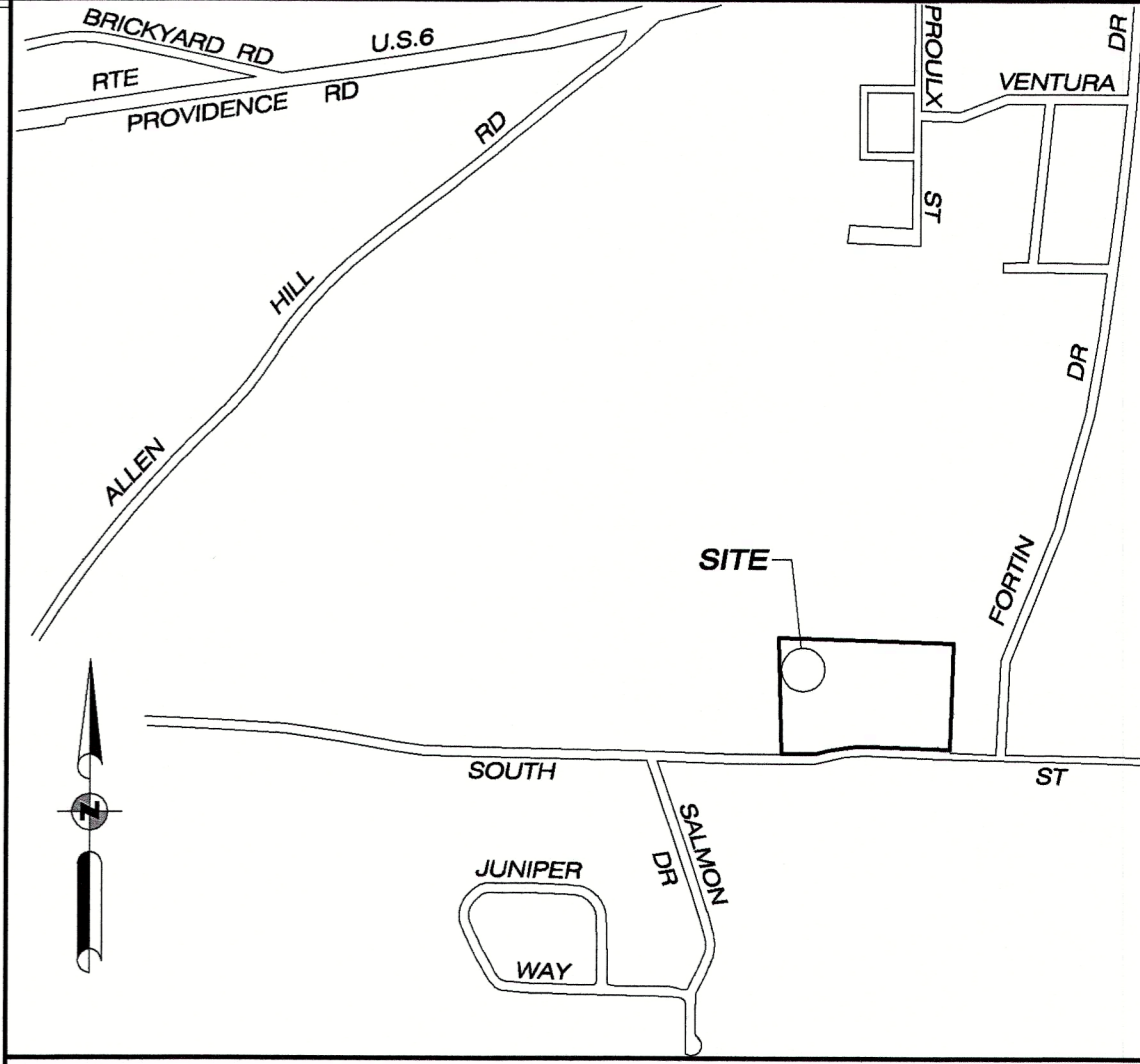
ZONE: R-30 GOLF COURSE OVERLAY DISTRICT

	REQUIRED	EXISTING	PROPOSED
AREA	30,000 S.F.	504,500± S.F.	504,500± S.F.
FRONTAGE	110'	881'±	881'±
FRONT SETBACK	50'	23.8' *	369.5'±
SIDE SETBACK	30'	150'±	36'
REAR SETBACK	50'	>500'	160'

\* EXISTING NON-CONFORMING SETBACK

EXISTING USE: RESTAURANT / DRIVING RANGE  
 PROPOSED ADDITIONAL USE: EQUIPMENT STORAGE AND MAINTENANCE (NOT FOR PUBLIC USE)

PARKING:  
 RESTAURANT: 1 SPACE / 3 SEATS = 75 SEATS / 3 = 25 SPACES  
 DRIVING RANGE: 1 SPACE / TEE BOX = 15 TEEBOXES = 15 SPACES  
 EMPLOYEE SPACES: 7  
 ACCESSIBLE SPACES: 3  
 TOTAL SPACES PROVIDED: 50  
 NOTE: PROPOSED ADDITIONAL USE REQUIRES NO ADDITIONAL SPACES



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "B". TOPOGRAPHIC FEATURES WITHIN THE AREA OF DEVELOPMENT WERE DERIVED FROM FIELD SURVEY AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS "1-2". TOPOGRAPHIC FEATURES OUTSIDE THE AREA OF DEVELOPMENT WERE TAKEN FROM NOAA LIDAR DATA AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS "1-D". CONTOUR INTERVAL = 2 FEET; VERTICAL DATUM = APPROX. NAVD88. THE PURPOSE OF THIS MAP AND SURVEY IS FOR USE IN THE PERMITTING PROCESS FOR THE PROPOSED IMPROVEMENTS DEPICTED.
  - REFERENCE MAPS:
    - A. PROPERTY SURVEY PLAN PREPARED FOR JOHN M. BOYLE - ALLEN HILL ROAD & SOUTH STREET, BROOKLYN, CONNECTICUT - SCALE: 1"=150' - DATE: 6/15/1999 - REVISED 10/25/2001 - BY: KWP ASSOCIATES
    - B. PERIMETER SURVEY PREPARED FOR ROLAND FORTIN - FORTIN DRIVE, BROOKLYN, CONNECTICUT - DATE: JULY 2003 - SCALE: 1"=80' - BY: ARCHER SURVEYING, LLC
    - C. PERIMETER SURVEY PREPARED FOR 170 SOUTH STREET, LLC - SOUTH STREET, BROOKLYN, CONNECTICUT - DATE: NOVEMBER 2017 - SCALE: 1"=40' - BY: PC SURVEY ASSOCIATES, LLC
  - REFERENCE IS MADE TO A DEED TO BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC RECORDED IN VOL. 604, PG. 240 OF THE BROOKLYN LAND RECORDS.
  - AREA FROM THE STREET LINE DEPICTED TO THE CENTERLINE OF SOUTH STREET WAS GRANTED TO THE TOWN OF BROOKLYN FOR ROADWAY PURPOSES, AS OF THE DATE OF THIS SURVEY, THE DEED OF CONVEYANCE HAS NOT BEEN RECORDED IN THE BROOKLYN LAND RECORDS AND IS IN THE POSSESSION OF THE TOWN OF BROOKLYN LAND USE OFFICE.
  - SUBJECT PROPERTY IS SHOWN AS MAP 40, LOT 11 OF THE BROOKLYN ASSESSORS RECORDS.
  - INLAND WETLANDS WERE FIELD DELINEATED BY JOSEPH R. THEROUX IN APRIL 2022.

- LEGEND
- STONE WALL
  - WIRE FENCE
  - FENCE REMAINS IN TREE
  - EXISTING SPOT GRADE
  - PROPOSED SPOT GRADE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EROSION CONTROL BARRIER
  - TEST PIT



**Killingly Engineering Associates**  
 114 Westcott Road  
 P.O. Box 421  
 Dayville, Connecticut 06241  
 860 779 7299

RECEIVED JUN 8 2022

*Norman Thibault, Jr.* 6/6/2022  
 NORMAND THIBAUT, JR., P.E. No. 22834 DATE



GENERAL LOCATION SURVEY

SITE PLAN  
 OF PROPOSED BUILDING  
 TO BE LOCATED ON LAND OF  
**BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC**

170 SOUTH STREET  
 BROOKLYN, CONNECTICUT

DATE: MAY 2022  
 SCALE: 1" = 30'

63 SNAKE MEADOW RD  
 KILLINGLY, CT 06239  
 860 774 6230

SHEET NO: 1 OF 2  
 REVISED:

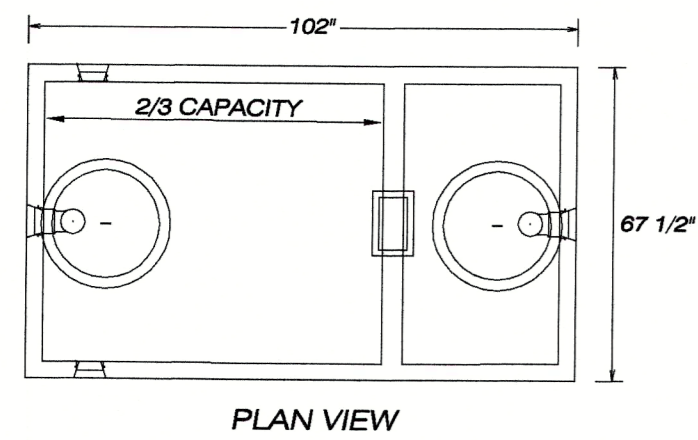
0 15' 30' 60' 90'

JOB NO: 22016 | F.B. NO: 229 | DRAWN BY: P.A.T. | MAP NO:

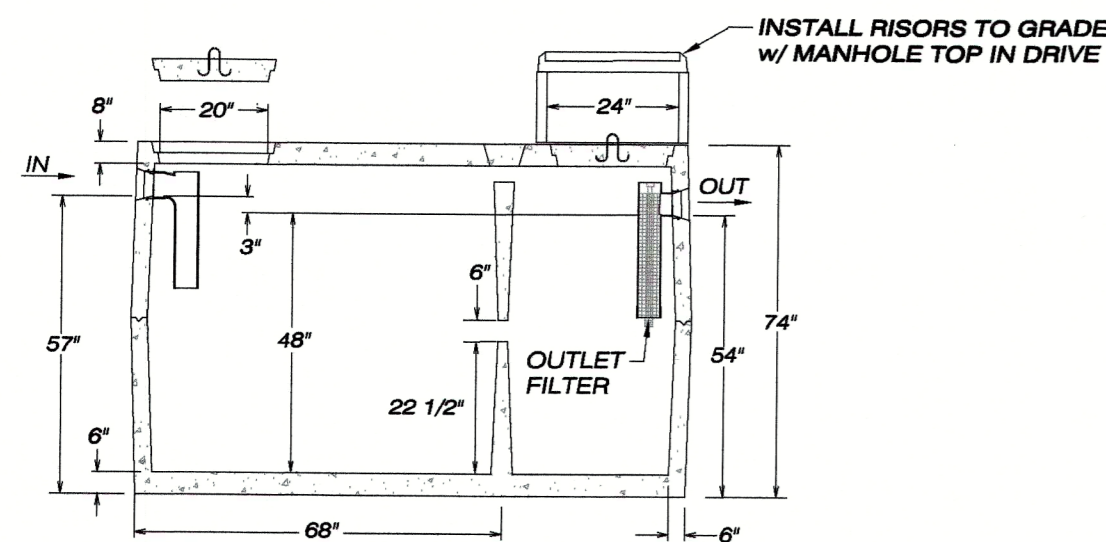
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Paul A. Terwilliger*  
 PAUL A. TERWILLIGER, L.S. NO. 70165  
 DATE: 5/31/2022

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.



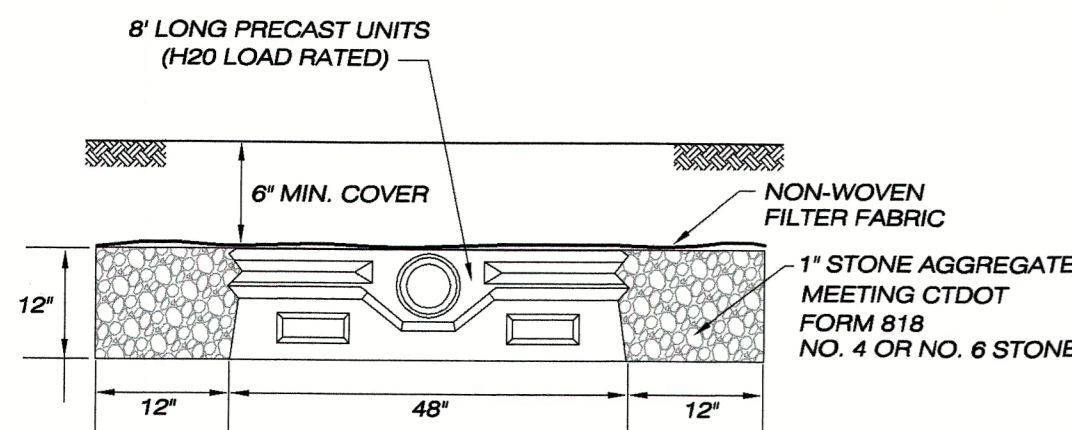
PLAN VIEW



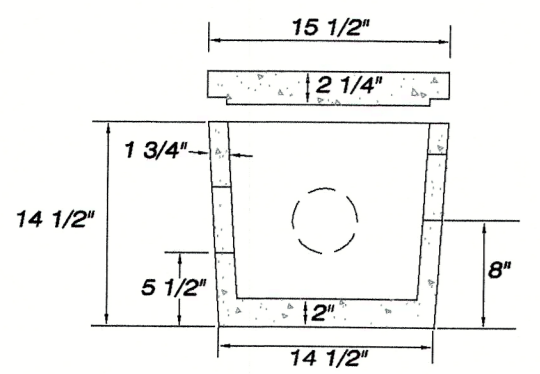
DESIGN NOTES

- 1) JOINTS TO BE SEALED WITH BUTYL RUBBER SEALANT
- 2) INLETS AND OUTLETS TO HAVE STATE-APPROVED SEALS.
- 3) MEETS H20 WHEEL LOAD REQUIREMENTS.
- 4) MUST MEET ASTM 1227
- 5) CONCRETE STRENGTH SHALL BE 5000 PSI. MIN. 28 DAYS

**1000 GALLON - H2O  
TWO-COMPARTMENT SEPTIC TANK**  
N.T.S.



**FLOWDIFFUSOR TRENCH SECTION**  
N.T.S.



**DISTRIBUTION BOX**  
N.T.S.

**SEPTIC SYSTEM NOTES**

PERC RATE: 1.33 MIN./INCH

DESIGN FLOW: 600 GPD (0.1 GPD/S.F. x 6000 S.F.)

SEPTIC TANK: 1000 GALLON (H2O)

LEACHING AREA REQUIRED: 600 GPD/1.5 = 400 SQ. FT. ELA

LEACHING AREA PROVIDED: 72' OF 12" CONC. LEACHING GALLERIES @ 5.9 S.F./L.F. = 424.8 SQUARE FEET.

MOTTILING: 32", LEDGE: 88", WATER: N/A

MLSS CALCULATION: HF = 26 (6.1-9% SLOPE, 32' TO RESTRICTIVE)

FF = 600/300 = 2.0

PF = 1.0 (UP TO 10 MIN./INCH)

MLSS = HF x FF x PF = 26 x 2.0 x 1.0 = 52 L.F. MLSS

MLSS PROVIDED: 72 L.F.

MAXIMUM DEPTH INTO EXISTING GRADE: 8"

**SPECIFICATIONS**

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT H20 LOAD RATED TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOX: JOLLEY OR EQUAL 4 HOLE D-BOX

HOUSE AND EFFLUENT SEWER PIPE: 4" PVC ASTM D 1785 OR ASTM D 2665 SCHEDULE 40 WITH RUBBER COMPRESSION GASKETS OR PVC AWWA C-900 WITH RUBBER COMPRESSION GASKETS.

DISTRIBUTION: 12" HIGH FLOWDIFFUSOR CONCRETE LEACHING GALLERIES

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH.:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

**TEMPORARY VEGETATIVE COVER**

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS IT SHALL BE LOOSENEED TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. SHALL BE USED. RYE GRASS APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVIDE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND COARSE MATTER SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. AS A TEMPORARY MULCH. APPLY A JUTE NETTING COVER TO SLOPES OF 3:1 OR GREATER SLOPE.

**PERMANENT VEGETATIVE COVER**

TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION AND FILL PLACEMENT HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS. APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

SEED MIXTURE	LBS./ACRE	LBS./1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

THE RECOMMENDED SEEDING DATES ARE: APRIL 1 - JUNE 15 AND AUGUST 30 - OCTOBER 1

FOLLOWING SEEDING MULCH WITH WEED FREE STRAW AND APPLY A JUTE NETTING COVER TO AREAS OF 3:1 OR GREATER SLOPE

**EROSION & SEDIMENT CONTROL PLAN**

REFERENCE IS MADE TO:

1. CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.
2. SOIL SURVEY OF WINDHAM COUNTY CONNECTICUT, U.S.D.A. SOIL CONSERVATION SERVICE 1983.

**DEVELOPMENT**

PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A 6000 S.F. MAINTENANCE/STORAGE BUILDING WITH APPURTENANT SEPTIC SYSTEM, WELL, DRIVEWAY, UTILITIES AND SITE GRADING.

**CONSTRUCTION SEQUENCE:**

1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES ALONG THE PROPOSED LIMITS OF DISTURBANCE.
2. REMOVE AND STOCKPILE TOPSOIL AND INSTALL SEDIMENT BARRIER.
3. ROUGH GRADING AND DRIVEWAY INSTALLATION.
4. EXCAVATE FOUNDATION SITE AND BEGIN BUILDING CONSTRUCTION.
5. INSTALL SEPTIC SYSTEM AND WELL.
6. INSTALL UTILITIES TO THE BUILDING.
7. FINAL DRIVEWAY GRADING AND SURFACING.
8. LOAM, SEED & MULCH DISTURBED AREAS AND LANDSCAPING.
9. REMOVE EROSION AND SEDIMENT CONTROL.

**GENERAL DEVELOPMENT PLAN**

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN OF BROOKLYN, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER OR WETLANDS AGENT TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON APPROVAL WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE 'SILT FENCE INSTALLATION & MAINTENANCE' SECTION OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 2 TO 1. THERE SHALL BE NO BURIAL OF STUMPS. A SILT FENCE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

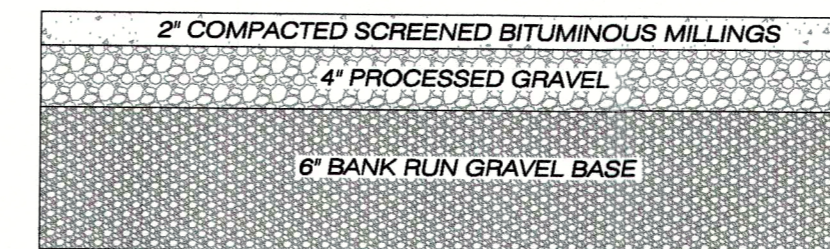
DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDED AND RE-ESTABLISHED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITHIN ONE SEASON (SPRING OR FALL) OF THE COMPLETION OF THE PROJECT.

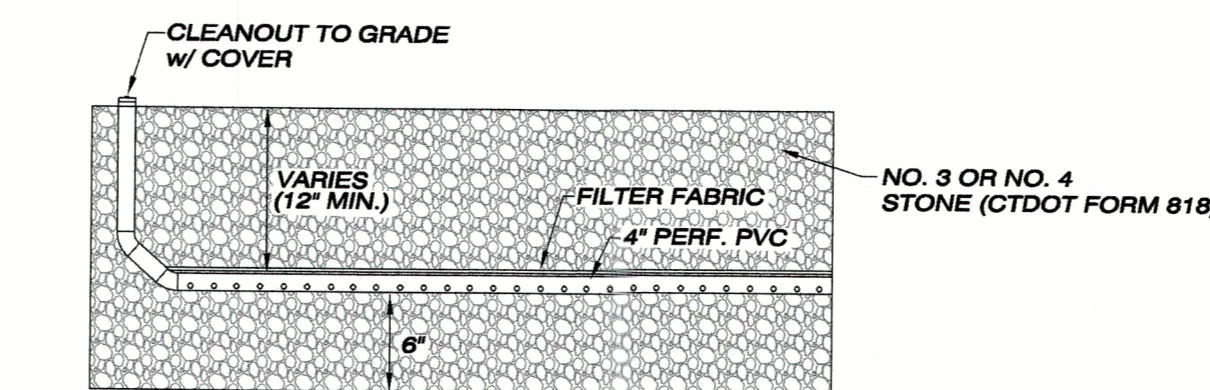
ONCE STABILIZATION HAS BEEN COMPLETED AND APPROVED BY THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

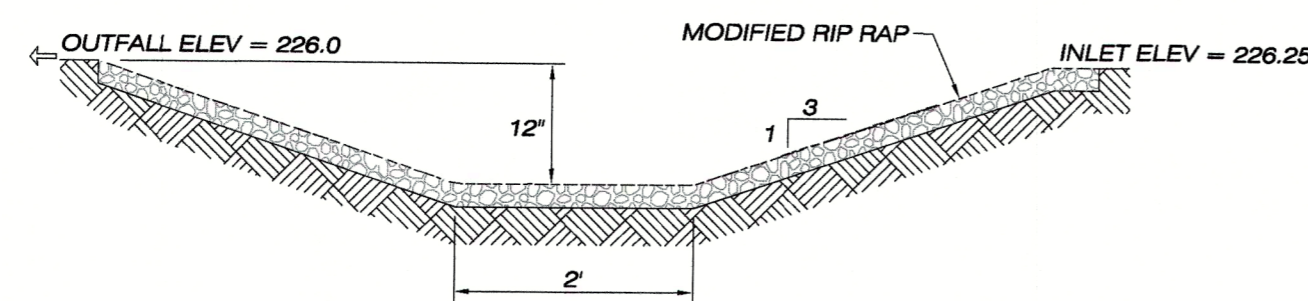
1. DIG A 6" DEEP TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POSTS 1 FOOT INTO THE GROUND.
3. LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. INSPECTIONS WILL BE MADE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS.
6. SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHT OF 1 FOOT BEHIND THE BARRIER OR HALF THE HEIGHT OF THE BARRIER AND ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
7. REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
  - THE FENCE HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
  - THE FENCE HAS BEEN MOVED OUT OF POSITION, OR
  - THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.



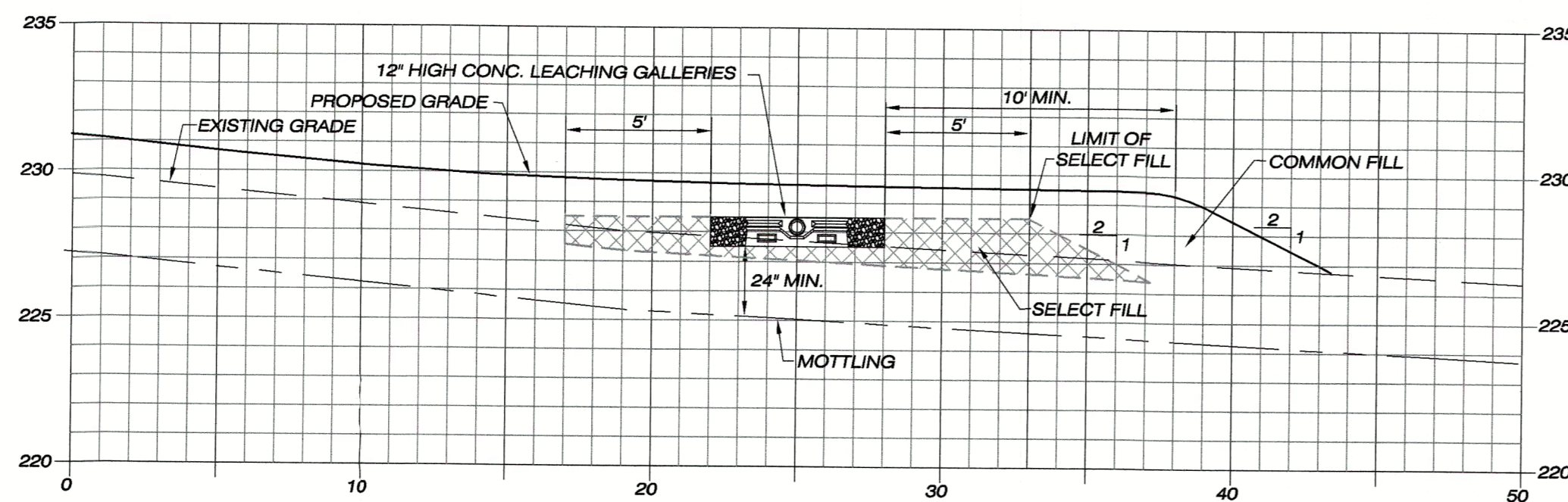
**DRIVEWAY SECTION**  
NOT TO SCALE



**STORMWATER COLLECTION TRENCH**  
NOT TO SCALE



**LEVEL SPREADER**  
NOT TO SCALE



**LEACHFIELD CROSS-SECTION A-A**  
SCALE: 1"=5'

**SOIL TEST DATA - 4/26/2022 BY N.D.D.H.**

TP1  
0-8" TOPSOIL  
8-32" REDDISH BROWN FINE LOAMY SAND  
32-88" GRAY COMPACT FINE LOAMY SAND, PAN  
MOTTILING AT 32"  
NO WATER  
NO LEDGE

TP2  
0-12" TOPSOIL  
12-32" REDDISH BROWN FINE LOAMY SAND  
32-52" MOTTLED TAN FINE LOAMY SAND  
52-88" GRAY COMPACT LOAMY SAND w/ ROCKS  
MOTTILING AT 32"  
LEDGE AT 88"

**PERCOLATION TEST B:**

TIME	READING
10:33	3"
10:40	6"
10:42	9"
10:44	11"
10:46	12.5"
10:48	DRY

PERCOLATION RATE: 1.33 MIN./INCH @ 32" DEPTH



**Killingly Engineering Associates**  
114 Westcott Road  
P.O. Box 421  
Dayville, Connecticut 06241  
860 779 7299

*Norman Thibault, Jr.* 4/16/2022  
NORMAND THIBAUT, JR., P.E. No. 22894 DATE

<b>E&amp;S CONTROL &amp; DETAIL SHEET</b>		SURVEYING • MAPPING • PLOT PLANS	
FOR SITE PLAN OF PROPOSED BUILDING TO BE LOCATED ON LAND OF <b>BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC</b>			
170 SOUTH STREET BROOKLYN, CONNECTICUT		63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230	
DATE: MAY 2022		SHEET NO: 2 OF 2	
SCALE: 1" = AS NOTED		REVISED:	
0 0.5 1 2 3			
JOB NO: 22016	F.B. NO: N/A	DRAWN BY: P.A.T.	MAP NO:

# Killingly Engineering Associates

Civil Engineering & Surveying



P.O. Box 421 Killingly, CT 06241  
Phone: 860-779-7299  
www.killinglyengineering.com

June 2, 2022

Ms. Margaret Washburn, ZEO, WEO  
Town of Brooklyn  
Clifford B. Green Memorial Center  
69 South Main Street  
Brooklyn, CT 06234

**RE: Proposed Multi-Family Development, Louise Berry Drive  
IWWC Application 020921A**



Dear Ms. Washburn:

Regarding the referenced application approved by the Town of Brooklyn Inland Wetlands Commission on April 13<sup>th</sup>, 2021, this letter is to summarize changes to the plans as a result of 3<sup>rd</sup> party review comments from consultants retained by the Planning & Zoning Commission. That application was ultimately withdrawn due to regulatory time constraints but will soon be resubmitted to P&Z.

Killingly Engineering Associates attended the May 10, 2022 meeting of the Inland Wetlands Commission to discuss these changes to the plans and receive direction from the Commission regarding the changes and whether a new application would be required. Following is a summary of the items discussed:

1. The number of units has been reduced from 51 to 50 to allow for more spacious accessible units.
2. Roof drains will be directed to the stormwater collection system in lieu of rain gardens. This will ultimately direct the water to stormwater basins and alleviate the potential for slope erosion at the discharge points.
3. A second stormwater basin has been designed to split the discharge to the wetlands into 2 segments. This tiered basin will provide the required stormwater Quality Volume treatment and also serve as a recharge mechanism at the midpoint of the wetlands. This basin results in additional activity in the upland review area but results in a better-quality stormwater treatment.
4. A grassed swale that originally collected overland runoff and roof water to convey to the stormwater basin has been eliminated and clearing in that area has been reduced.
5. The original stormwater quality and detention basin has been modified and enlarged to provide a more efficient treatment system and a higher degree of treatment.

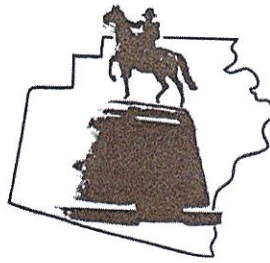
These changes ultimately create in approximately 5,000 additional square feet of activity in the upland review but result reductions in peak discharges and better water quality treatment. Per my discussion with Wetlands Commission Members, it is my understanding that the previously approval will be amended by submission of this writing.

Please feel free to call if there are any questions or clarifications required.

Sincerely:

Normand Thibeault, Jr., P.E.





# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands

Zoning Enforcement

Blight Enforcement \_\_\_\_\_

SITE INSPECTION NUMBER

1 2 3 4 5

FCR Gravel Pit

6/9/22

Address

Date

I met Keith Green and David Held,  
inspected + took photos.

Most of the pit has been smoothed loamed  
+ seeded. There is a pile of heavy soil  
that forms a mound in the pit. Only  
the area east of the mound has yet  
to be seeded.

The stock pile to the west needs to be smoothed  
and seeded. I am satisfied with the  
progress so far. Ninety-five percent of  
the work is complete.

Commission Representative M. Washburn

Owner or Authorized Signature \_\_\_\_\_







