

Brooklyn Inland Wetlands Commission
Regular Meeting Agenda
Tuesday, April 11, 2023
Zoom and In-Person Meeting
Clifford B. Green Memorial Center
69 South Main Street
6:00 p.m.

In-Person: Clifford B. Green Meeting Center, Suite 24, 69 South Main Street, Brooklyn, CT	
Online: Click link below: https://us06web.zoom.us/j/82435574137	OR
Go to Zoom.us , click Sign In On the top right, click Join a Meeting Enter meeting ID: 824 3557 4137 Enter meeting password: 038430	
Phone: Dial 1 646 558 8656 US Toll Enter meeting number: 824 3557 4137 Enter meeting password: 038430 You can bypass attendee number by pressing #	

Call to Order:

Roll Call:

Seating of Alternates:

Public Commentary:

Additions to Agenda:

Approval of Minutes: Regular Meeting Minutes February 14, 2023

Public Hearings: None.

Old Business:

1. IWWC 23-002 104 Church Street – Map 35, Lot 4-3 – Stephanie Turner, owner. New single-family dwelling, septic system, driveway, well and associated grading in the upland review area.

2. IWWC 23-003 Wolf Den Road – Map 17, Lot 24 – Peter Joyce, owner. Dredging 150 cubic yards of muck from a pond, spreading the spoils in the upland review area and after-the-fact brush and tree removal.

3. IWWC 22-005 143 South Street – Map 40, Lot 88-11 – Loni Decelles. Construction of horse barn within upland review area. Clearing for horse turn out within upland review area. Selective clearing and fencing within wetland. Ms. Decelles has requested an informal discussion regarding further work she wishes to do in wetlands and upland review area.

New Business:

1. 454 Wolf Den Road – Map 18, Lot 18B - Todd Clark. Informal discussion regarding the process to enlarge a farm pond.

2. 111318D Donald Gudeahn, Wolf Den Road, Map 18, Lot 21, RA Zone; Residential Home, Septic System, Well and Minor Grading all within the upland review area.
Show Cause Hearing for Violation.

Communications:

1. Wetlands Agent Monthly Report.
2. Budget Update.

Public Commentary:

Adjourn:

Richard Oliverson, Chairman

Brooklyn Inland Wetlands Commission
Regular Meeting Minutes
Tuesday, February 14, 2023
Zoom and In-Person Meeting
Clifford B. Green Memorial Center
69 South Main Street
6:00 p.m.

Call to Order: 6:00 pm

Roll Call: Richard Oliverson, Demian Sorrentino, Adam Brindamour, Adam Tucker, Jason Burgess, James Paquin

Staff Present: Margaret Washburn and Jean Bolin

Seating of Alternates: None

Election of Officers: Demian Sorrentino made a motion for current officers to stay in place, with Richard Oliverson as Chairman and Adam Brindamour as Vice Chairman. James Paquin seconded the motion. Approved 6/0.

Public Commentary: None

Additions to Agenda: None

Approval of Minutes: Regular Meeting Minutes: Approved as written.

Public Hearings: None

Old Business: None

New Business:

- 1. DR 23-001 Herrick Road – Map 25 Lot 36** – Gray Mare Farms. Request for a Declaratory Ruling. This is a silvicultural treatment to improve forest health by removing trees with disease and die-back, considered a permitted use, as-of-right activity.

Don Dubois of Gray Mare Farms presented this application in person. Mr. Dubois stated that there would be three temporary stream crossings. The crossings would be removed once the project is completed.

James Paquin made a motion to approve this application for **DR 23-001 Herrick Road – Map 25 Lot 36** – Gray Mare Farms. Request for a Declaratory Ruling. silvicultural treatment to improve forest health by removing trees with disease and die-back, considered a permitted use, as-of-right activity. Jason Burgess seconded the motion. Approved 6/0.

2. 299 Wolf Den Road – Map 17 Lot 24 – Peter Joyce and Patricia Macanany, owners; Marc Provost, contractor. Show Cause Hearing for dredging a pond without a permit.

Peter Joyce, Patricia Macanany, owners, and Marc Provost, contractor, were in attendance.

Mr. Joyce read aloud a statement as to why he has done the work he did on the property. Mr. Joyce stated he hired Mr. Provost to remove a tree from the pond. Mr. Provost removed the tree and partially dredged the pond without a permit. He wanted to restore the pond back to its original state. Mr. Provost stated he felt that this was permitted as of right.

Mr. Oliverson asked Mr. Joyce if the property would be used for farming?

Mr. Joyce stated that it would not.

Mr. Oliverson clarified that since the property was not being used for farming, it was not a permitted right of use. It is not agriculture.

Mr. Sorrentino mentioned that Mr. Joyce needs to get an after-the-fact permit. Mr. Oliverson, and Mr. Paquin agreed.

Ms. Washburn mentioned that she had previously given Mr. Joyce a sample of the permit he would need to apply for, that he can use for reference to apply for the appropriate permit.

Ms. Washburn also told Mr. Joyce that when he submits the after-the-fact permit that he needs to include on a map where he will spread the spoils that will be dredged from the pond. Peter Joyce and Patricia Macanany agreed to apply for a wetlands permit.

Mr. Sorrentino stated that the permit will be good for five years.

Mr. Paquin made a motion to uphold Cease and Desist Order. Mr. Brindamour seconded the motion. Approved 6/0.

3. IWWC 23-001 40 Tripp Hollow Road – Map 15 Lot 12-5 – John and Karen Filchak, owners; Brandon Longe, contractor. Detached garage in the upland review area. Duly Authorized Agent Approval with Chairman's approval.

Ms. Washburn stated she had performed a site visit and taken photos. She approved the application as a Duly Authorized Agent Approval. No action was needed.

4. DR 23-002 193 Herrick Road – Map 17 Lot 27 and Map 17 Lot 25-3 – Corey Bardsley. Request for a Declaratory Ruling. This is a select management cut to improve forest health by removing dead oak trees for firewood, and by removing old growth to stimulate new growth; this is considered a permitted use, as-of-right activity.

Josh King of 76 Stetson was present and spoke on behalf of this application.

Mr. Sorrentino suggested (not an official condition, just a suggestion) that Mr. King harvest near the vernal pools as soon as possible. Mr. King agreed.

James Paquin made a motion to approve **DR 23-002 193 Herrick Road** – Map 17 Lot 27 and Map 17 Lot 25-3 – Corey Bardsley. Request for a Declaratory Ruling. This is a select management cut to improve forest health by removing dead oak trees for firewood, and by removing old growth to stimulate new growth; this is considered a permitted use, as-of-right activity. Mr. Burgess seconded the motion. Approved 6/0.

Communications:

Budget Update. Mr. Paquin made a motion to endorse the proposed budget. Mr. Tucker seconded the motion. Approved 6/0.

Public Commentary: None

Adjourn:

Mr. Sorrentino made a motion to adjourn at 6:26 pm. Mr. Paquin seconded the motion. Approved 6/0.

Submitted By:

Jean Bolin
Recording Secretary

INLAND WETLANDS & WATERCOURSES COMMISSION
TOWN OF BROOKLYN, CONECTICUT

Date 03-01-23

Application # Turn 23-002

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT Stephanie Turner MAILING ADDRESS 92 Church Street ^{Brooklyn} CT
APPLICANT'S INTEREST IN PROPERTY _____ PHONE: CELL (860) 377-3778 HOME: same
E-MAIL turnermovingcompany@gmail.com

PROPERTY OWNER IF DIFFERENT _____ PHONE: CELL: _____ HOME: _____
MAILING ADDRESS _____ EMAIL _____

ENGINEER/SURVEYOR (IF ANY)
Archer Surveying LLC
ATTORNEY (IF ANY) _____

PROPERTY LOCATION/ADDRESS) 104 Church Street Brooklyn, CT 06234

MAP # 35 LOT # 4-3 ZONE RA TOTAL ACRES 1.63 ACRES OF WETLANDS ON PROPERTY 0.30

PURPOSE AND DESCRIPTION OF THE ACTIVITY
ALL ACTIVITY IN ~~THE~~ UPLAND REVIEW AREA
- DRIVEWAY, SEPTIC SYSTEM, RESIDENTIAL HOME, MINOR GRADING

WETLANDS EXCAVATION AND FILL:
FILL PROPOSED 0 CUBIC YDS _____ SQ FT _____
EXCAVATION PROPOSED _____ CUBIC YDS _____ SQ FT _____
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE _____ OFF SITE _____
TOTAL REGULATED AREA ALTERED: SQ FT _____ ACRES _____



EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED):
None

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY None SQ FT _____ ACRES _____

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? No IF YES, WHICH TOWN(S) _____

IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? _____

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: Stephanie Turner DATE 03-01-23

OWNER: Stephanie Turner DATE 03-01-23

REQUIREMENTS

_____ STANDARD APPLICATION FEE \$ (\$150) _____ STATE FEE (\$60) _____ CHECK # _____

_____ NOTICE OF ACTION PUBLICATION FEE \$ _____ CHECK # _____

_____ PUBLIC HEARING PUBLICATION FEE (\$100) \$ _____ (SUBJECT TO CHANGE DEPENDING ON PAPER) CHECK# _____

_____ SIGNIFICANT ACTIVITY FEE (PUBLIC HEARING) (\$250) \$ _____ CHECK # _____

_____ COMPLETION OF CT DEEP REPORTING FORM

_____ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

_____ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

_____ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS.
APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED **SOIL SCIENTIST IDENTIFY THE WETLANDS.**

_____ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

_____ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:
APPLICATION TO STATE OF CONNECTICUT DEEP

INLAND WATER RESOURCES DIVISION
79 ELM ST.
HARTFORD, CT. 06106
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MA. 01742
1-860-343-4789

STAFF USE ONLY:

_____ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

_____ PERMIT REQUIRED:

_____ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ AUTHORIZED BY IWWC

_____ SIGNIFICANT ACTIVITY/PUBLIC HEARING

_____ NO PERMIT REQUIRED

_____ OUTSIDE OF UPLAND REVIEW AREA

_____ NO IMPACT

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ TIMBER HARVEST



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions, only use one code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): BLOOMINGTON
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): STEPHANIE TURNER
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 92 HANCOCK ST 104 Church Street
briefly describe the action/project/activity (check and print information): temporary permanent description: _____
- ACTIVITY PURPOSE CODE (see instructions, only use one code): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): _____, _____, 12, 14
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): .31 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

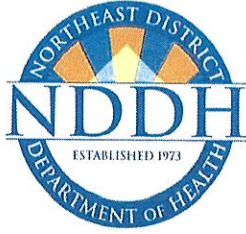
DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET · UNIT 4 · BROOKLYN, CT 06234
PHONE (860) 774-7350 · FAX (860) 774-1308 · WEB SITE WWW.NDDH.ORG

February 27, 2023

John & Sarah, Elaine & John & Stephanie Turner
92 Church Street
Brooklyn, CT 06234

SUBJECT: FILE #22000324 -- CHURCH STREET #104, MAP #35, LOT #4-3, BROOKLYN, CT

Dear John & Sarah, Elaine & John & Stephanie Turner:

The subject plan (ARCHER SURVEYING LLC, TURNER, PROJ#AS2206, DRAWN 02/20/2023) submitted on 2/23/2023 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 2-bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. NDDH to conduct walk-thru of house to confirm bedroom count.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS
Environmental Health Specialist ~ NDDH

cc: Brooklyn Building Official; Archer Surveying; Alec Baribeau

APPROVAL TO CONSTRUCT OR REPAIR SEWAGE DISPOSAL SYSTEM
NORTHEAST DISTRICT DEPARTMENT OF HEALTH
69 SOUTH MAIN STREET UNIT 4
BROOKLYN, CT
860-774-7350

Approval is hereby granted for the construction/repair of a sewage disposal system at the property described below:

FILE # 22000324

MAP #35 LOT #4-3

TOWN: BROOKLYN

INSTALLER: ALEC BARIBEAU

STREET: 104 CHURCH STREET

CT LIC #6409 EXPIRES: 11/30/2023

PROPERTY OWNER: JOHN & SARAH TURNER; ELAINE & JOHN TURNER; STEPHANIE TURNER

Residential: No. of Bedrooms: 2 Non-Residential: Design Flow: 0 Gallons Per Day (GPD)

INSTRUCTIONS FOR INSTALLER

1. Construction plot plan submitted and approved by this office must be adhered to.
2. This office must be contacted for approval if any change is going to be made in the system location, size or design, or any changes in house, well or property line locations.
3. Any *NEW* sewage disposal system must conform to *ALL* requirements of Section 19-13-BI03 of the CT Public Health Code.
4. *ALL* new construction to be under *DIRECT* supervision of a CT licensed installer under Section 20-341 of the CT General Statutes.
5. The installer is *RESPONSIBLE* for *VERIFYING LOCATIONS* of *PROPERTY LINES, WELLS,* and *BURIED UTILITY LINES* prior to construction.
6. Installer to notify N.D.D.H. 24 hours, in advance, prior to the start of construction.
7. Installer to have septic tank covers removed at the time of inspection.

SPECIFIC INSTRUCTIONS:

- Install per approved plot plan (Drawn by: Archer Surveying, LLC., Job #AS-2206 Dated: 02/20/2023)
- CT licensed surveyor must stake house, well; benchmark, and septic system, offset stakes to include flowline or bottom of trench elevations.
- Permanent benchmark to be set within 15 feet of septic system.
- Provide a new 1,000-gallon two compartment septic tank with outlet baffle filter.
- Install 385 square feet of effective leaching area consisting of 1 35' long trench of Eljen Mantis 536-8.
- Max depth into grade is not to exceed 0" inches. Bottom of system to be 6" above existing grade.
- A current sieve analysis of select fill material (within past 30 days) must be submitted to NDDH.
- Select fill material is to be perced once in place.
- Licensed installer to schedule and be present for final inspection with NDDH staff and have level set up so that elevations may be verified.
- An engineer's/surveyor's as-built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
- Installer's completed checklist to be submitted to NDDH as required.

GRANTED BY:


Donovan Moe

DATE ISSUED: 02/24/2023

EXPIRES: 02/24/2024

ONE RENEWAL: / /

EXPIRES: / /


Maureen Marcoux R.S.

THIS PERMIT IS VALID FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE. IN ACCORDANCE WITH THE CT PUBLIC HEALTH CODE SECTION 19-13-BI03e(F)(I). ONE RENEWAL IS POSSIBLE PROVIDED NDDH IS NOTIFIED PRIOR TO THE EXPIRATION DATE NOTED ABOVE. IF PERMIT EXPIRES, INSTALLERS ARE CHANGED, OR ANY OTHER DEVIATION FROM THE ORIGINAL PERMIT, A NEW APPLICATION MUST BE COMPLETED AND ALL APPLICABLE FEES MUST BE PAID.

Dear Margaret,

Paul Archer informed me this morning that he sent you an email explaining that the soil scientist has yet to flag the wetlands, but he has assured me that it will be ready for the meeting on March 14th and that I can hand in everything else in the meantime to meet the deadline. I wanted to confirm that again as I submit all other requirements which you will find in this package, just so we are all on the same page.

Sincerely,

Stephanie Turner



DEEP TEST PIT DATA / SOIL DESCRIPTIONS

PERFORMED BY: Donovan Moe
 WITNESSED BY: Northeast District Department of Health DATE: 06/22/2022

TEST PIT: 1

0'-6" Topsoil
6"-18" Brown Fine Sandy Loam
18"-80" Moderately Compact Gray Fine Sandy Loam
MOTTLES: -
GROUNDWATER: NO
LEDGE: NO
ROOTS: 6"
RESTRICTIVE: 18"

TEST PIT: 2

0'-6" Topsoil
6"-19" Brown Fine Sandy Loam
19"-80" Moderately Compact Gray Fine Sandy Loam
MOTTLES: -
GROUNDWATER: NO
LEDGE: NO
ROOTS: 6"
RESTRICTIVE: 19"

TEST PIT: 3

0'-6" Topsoil
6"-28" Orange Brown to Tan to Tan Fine Sandy Loam
28"-83" Moderately Compact Gray Fine Sandy Loam
MOTTLES: -
GROUNDWATER: NO
LEDGE: NO
ROOTS: 8"
RESTRICTIVE: 28"

TEST PIT: 4

0'-9" Topsoil
26"-38" Tan Fine Washed Sand
19"-80" Moderately Compact Gray Fine Sandy Loam
MOTTLES: -
GROUNDWATER: NO
LEDGE: NO
ROOTS: 15"
RESTRICTIVE: 38"

PERCOLATION DATA
 PERC A - DEPTH 30"

TIME	DROP (INCHES)
10:23	8"
10:24	10.5"
10:35	13"
10:41	Empty

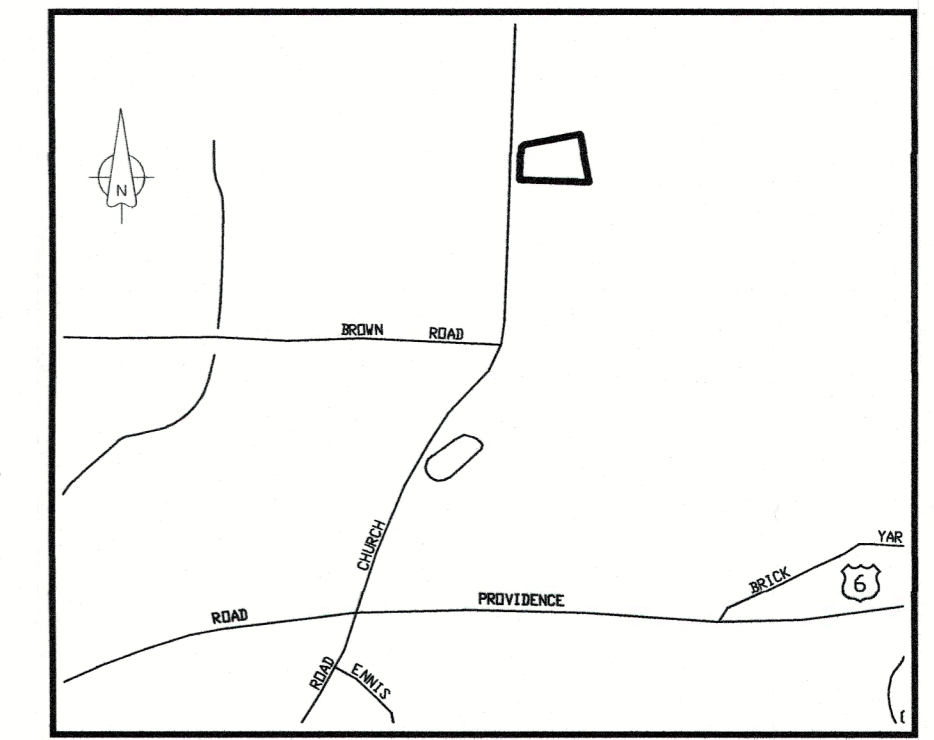
PERCOLATION RATE > 2.4 MIN./IN.
 NOTES: PERCOLATION TEST PERFORMED ON 6/23/2023
 PERFORMED BY Donovan Moe

SEPTIC SYSTEM DESIGN DATA

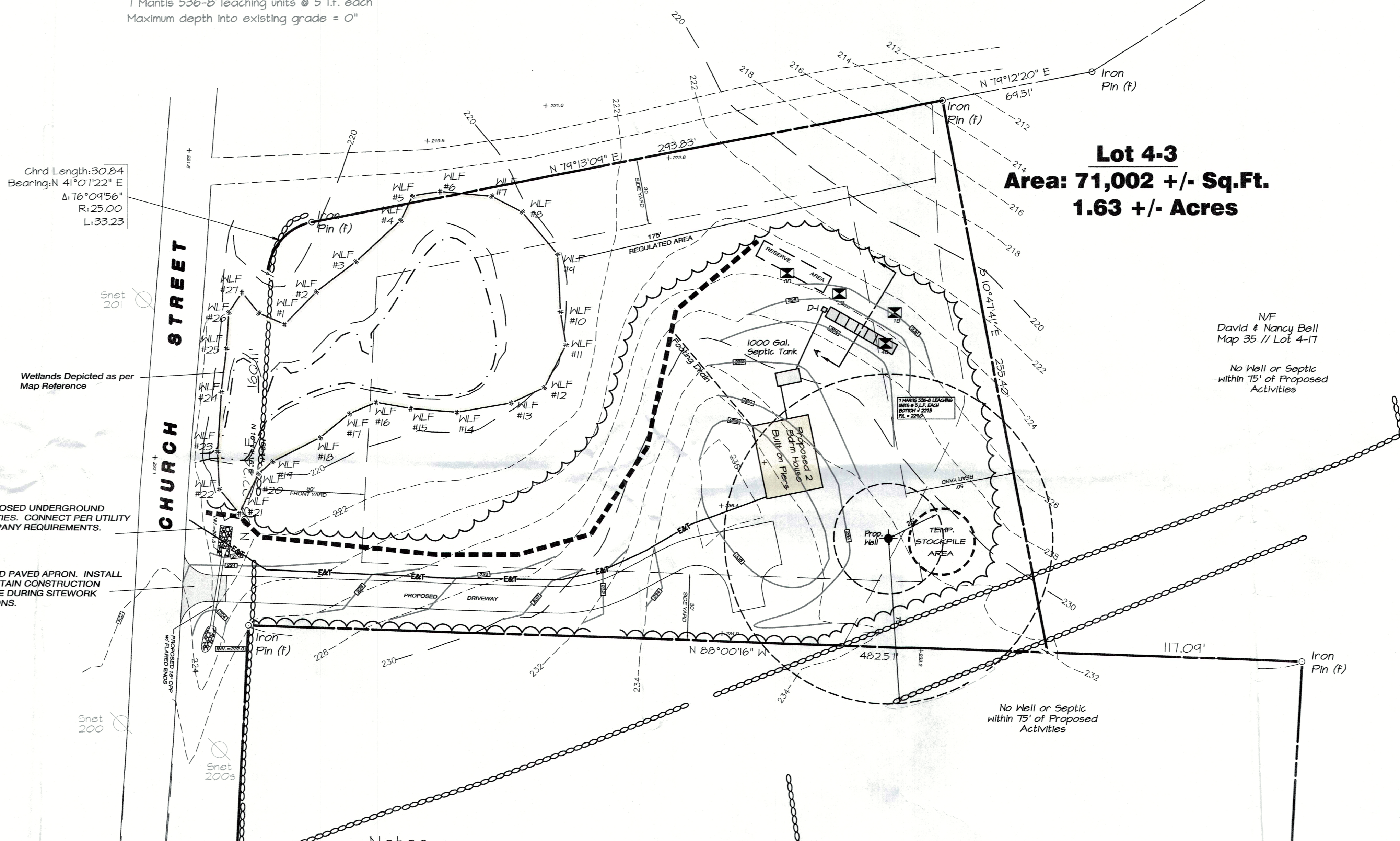
Percolation Rate = 2.4 min. / in.
 2 bedroom house requires = 375 s.f. effective leaching area
 Effective Leaching area = 11 s.f. / l.f. of trench
 Length Required = 375/11 = 35 l.f.
 Length Provided = 7 units @ 5 l.f. each = 35 l.f.
 Min. Leaching System Spread (MLSS) = 30.0 x 1.0 x 1.0 = 51'
 MLSS Provided = 35'
LEACHING FIELD
 7 Mantis 536-8 leaching units @ 5 l.f. each
 Maximum depth into existing grade = 0"

Inv. @ house: 230.60

SEPTIC TANK	
1000 GALLON TWO COMPARTMENT	
F.L. IN = 230.17	
F.L. OUT = 229.92	
DISTRIBUTION BOXES	
D-1 (STANDARD)	
F.L. IN = 229.17	
F.L. OUT TO TRENCH = 229.00	



Location Map
 SCALE
 1" = 1000 FT



Lot 4-3
Area: 71,002 +/- Sq.Ft.
1.63 +/- Acres

N/F
 David & Nancy Bell
 Map 35 // Lot 4-17
 No Well or Septic within 75' of Proposed Activities

No Well or Septic within 75' of Proposed Activities

SURVEYOR SHALL SET A BENCH MARK IN THE AREA OF THE SEPTIC SYSTEM AT THE TIME OF CONSTRUCTION STAKE-OUT.

PROPOSED UNDERGROUND UTILITIES. CONNECT PER UTILITY COMPANY REQUIREMENTS.

PROPOSED PAVED APRON. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE DURING CONSTRUCTION OPERATIONS.

Chrd Length: 30.84
 Bearing: N 41°07'22" E
 Δ: 76°09'56"
 R: 25.00
 L: 33.23



LEGEND

- PROPERTY LINE
- - - EASEMENT
- ○ ○ ○ ○ STONEWALL
- ○ ○ ○ ○ STONEWALL REMAINS
- - - SILT FENCE
- - - 100 EXISTING INDEX CONTOUR
- - - 100 EXISTING CONTOUR
- - - 100 PROPOSED CONTOUR
- # WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT
- PERCOLATION TEST
- TEST PIT
- PROPERTY POINT
- UTILITY POLE

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996.
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - Survey Type: Site Development
 - Boundary Determination: Resurvey
 - Intent: Site Plan
- Parcels shown as Lot 4-3 on Assessors Tax Map 35 of the Brooklyn Assessors Office.
- Property is owned by: John, Sarah, Elaine & Stephanie Turner
- There are no apparent wells within 75' of the proposed septic system. There are no apparent septic systems within 75' of the proposed well.
- If the proposed house will have any oversized tubs, the septic tank capacity shall be increased per the Connecticut Public Health Code.
- NDDH File No. 22000324
- Property is subject to a slope Easement along northerly property line
- Wetlands Flagged by Joseph Theroux, March 2023 and field located by Archer Surveying LLC

MAP REFERENCE:

- Subdivision of Kingswood Estates, Owner-Developer, David P. & Nancy M. Bell, Church Street, Brooklyn, Connecticut, Date: October 1, 1997, Prepared by: Albert L. Fitzback
- Kingswood Estates, Subdivision Map, Prepared for David P. Bell & Nancy M. Bell, Church Street, Brooklyn, Connecticut, Date: April 2020, Prepared by: PC Survey Associates

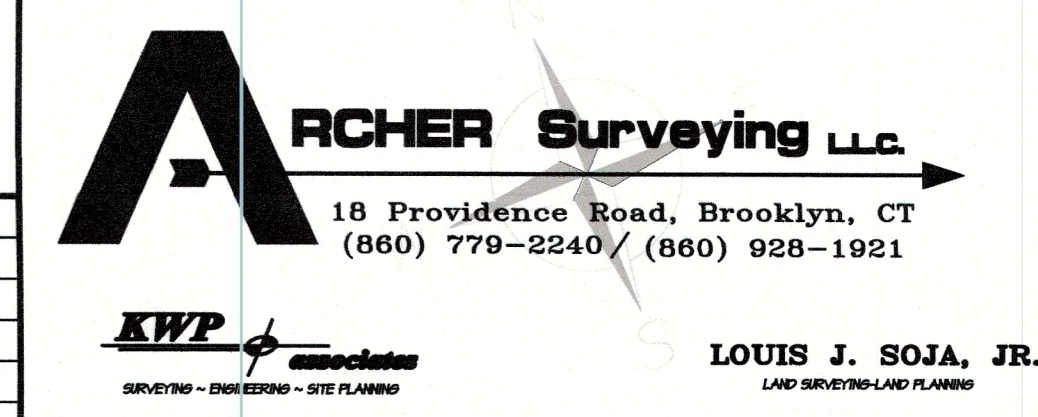
Archer Surveying LLC
 18 Providence Road, Brooklyn, CT 06234
 David A. Smith, P.E. #14173 DATE 03/20/2023
 NOT VALID UNLESS SEAL IS AFFIXED HERETO

To my knowledge and belief, this map is substantially correct as noted hereon.
 Paul M. Archer, #70013 DATE 03/20/2023
 No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Site Development Plan

Prepared For:
Stephanie Turner
 Church Street
 Brooklyn, Connecticut

DRAWING SCALE: 1"=30'



REVISIONS

DATE	DESCRIPTION
03/20/23	Wetlands Flagging & Upland Review Line

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Windham County Connecticut, U.S.D.A. Soil Conservation Service 1483.

DEVELOPMENT SCHEDULE (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 15 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the Inland Wetlands Commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure 15-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the clear marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 15 pounds per 1000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure 15-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedlings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 15 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence of the time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rtp rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

SEPTIC SYSTEM CONSTRUCTION NOTES

1. The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
2. Topsoil shall be removed and in the area of the primary leaching field scattered, prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 20%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of ten feet (10') beyond the last leaching trench before tapering off.

3. Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
4. Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
5. All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.

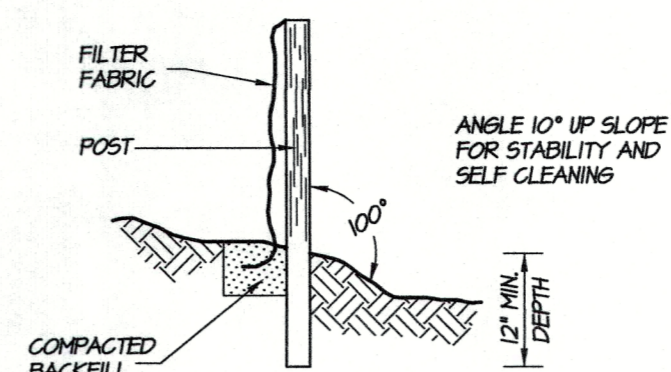
SOLID DISTRIBUTION PIPE SHALL BE 4" DIAMETER PVC MEETING ASTM D-3034 SDR 35 WITH COMPRESSION GASKET JOINTS. IT SHALL BE LAID TRUE TO THE LINES AND GRADES SHOWN ON THE PLANS AND IN NO CASE HAVE A SLOPE LESS THAN 0.25 INCHES PER FOOT.

7. Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-2121 or ASTM D-3350, 1500 lb. minimum crush.

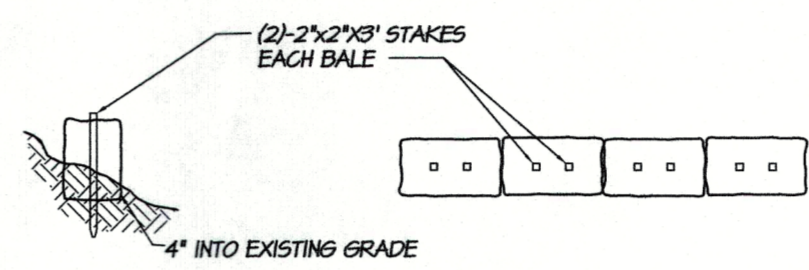
Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.

4. Force main pressure pipe from pump chamber to the leaching field shall be 2" diameter pvc meeting ASTM D 2241 SDR 21.

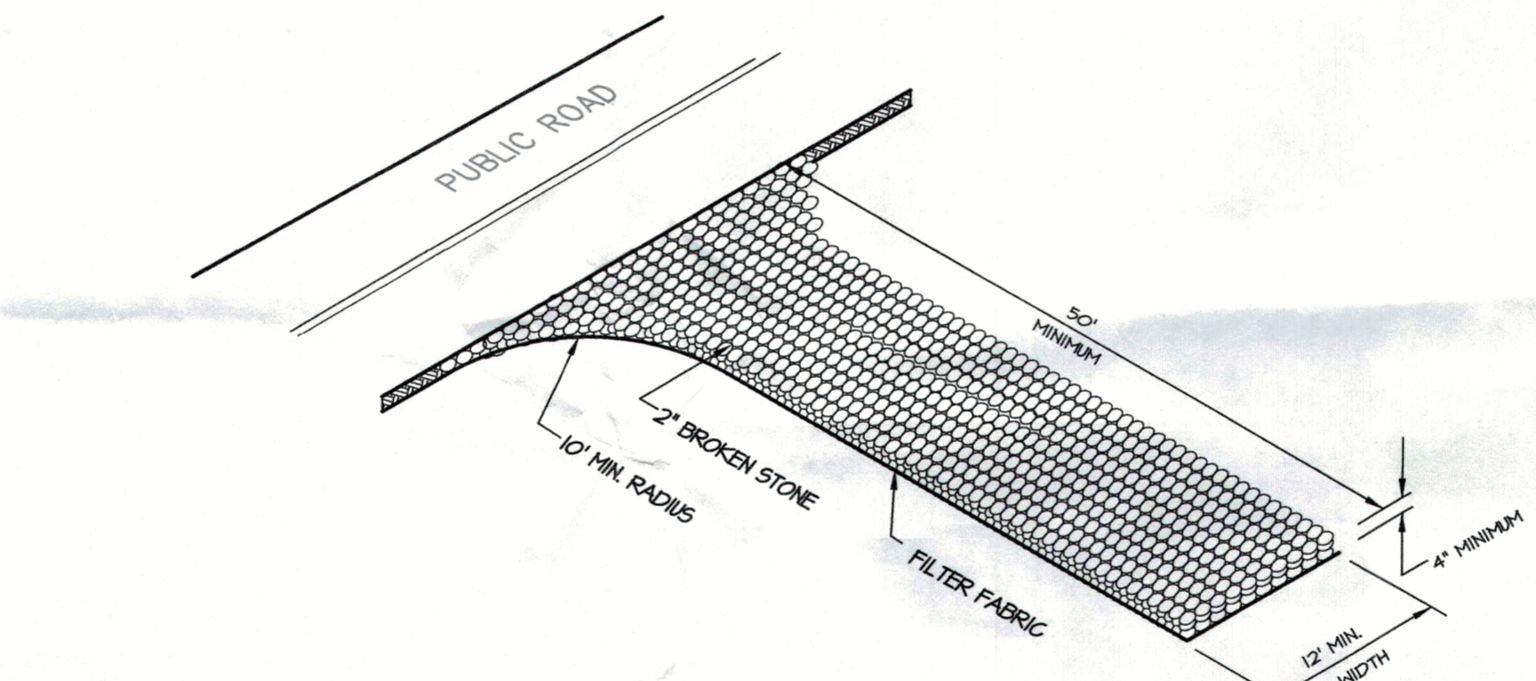
10. Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.



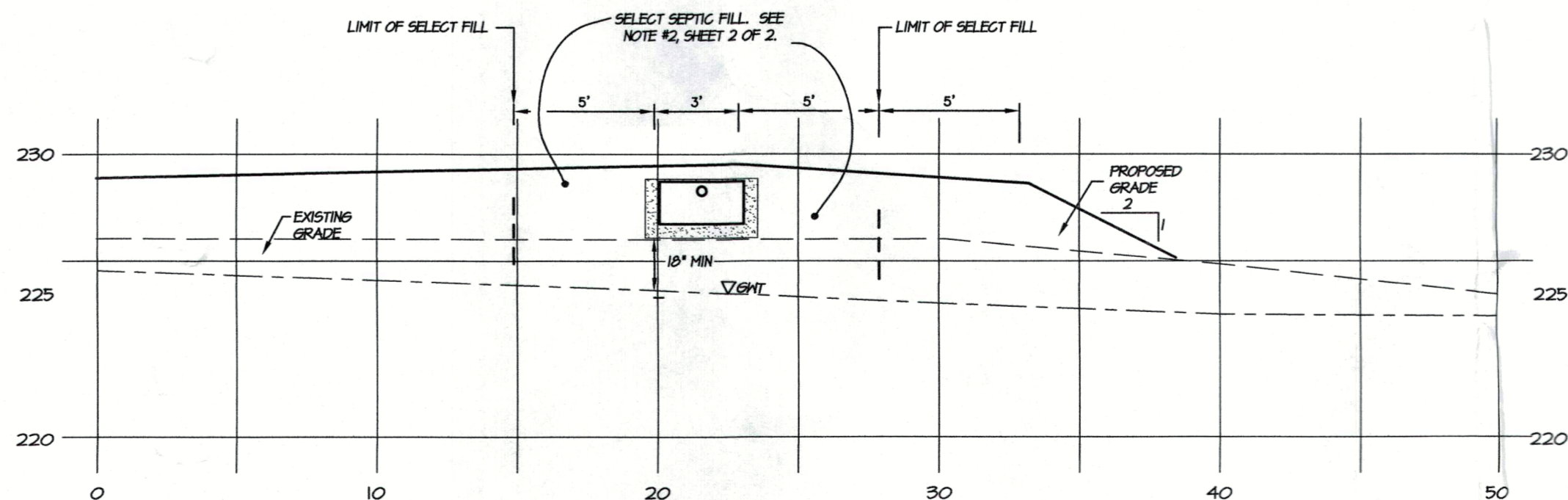
SILT FENCE
NOT TO SCALE



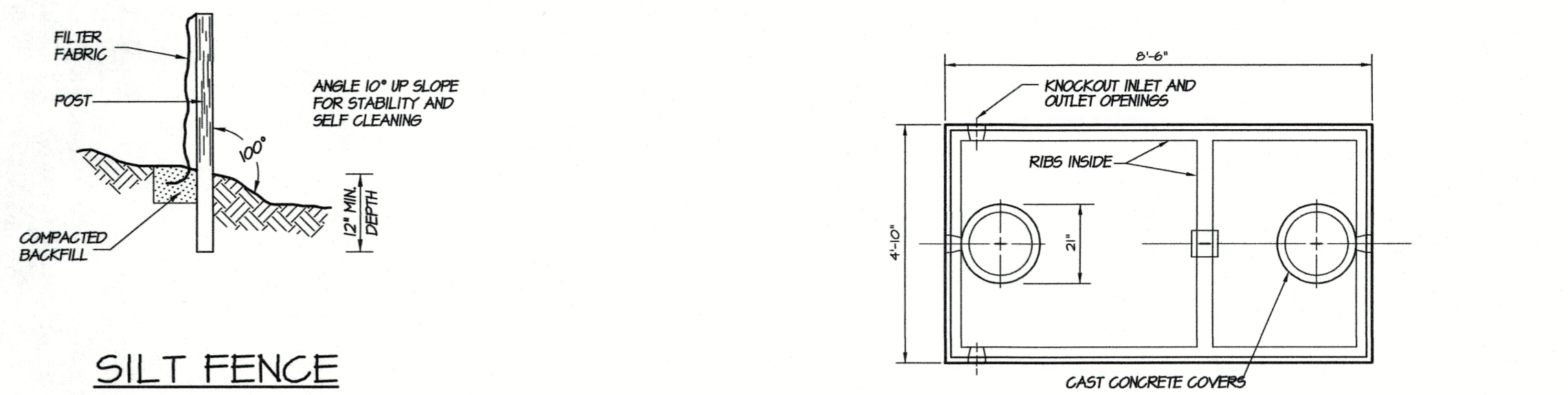
HAYBALE BARRIER
NOT TO SCALE



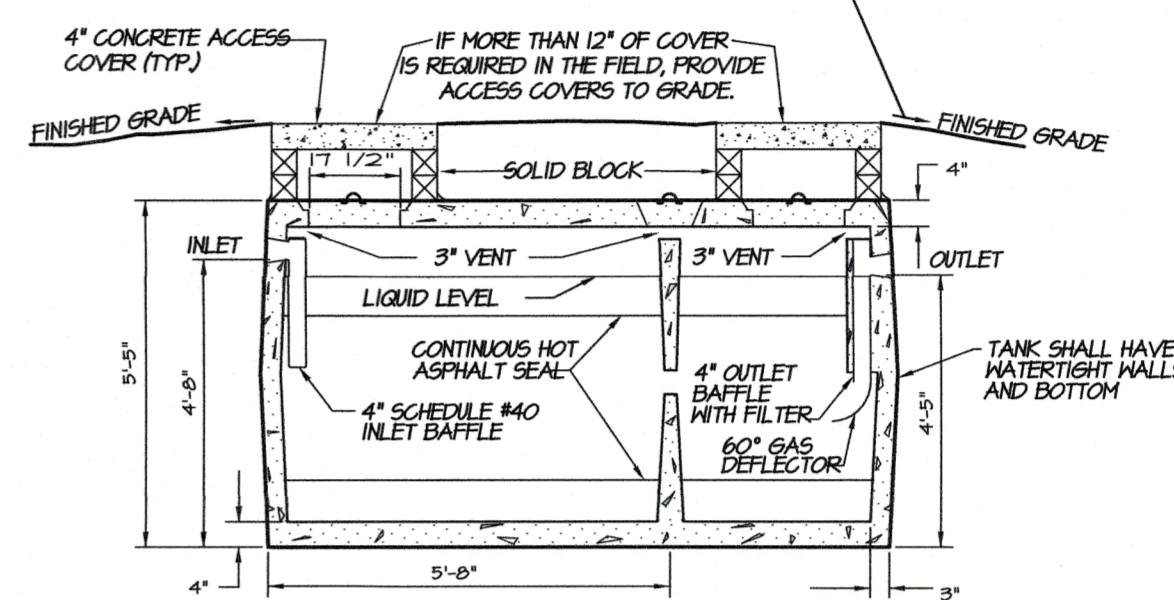
CONSTRUCTION ENTRANCE
NOT TO SCALE



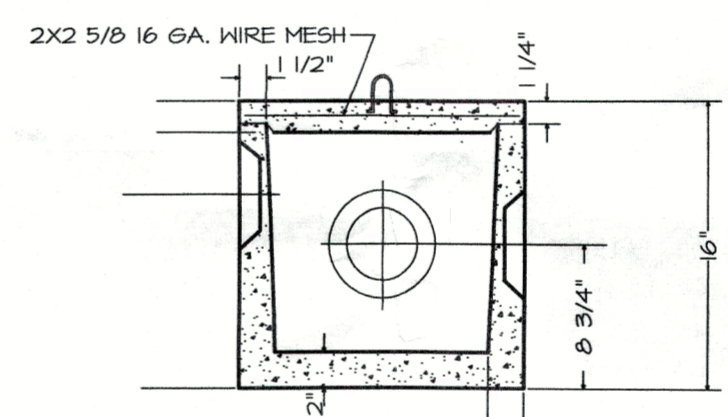
CROSS SECTION "A-A"
SCALE: 1" = 5'



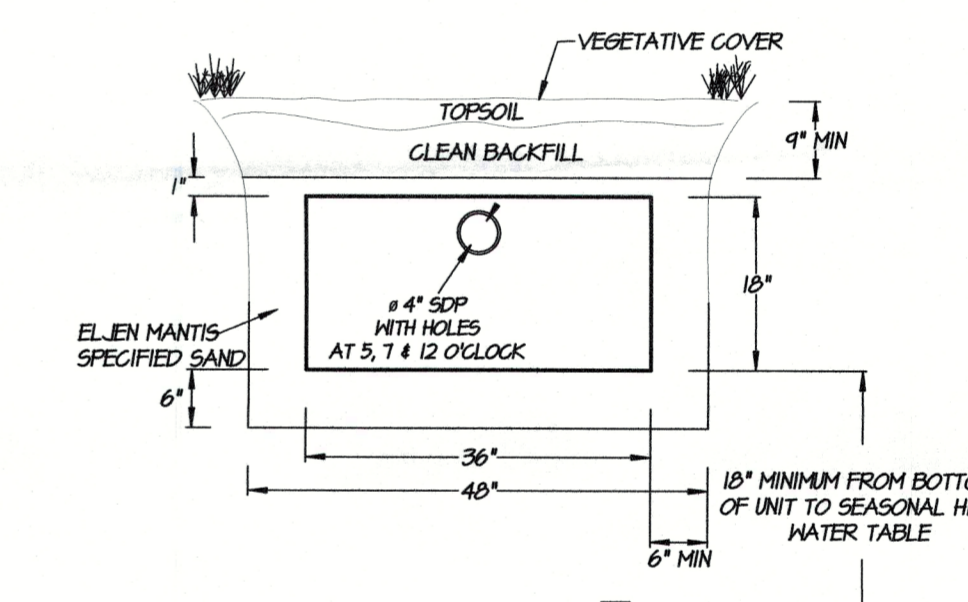
1000 GALLON 2 COMPARTMENT SEPTIC TANK
NOT TO SCALE



1000 GALLON 2 COMPARTMENT SEPTIC TANK
NOT TO SCALE



STANDARD D-BOX
NOT TO SCALE



MANTIS 536-B INSTALLATION
NOT TO SCALE

Site Development Plan "Detail Sheet"
Prepared For:
Stephanie Turner
Church Street
Brooklyn, Connecticut

DRAWING SCALE: 1" = 30'

ARCHER Surveying LLC.
18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

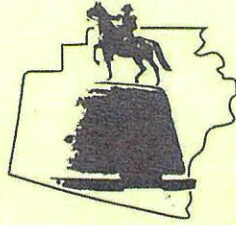
KWP
SURVEYING - ENGINEERING - SITE PLANNING

LOUIS J. SOJA, JR.
LAP SURVEYOR - LAD PLANNER

REVISIONS	
DATE	DESCRIPTION

Closed

2/23/23



Brooklyn Land Use Department

69 South Main Street
Brooklyn, CT 06234
(860) 779-3411 x 31

Inland Wetlands



Zoning Enforcement



Blight Enforcement

SITE INSPECTION NUMBER

1 2 3 4 5

104 Church Street

Feb. 21, 2023

Address

Date

This inspection report serves as
a Cease and Desist Order.

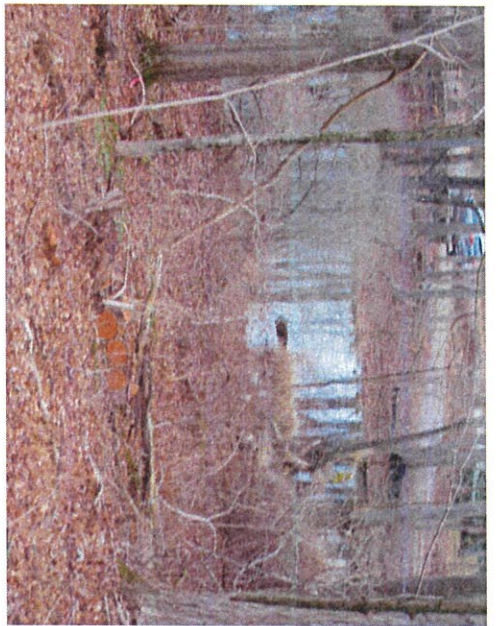
The owners and all contractors are
hereby ordered to immediately
Cease and Desist from all
site work. No permits have
been issued by the Town of Brooklyn
for any site work or construction
on this site.

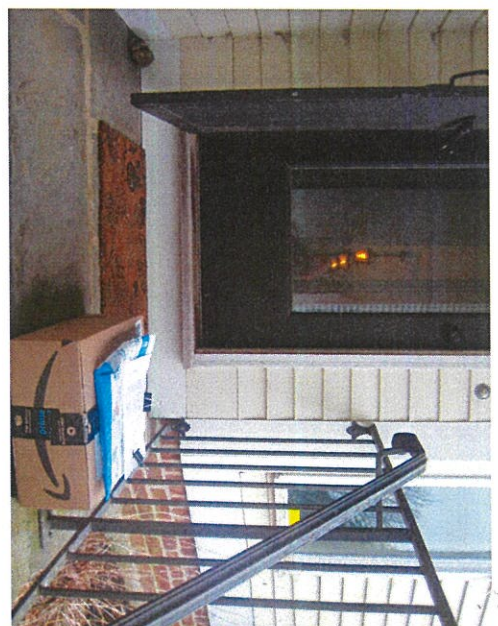
The fine for a wetlands violation is
\$1,000.00 per day. The fine for a
Zoning violation is \$150.00 per day.

Commission Representative

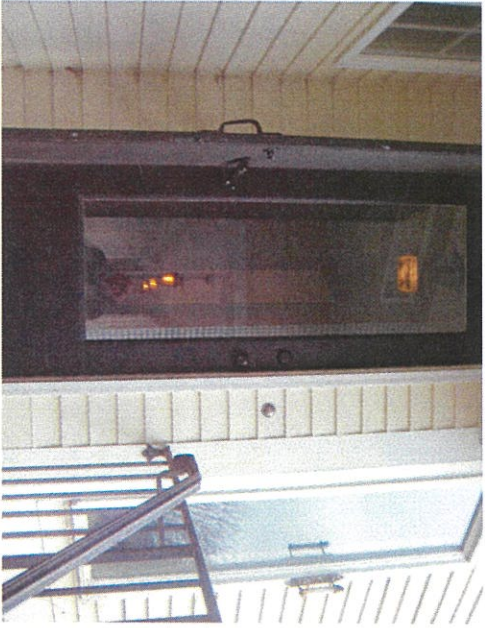
Margaret Washburn

Owner or Authorized Signature

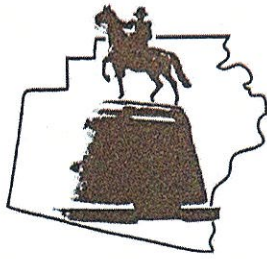




Model Number: Zoning Enforcement High Enforcement
 104 Church Street Feb 21, 2023
 Address: 1 2 3 4 5
 This inspection report serves as a Cease and Desist Order.
 The owner and all contractors are hereby ordered to immediately cease and desist from all site work. No permits have been issued by the Town of Rocklog for any site work or construction on this site.
 The fine for a violation is \$1,000.00 per day. The fine for a zoning violation is \$350.00 per day.
 Commission Representative: *Margaret McElwain*







Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

104 Church St

2/22/23

Address

Date

I met John Turner. Paul Archer had the ~~the~~ Health Department doperc tests.

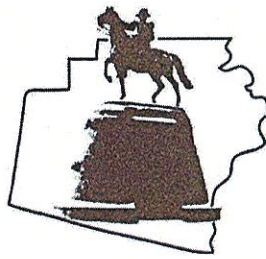
This lot was made 1.44 to 1.77 ac. to add more land on the east side.

John says all they did was cut dead ash trees and "no site work".

John says Scott Lee is the builder. Scott Lee dug the holes for the sonotubes before he met with me and Lisa.

Commission Representative M. Washburn

Owner or Authorized Signature _____



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement _____ Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

104 Church St.

3-29-23

Address

Date

Janet Booth and I inspected and took photos with Stephanie Turner. Stephanie says there will be a wrap around deck on the west and north sides; this is not shown on the site plan. Steph will contact

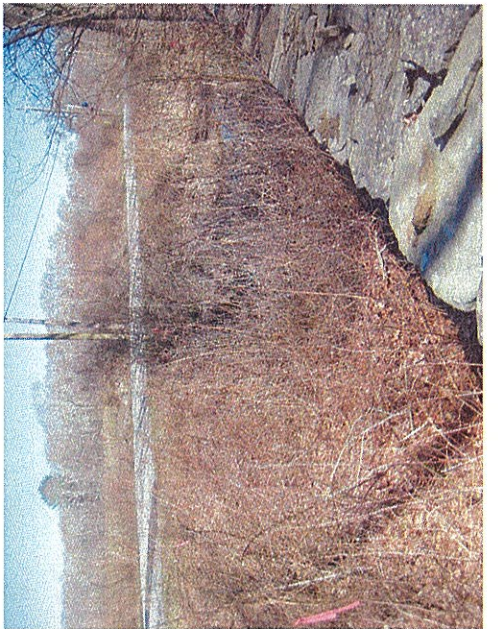
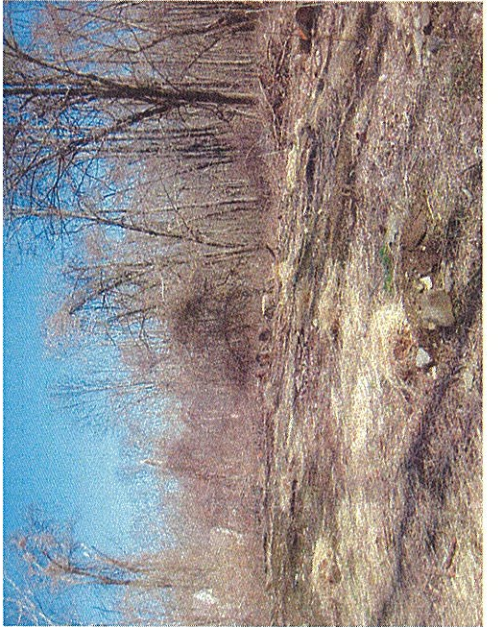
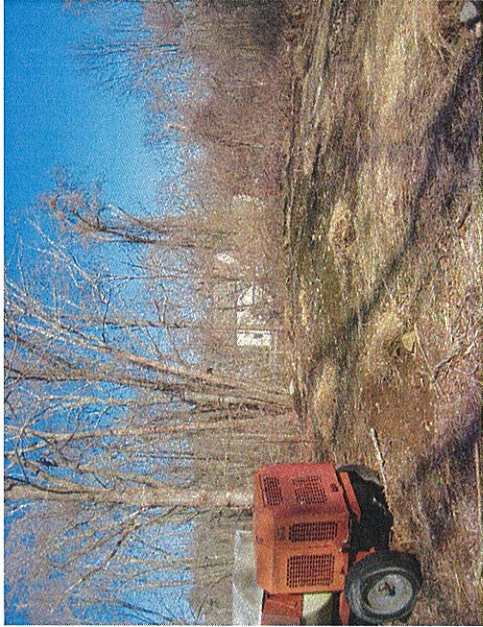
Paul Archer with deck info.

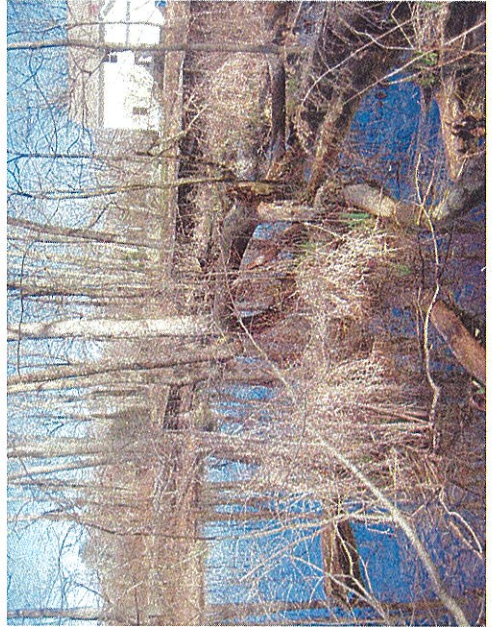
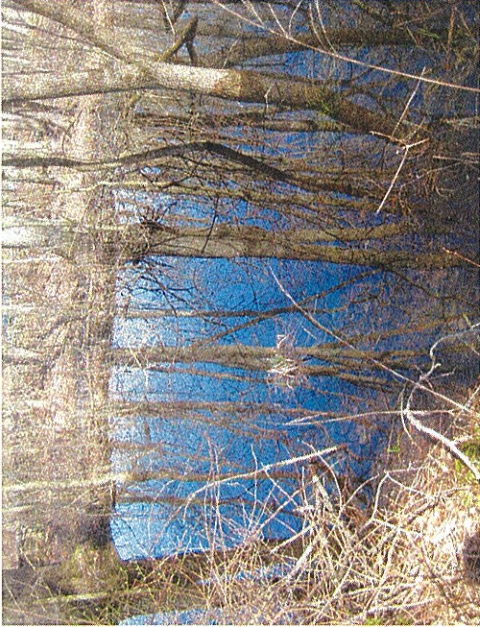
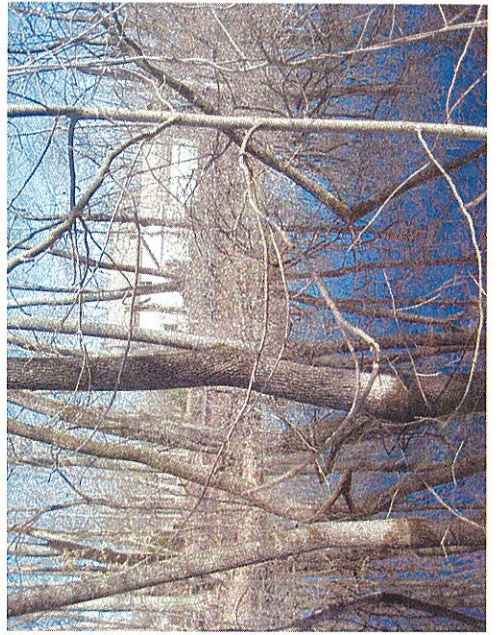
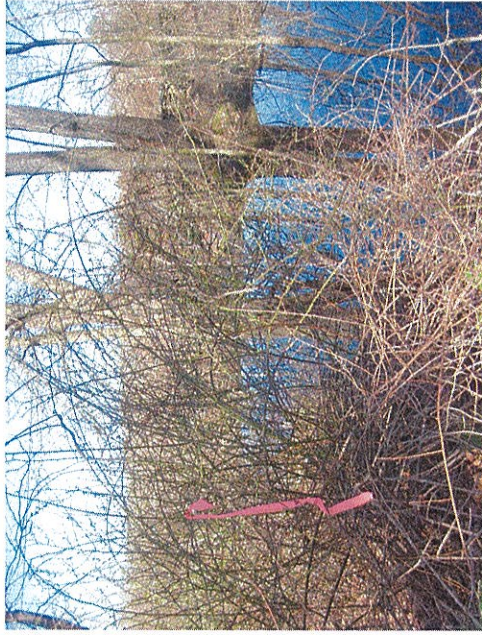
No roof over deck. There will be stairs from the deck to the ground.

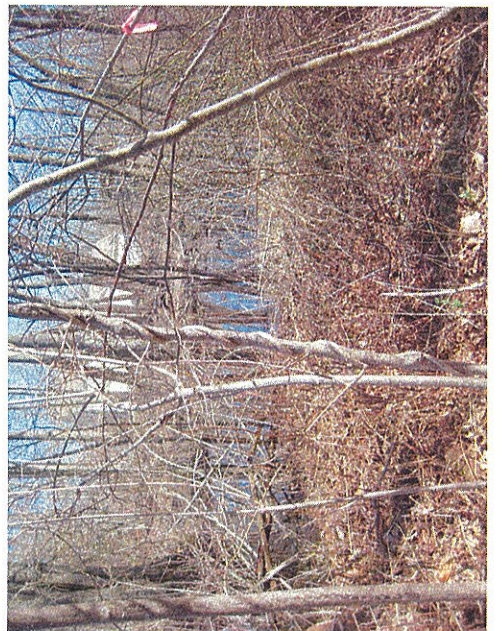
There are no IWWC issues, Recommend approval.

Commission Representative M. Washburn

Owner or Authorized Signature _____







INLAND WETLANDS & WATERCOURSES COMMISSION
TOWN OF BROOKLYN, CONECTICUT

Date _____

Application # IWWC 23-003

APPLICATION -- INLAND WETLANDS & WATERCOURSES

RECEIVED

MAR 6 - 2023

APPLICANT PETER JOYCE MAILING ADDRESS PO Box 233
BROOKLYN, CT 062334

APPLICANT'S INTEREST IN PROPERTY OWNER PHONE: CELL 617-549-8456
HOME: 860-774-8997

E-MAIL PETERDAVIDJOYCE@GMAIL.COM

PROPERTY OWNER IF DIFFERENT SAME PHONE: CELL: _____ HOME: _____

MAILING ADDRESS _____ EMAIL _____

ENGINEER/SURVEYOR (IF ANY) _____

ATTORNEY (IF ANY) _____

PROPERTY LOCATION/ADDRESS) OPEN FIELD OPPOSITE 299 WOLF DEN ROAD
BROOKLYN

MAP # 17 LOT # 24 ZONE RA _____ TOTAL ACRES 10 ACRES OF WETLANDS ON PROPERTY
0

PURPOSE AND DESCRIPTION OF THE ACTIVITY RESTORATION OF A HAY FIELD BY REMOVING NON NATIVE INVASIVE RUSSIAN OLIVE BRUSH. THE REMOVAL OF A LARGE FALLEN TREE FROM STOCK POND WITHGIN THE FIELD AND REMOVAL OF MUCK FROM POND THAT IS BEING THREATENED WITH EXTINCTION BY ACCUMULATION OF DECAYING LEAVES AND REEDS. THE POND IS A GROUND WATER ENTITY CREATED OVER 50 YEARS AGO AS A WATER SOURCE FOR ANIMALS SUCH AS HORSES AND PONIES. THE FIELD IS ENTIRELY SURROUNDED BY FENCING AND HAS ACCESS BY GATE ON WOLF DEN ROAD. THE POND IS APPROXIMATELY 142FT ON W SIDE X 65FT ON SOUTH SIDE X 152FT ON EAST X 77FT ON NORTH. APPROX 436FT IN CIRCUMFERENCE. THE SOUTHERN END OF POND IS APPROXIMATELY 414FT FROM SOUTHERN PROPERTY LINE ON WOLF DEN ROAD AND 550 FT FROM HERRICK RD. WEST EDGE OF POND IS 30 FT FROM ROAD. APPROXIMATELY 2FT OF MUCK IN CENTER AD BOTTOM OF POND IS PROPOSED TO BE DREDGED, APPROXIMATELY 150 CU YDS OVERALL. DREDGED MUCK WILL BE DEPOSITED NEXT TO BERM ON EAST SIDE OF POND TO SLOPE DOWN TO LEVEL FIELD.AS INDICATED ON DRAWING.

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED _____ CUBIC YDS _____ SQ FT _____

EXCAVATION PROPOSED YES CUBIC YDS 150 SQ FT _____

LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE YES OFF SITE _____

TOTAL REGULATED AREA ALTERED: SQ FT _____ ACRES .5

_____ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- o NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- o ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:
APPLICATION TO STATE OF CONNECTICUT DEEP

INLAND WATER RESOURCES DIVISION
79 ELM ST.
HARTFORD, CT. 06106
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MA. 01742
1-860-343-4789

STAFF USE ONLY:

_____ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

_____ PERMIT REQUIRED:

_____ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ AUTHORIZED BY IWWC

_____ SIGNIFICANT ACTIVITY/PUBLIC HEARING

_____ NO PERMIT REQUIRED

_____ OUTSIDE OF UPLAND REVIEW AREA

_____ NO IMPACT

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ TIMBER HARVEST

RECEIVED

MAR 6 - 2023

GIS CODE #: _____
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3rd Floor, Hartford, CT 06106

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
- ACTION TAKEN (enter one code letter): _____
- WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Brooklyn
Does this project cross municipal boundaries (check one)? Yes _____ No
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
- LOCATION (see directions for website information): USGS Quad Map Name: 43 or Quad Number: 43
Subregional Drainage Basin Number: Danielson
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Peter Lopez / Patricia McAnany
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): Wolf Den Rd / Herrick
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent _____
Description: Dredging stock pond & removal of invasive brush in Hay Field
- ACTIVITY PURPOSE CODE (enter one code letter): J
- ACTIVITY TYPE CODE(S) (enter up to four code numbers): 3, 11, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: _____ acres Open Water Body: .5 acres Stream: _____ linear feet
- UPLAND AREA ALTERED (type in acres as indicated): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): .25 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

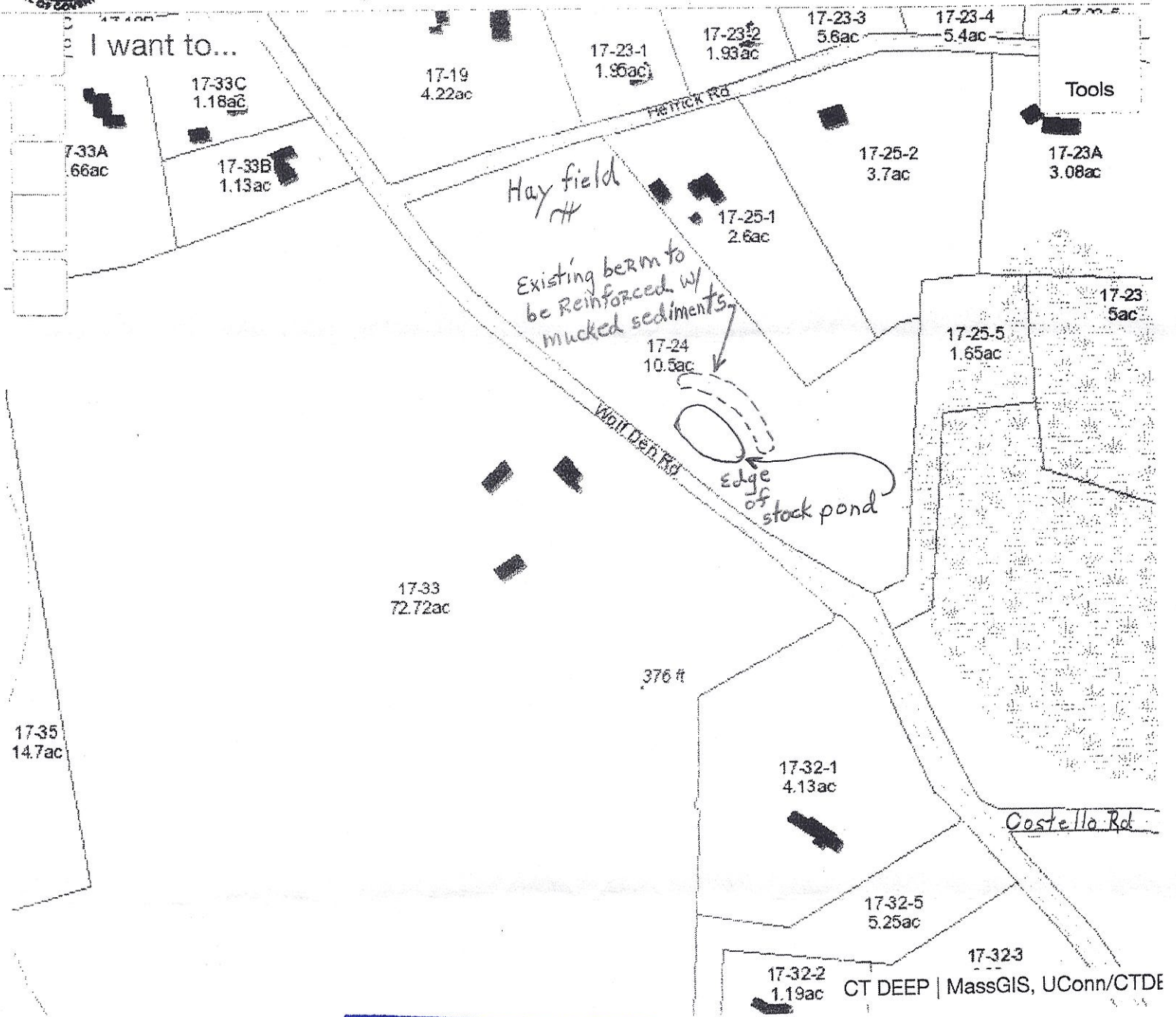
FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

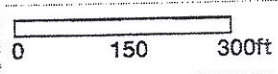


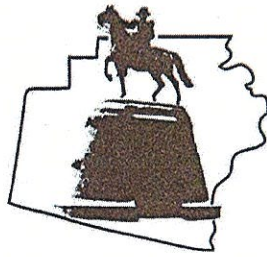
Joyce & McAnany, Wetlands Application
 neccog ashford brookly wolf den road brooklyn
 pomfret putnan

ton killing
 Sign in
 voluntowr



RECEIVED
 MAR 8 2023





Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

Wolf Den Rd. Map 17 Lot 24 3/27/23

Address

Date

I inspected and took photos with Peter Joyce's permission.

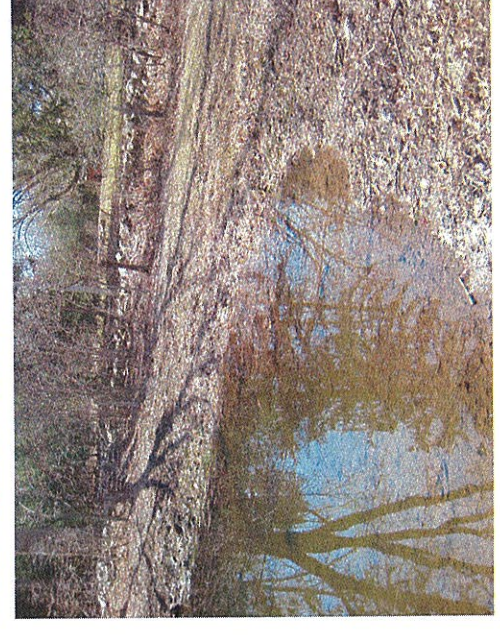
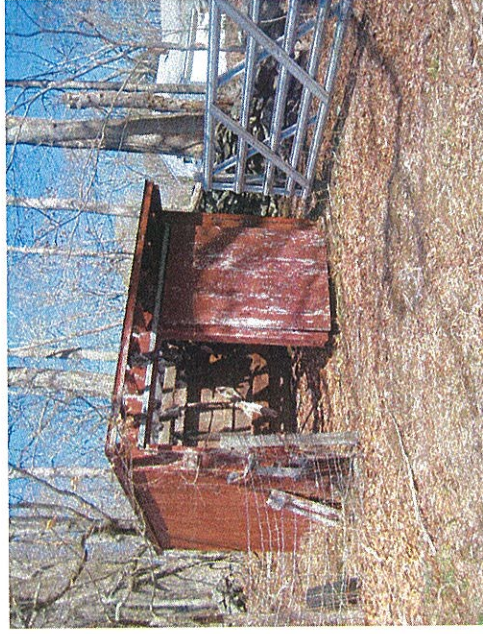
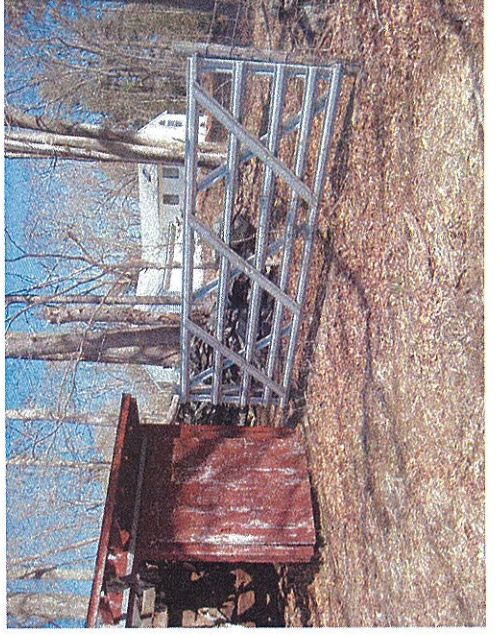
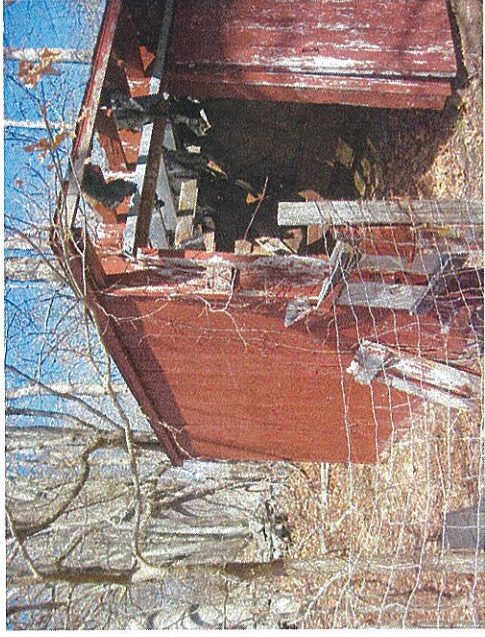
Spring peepers were calling from the pond. I saw and photographed 8 egg masses of spotted salamanders' and 2 egg masses of wood frogs'.

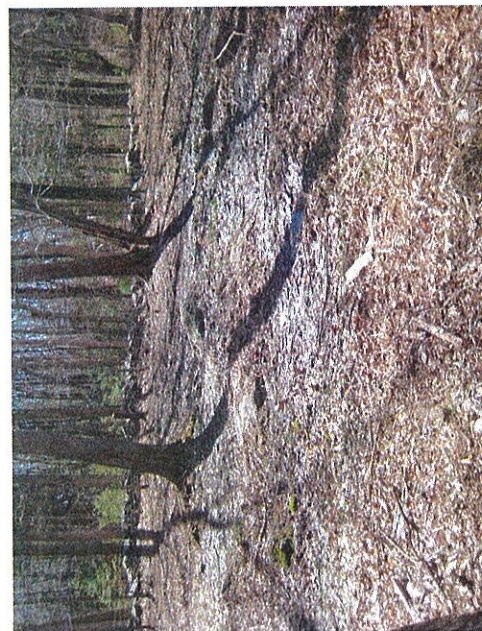
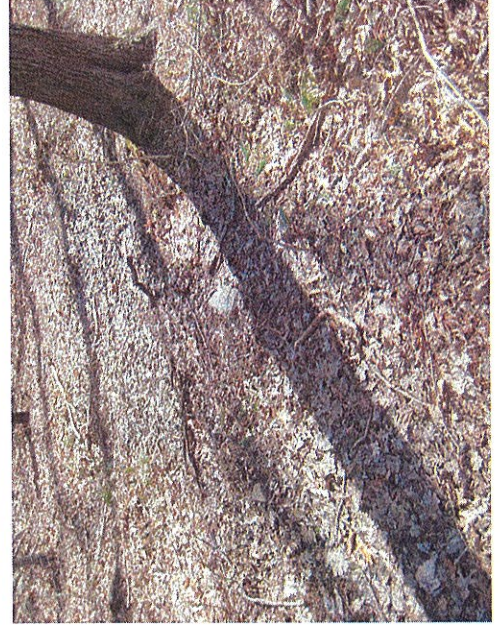
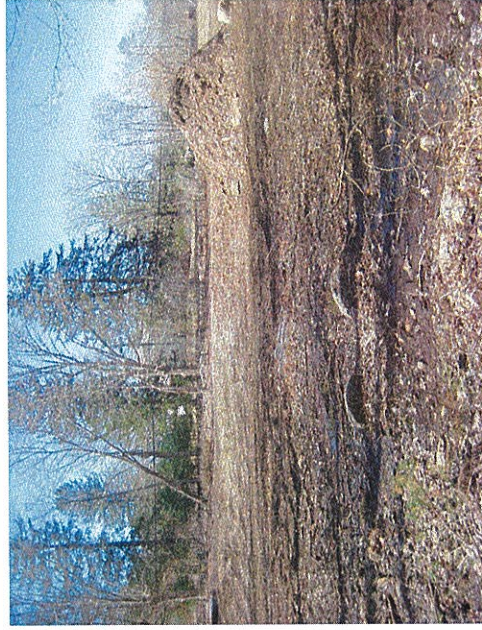
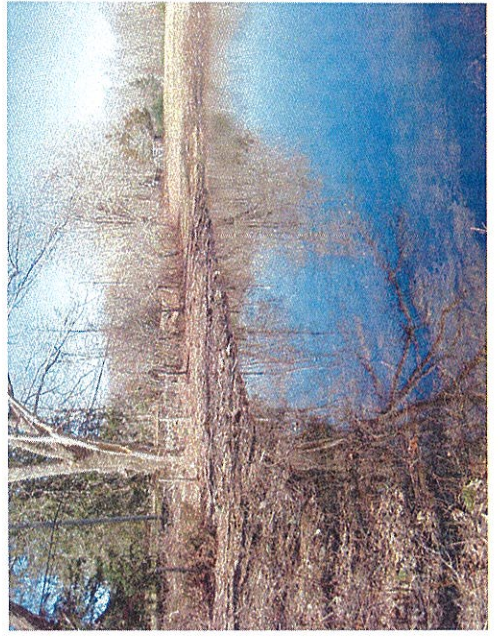
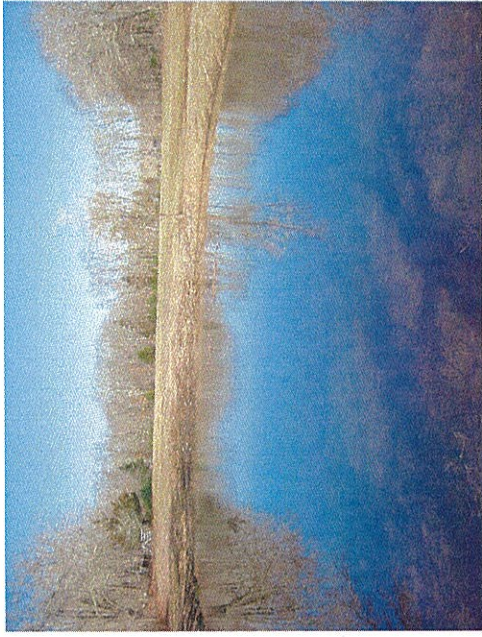
The pond appears to function as a vernal pool.

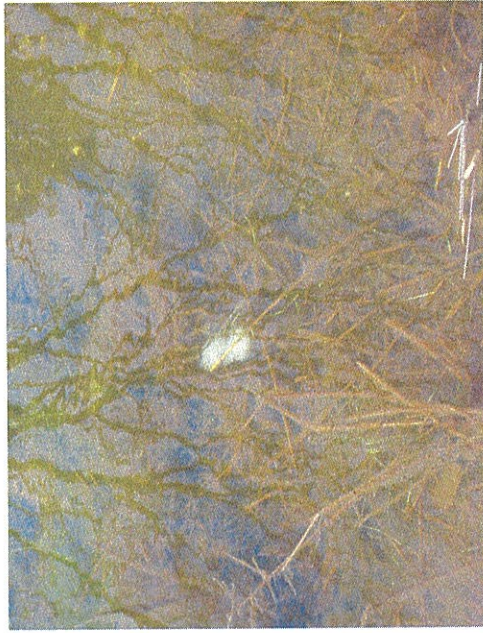
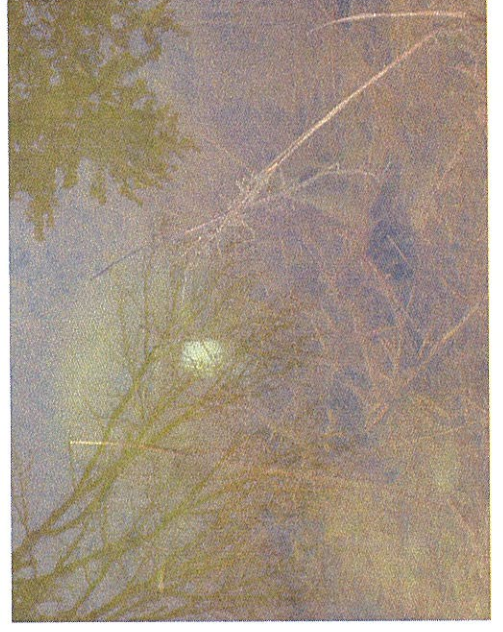
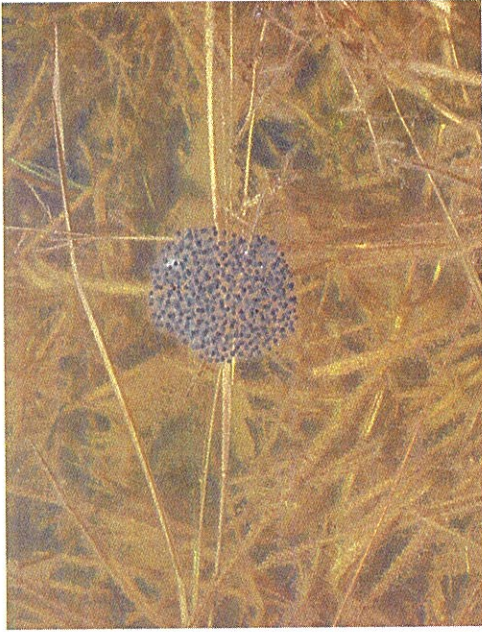
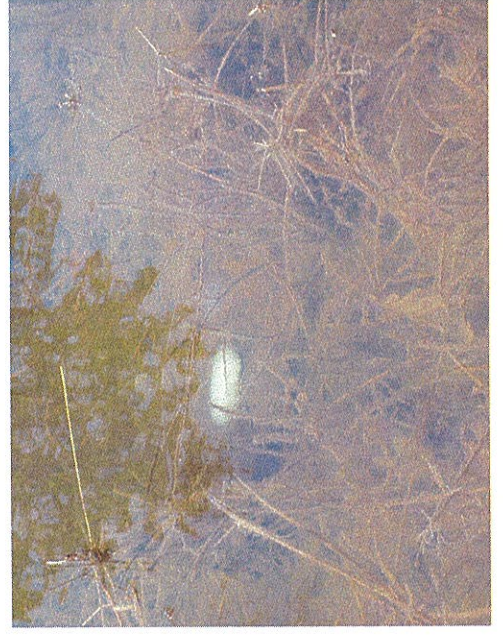
Recommend to WWC members that they put a condition on the time of year the pond can be dredged; i. e. Sept - Oct - Nov. NOT March-July

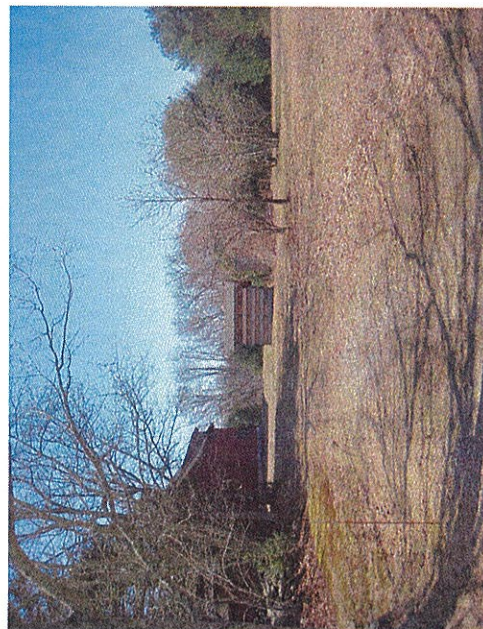
Commission Representative M. Washburn

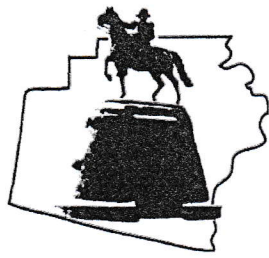
Owner or Authorized Signature _____











Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement _____ Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

143 South St.

3/21/23

Address

Date

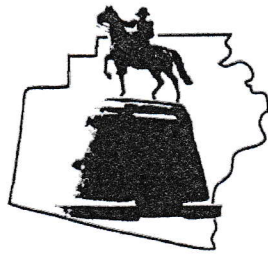
I met Loni Decelles, inspected with her, and took photos. The wood chip berm has not been installed the full length shown on the plan. Loni agreed to extend this berm to the edge of the lawn on the south side of the house. Loni will let me know when this has been done. Loni wants to do work that was not shown on the approved plan. Loni will have Paul Terwilliger replace the wetland flags so that they extend further north to the east side of the house. Proposed changes:

1) Remove roots and stones on the side slope shown in photos 9, 10 + 11. Large stones would be removed from this area and the area would be smoothed and seeded. The large stones would be moved to the east side of the barn. The stones would be buried when the well drained fill is removed.

Commission Representative M. Washburn

Owner or Authorized Signature _____

P. 1/3



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands ✓ Zoning Enforcement _____ Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

143 South St.
Address

3/21/23
Date

NOTE: The well-drained gravelly fill has not been installed over the entire areas shown on the plan, especially south of the new barn.

The slope between the barn and the wetlands appears to be steeper than 3:1. Loni says this will be fixed.

see photos 6, 7, 8+13

2) Loni wants to make a bridle path from the bottom of the slope near the S.E. corner of the barn to the brook for a crossing for horses, over the brook. This stream is shown as a perennial stream on the U.S.G.S. topographic map for the subject property. Loni is not sure what materials would be used for the bridle path or the bridge. No specifics for the width or length of the trail or bridge were discussed.

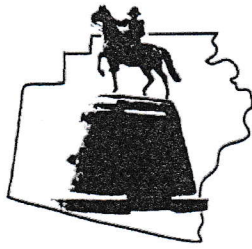
3) Loni wants to have a garden shed and attached greenhouse about 25' south of the deck off the rear of the house.

Commission Representative M. Washburn

Owner or Authorized Signature _____

See photos 12+16

P. 2/3



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement _____ Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

143 South St,

3/21/23

3) continued

Address

Date

The shed and greenhouse maybe on a concrete pad. The shed and greenhouse would be in the Upland Review Area. Loni said that PC Survey would show these proposed buildings on the as-built plan for the barn.

4) Loni wants to have an inlaw apartment on the west side of the existing garage. Loni expects to need a variance from the ZBA for the zoning setbacks. Loni expressed concern about how close the inlaw apartment would be to the existing septic system. Loni acknowledged that NDDH may want some components of the septic system enlarged, & noted that horses are now pastured on the leach-field. This is not recommended by NDDH. Horses can



Commission Representative M. Washburn

damage
leachfields.

Owner or Authorized Signature _____

see
photo
14

p. 3/3





6



8



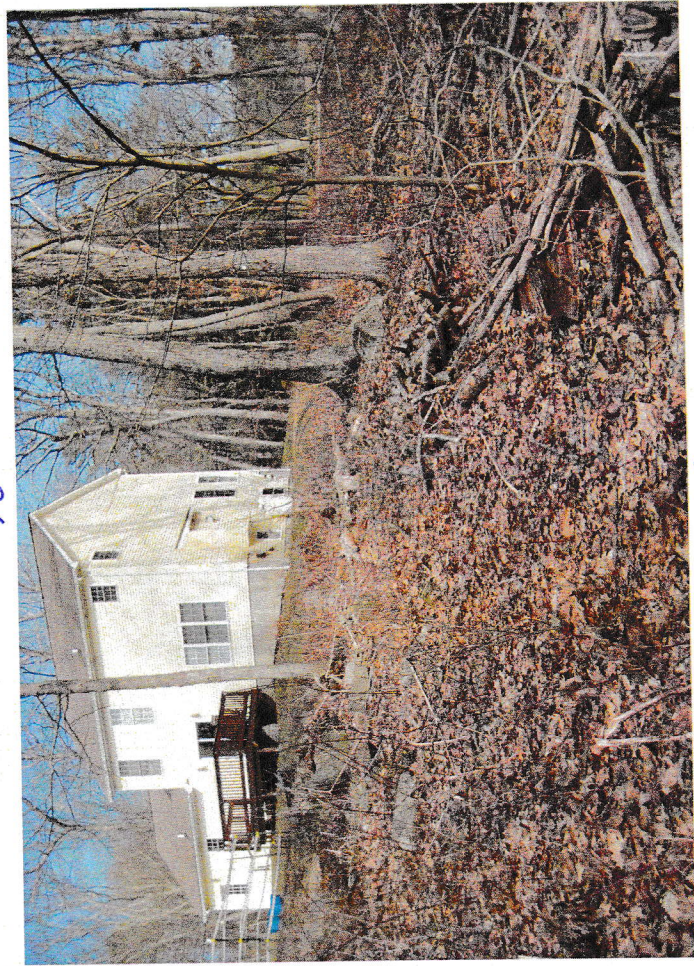
5



7



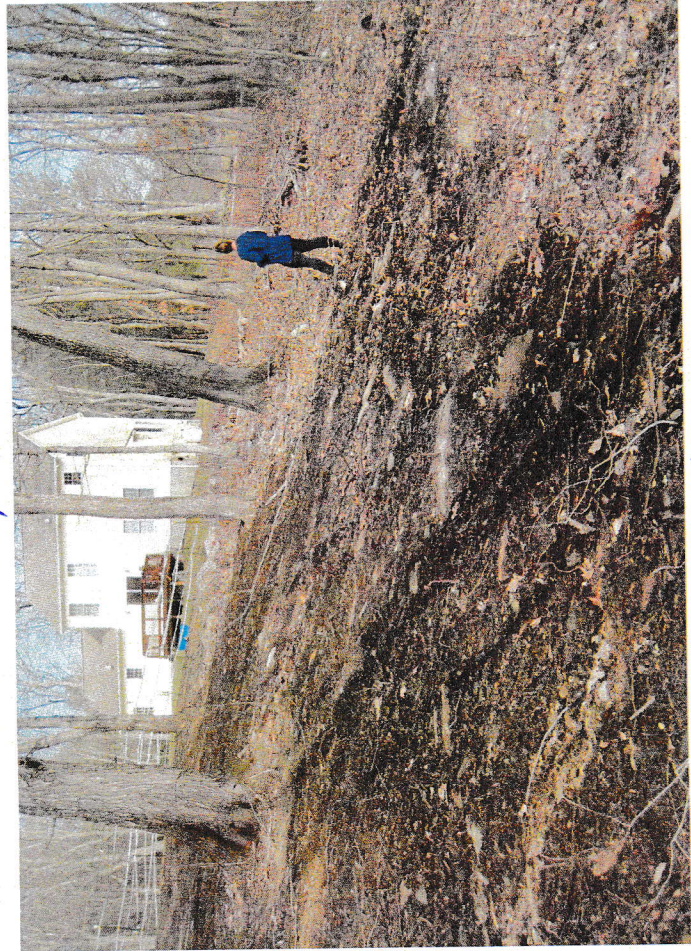
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12



9



11



14



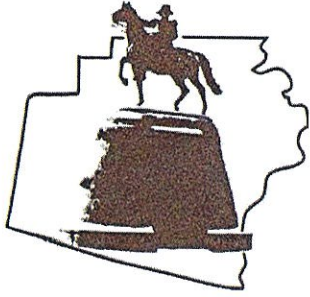
16



13



15



TOWN OF BROOKLYN
Land Use Department
69 South Main Street • Suite 22
BROOKLYN, CONNECTICUT 06234
860-779-3411 Ext. 12

WETLANDS PERMIT IWWC 22-005

CERTIFIED# 7021 2720 0001 3206 1934

Loni Decelles
143 South Street
Brooklyn, CT 06234

October 12, 2022

RE: IWWC 22-005 143 South Street – Map 40 Lot 88-11 – Loni Decelles. Construction of horse barn within upland review area. Clearing for horse turn out within upland review area. Selective clearing and fencing within wetland.

Dear Ms. Decelles,

At the regularly scheduled October 11, 2022 meeting of the Brooklyn Inland Wetlands and Watercourses Commission, your application, IWWC 22-005 143 South Street – Map 40 Lot 88-11 – Loni Decelles. Construction of horse barn within upland review area. Clearing for horse turn out within upland review area. Selective clearing and fencing within wetland, was approved with standard conditions.

A legal notice of this approval will be published in the Turnpike Buyer on October 19, 2022. Please note that this action of the Brooklyn Inland Wetlands and Watercourses Commission may be appealed for fifteen-day period following the publication of the legal notice.

If you have any questions, please contact me.

Issued by:

Margaret Washburn

Margaret Washburn
ZEO/WEO/Blight Enforcement Officer
69 South Main Street, Suite 23
Brooklyn, CT 06234
(860) 779-3411 ext. 31
Mon. – Thurs. 8:00 am – 3:30 pm
m.washburn@brooklynct.org

CC: Paul Terwilliger, PC Survey Associates, LLC

BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION
STANDARD CONDITIONS FOR IWWC PERMITS 12/13/16

APPLICANT: READ CAREFULLY

IWWC Permit Document. A copy of the IWWC approval motion and the conditions stated herein shall constitute the IWWC permit for the approved activity when the permit document is signed and dated by the IWWC Agent.

Notice of Start and Finish. Permittee shall notify the IWWC agent at least 48 hours before the approved activity commences and within 72 hours after completion of the activity.

Permit Duration. This permit is valid for a period in accordance with Section 11.6 of the Brooklyn Inland Wetlands and Watercourses Regulations and the Connecticut General Statutes. Any request to renew or extend the expiration date of a permit can be granted only as authorized by the IWWC Regulations. Expired permits may not be renewed.

Erosion and Sedimentation Controls. Permittee is responsible for implementing the approved erosion and sediment control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan. The permittee shall inspect the erosion controls weekly and after rains and repair deficiencies within twenty-four hours. The IWWC and its staff may require additional erosion if needed to prevent erosion and sedimentation. Restabilization of the site shall take place as soon as possible.

Stockpile locations. During construction, piles of fill, erodible material and debris shall not be created within regulated areas. The locations of debris and other stockpiled materials shall be shown on the submitted plans. Any material excavated at the site shall be disposed of at upland or off-site locations reviewed and approved by staff.

Permit Transfer. The permittee shall not transfer this permit without the written permission of the IWWC.

Work in Watercourse to Occur During Low Flow. Work within a watercourse is limited to periods of low flow. Low flow periods normally occur between August and October. Upon request of permittee, wetlands staff can determine if the activity can occur at other times following an on-site field investigation.

Scope of Permit. This permit is for the approved activity ONLY. Additional activity may require an additional permit. Note that if an approval or permit is granted by another agency and

- (1) the approved activity will affect wetlands and/or watercourses; and/or
- (2) the activity occurs within 125 feet of flagged boundaries and 175 feet from watercourses;

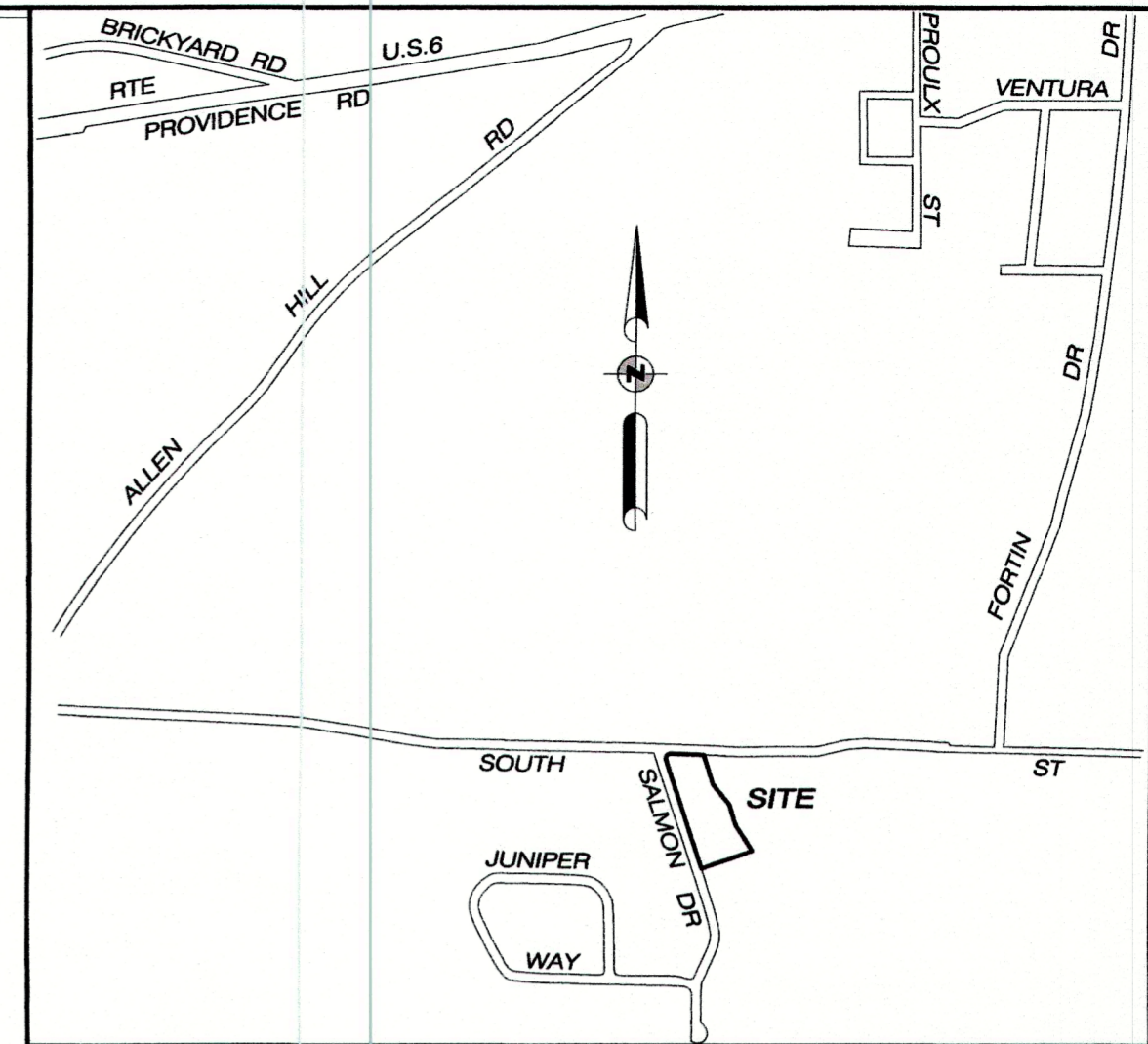
and such activities have not been addressed by this permit, then the applicant shall resubmit the application for further consideration by the Inland Wetlands and Watercourses Commission before any work begins.

Ongoing Compliance with Permit. The permittee shall comply at all times with the permit.

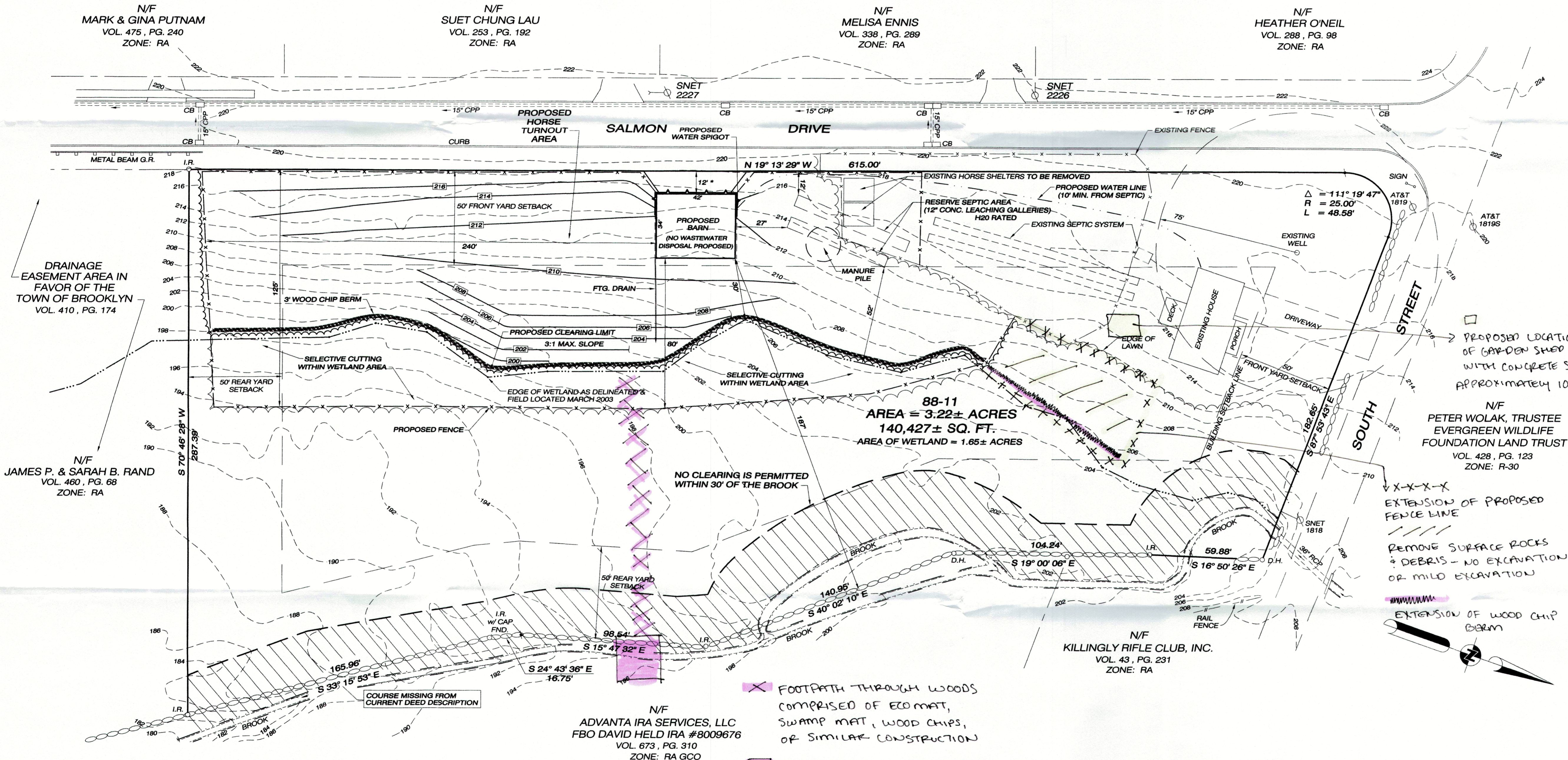
Other Approvals May be Required. Other permits may be required from Town, state or federal agencies. An Army Corps of Engineers permit may be required: U.S. Army Corps of Engineers, 424 Trapelo Rd., Waltham, MA 02254 1-800-362-4367.

ZONE: RA	REQUIRED	EXISTING	PROPOSED
AREA	2 ACRES	3.22± ACRES	3.22± ACRES
FRONTAGE	150'	881'±	881'±
FRONT SETBACK	50'	50.3'	N/A
SIDE SETBACK	40'	N/A	N/A
REAR SETBACK	50'	>500'	180'
ACCESSORY BUILDING SETBACK	25' (SIDE/REAR)	N/A	187'±
	50' (FRONT)	N/A	12'*

* INDICATES VARIANCE REQUESTED



LOCATION MAP 1" = 1000'



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A ZONING LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "A2". TOPOGRAPHIC FEATURES DEPICTED WERE TAKEN FROM NOAA LIDAR DATA AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS "T-D". CONTOUR INTERVAL = 2 FEET. VERTICAL DATUM = APPROX. NAVD88. THE PURPOSE OF THIS MAP AND SURVEY IS FOR USE IN THE PERMITTING PROCESS FOR A PROPOSED BARN.
 - REFERENCE MAPS:
 - SUBDIVISION MAP PREPARED FOR DONNA L. SALMON - SOUTH STREET, BROOKLYN, CT. - SCALE: 1"=20' - DATE: MARCH 2003 - SHEET 2 OF 2 - BY: PC SURVEY ASSOCIATES, LLC - REVISED 4/29/03
 - IMPROVEMENT LOCATION SURVEY - AS-BUILT SURVEY OF SALMON DRIVE PREPARED FOR BELMONT HOMES, LLC - SOUTH STREET & SALMON DRIVE, BROOKLYN, CONNECTICUT - SCALE: 1"=40' - DATE: SEPT. 2007 - SHEET 1 OF 1 - PC SURVEY ASSOCIATES, LLC
 - SUBJECT PROPERTY IS SHOWN AS MAP 40, LOT 88-11 OF THE BROOKLYN ASSESSOR'S RECORDS.
 - REFERENCE DEED: VOL. 687, PG. 105 OF THE BROOKLYN LAND RECORDS.

PROPOSED LOCATION OF GARDEN SHED WITH CONCRETE SLAB APPROXIMATELY 10'x10'

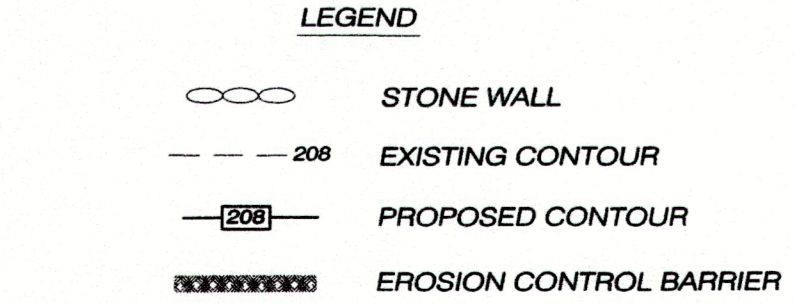
N/F PETER WOLAK, TRUSTEE EVERGREEN WILDLIFE FOUNDATION LAND TRUST VOL. 428, PG. 123 ZONE: R-30

X-X-X-X EXTENSION OF PROPOSED FENCE LINE

REMOVE SURFACE ROCKS & DEBRIS - NO EXCAVATION OR MILD EXCAVATION

EXTENSION OF WOOD CHIP BERM

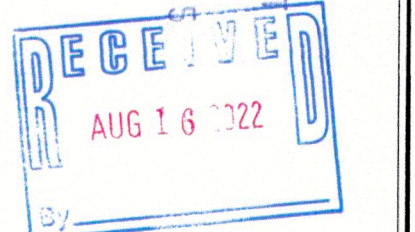
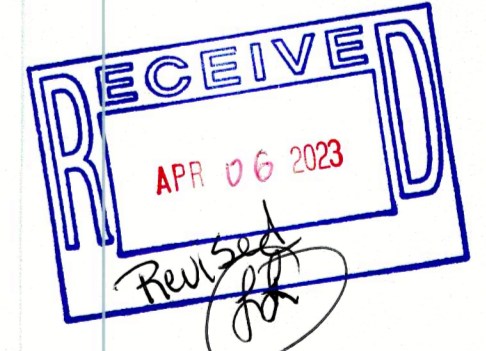
- ✕ FOOTPATH THROUGH WOODS COMPRISED OF ECOMAT, SWAMP MAT, WOOD CHIPS, OR SIMILAR CONSTRUCTION
- PROPOSED LOCATION OF FOOT BRIDGE - CONCRETE FOOTER WITH TELEPHONE POLE CONSTRUCTION OR SIMILAR MATERIAL APPROXIMATELY 12 FT WIDE DESIRED TO ACCESS LEASED LAND FOR AGRICULTURAL USE ON ADJACENT PROPERTY



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Paul A. Terwilliger
PAUL A. TERWILLIGER, L.S. NO. 70155
DATE: 8/16/2022

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.



ZONING LOCATION SURVEY		SURVEYING • MAPPING • PLOT PLANS	
PLAN SHOWING PROPOSED BARN PREPARED FOR			
LONI A. DECELLES		email: pcurvey@snct.net 63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230	
143 SOUTH STREET		SHEET NO: 1 OF 1	
BROOKLYN, CONNECTICUT		REVISED:	
DATE: AUGUST 2022			
SCALE: 1" = 30'		JOB NO: 220XX	
		F.B. NO: 229	
DRAWN BY: P.A.T.		MAP NO:	






neccog

Neccog GIS Site



Legend

-  Town
-  Buildings 2012
-  Parcels

1: 2,257



0.1 0 0.04 0.1 Miles

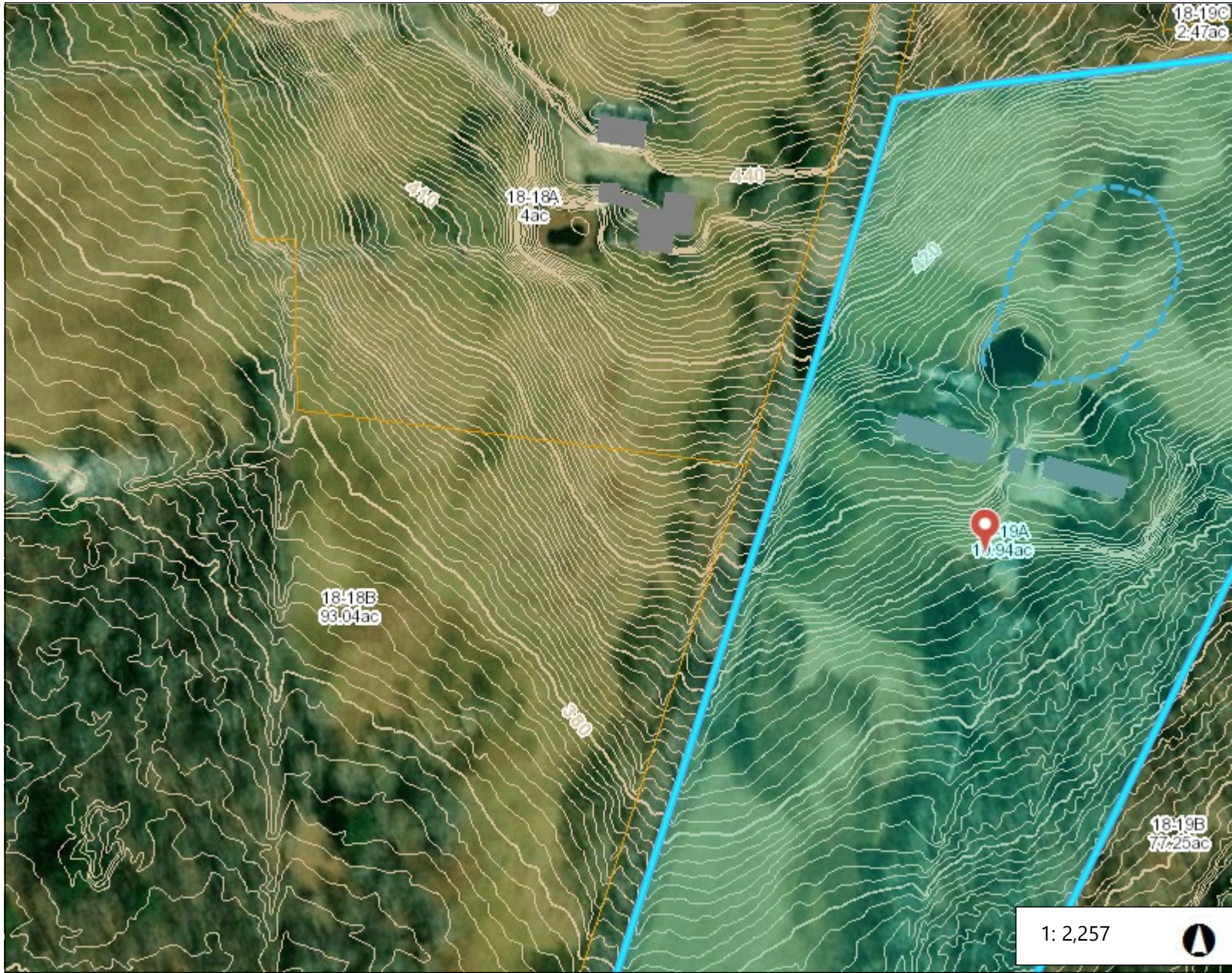
WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Enter Map Description



Legend

- Town
- Buildings 2012
- Parcels

1: 2,257



0.1 0 0.04 0.1 Miles

Notes

Enter Map Description



neccog

Neccog GIS Site



Legend

- Town
- Buildings 2012
- Parcels

Notes

Enter Map Description

0.1 0 0.04 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

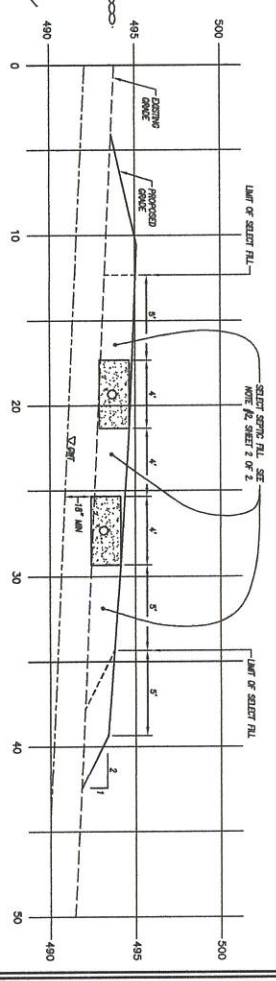
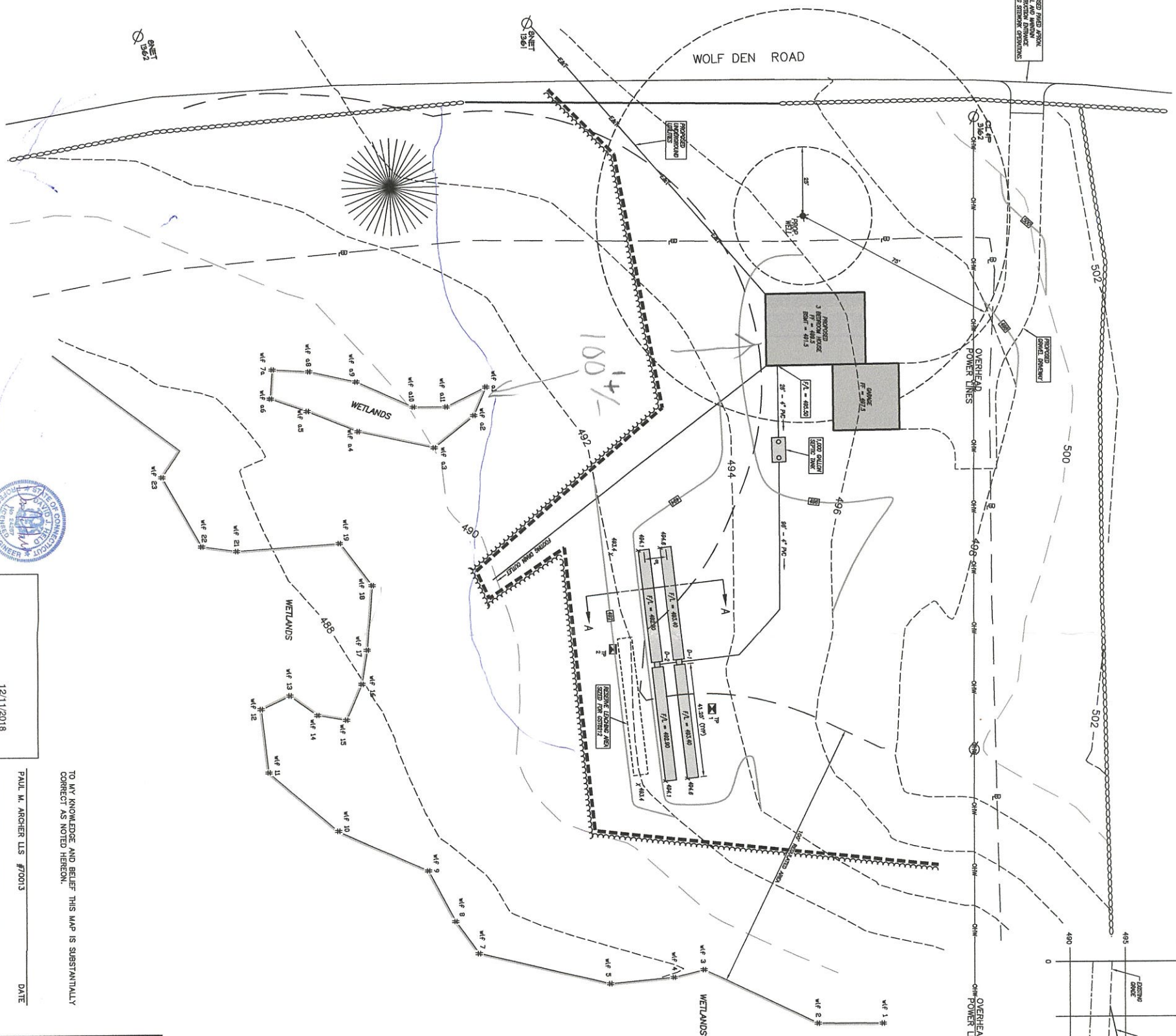
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



SEPTIC TANK	
1000 GALLON	
NO. COMPONENT	
F ₁ IN = 494.85	
F ₂ OUT = 494.80	
DISTRIBUTION BOXES	
D-1 (OVERFLOW)	
F ₁ IN = 493.57	
F ₁ OUT TO TRENCH = 493.40	
D-2 (STANDARD)	
F ₁ IN = 493.00	
F ₁ OUT TO TRENCH = 492.90	

LEGEND	
---	PROPERTY LINE
---	EASEMENT
---	STONEWALL REMAINS
---	SALT FENCE
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	WETLANDS FLAG
---	BUILDING SETBACK
---	IRON PIN FOUND
---	DRILL HOLE FOUND
---	MONUMENT FOUND
---	IRON PIN SET
---	PERCOLATION TEST
---	TEST PIT
---	PROPERTY POINT
---	UTILITY POLE



DEEP TEST PIT DATA / SOIL DESCRIPTIONS	
PERFORMED BY: Lynette Swanson	DATE: February 5, 2008
WITNESSED BY: Northeast District Department of Health	
TEST PIT: 1	TEST PIT: 2
0' - 5" Topsoil, Organics	0' - 4" Topsoil, Organics
5' - 26" Reddish Brown Fine Sandy Loam	5' - 22" Yellow Brown fine Sandy loam, moist
26' - 84" Dark Gray Compact, sand pan, mottled, wet	22' - 84" Grey compact sandy pan, mottled, wet
84" Roots	84" Roots
MOISTURE: 26"	MOISTURE: 26"
GROUNDWATER: NO	GROUNDWATER: NO
LEDGE: NO	LEDGE: NO
ROOTS: 24"	ROOTS: 20"
RESTRICTIVE: NO	RESTRICTIVE: NO
PERCOLATION DATA	
PERC. #A - DEPTH: 30"	TIME (MINUTES)
8-33	4:25
8-33	7:25
8-42	9
8-55	11
9-05	12.5
9-15	13.75
PERCOLATION RATE > 8.0 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON February 5, 2018 PERFORMED BY Lynette Swanson	

SEPTIC SYSTEM DESIGN DATA

- Percolation Rate = 8.0 min. / in.
- 3 bedroom house requires = 495 s.f. effective leaching area
- Effective Leaching area = 3 s.f. / 1 ft. of trench = 495/3 = 165 ft.
- Length Required = 4 (41.25) = 165 ft.
- Min. Leaching System Spread (ALLS) = 34.0 x 1.5 x 1.0 = 51'
- MISS Provided = 82.5'
- LEACHING FIELD
- 4 Trenches @ 41.25 ft. each
- Maximum depth into existing grade = 4'

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300-20 and the Standards for Surveys and Maps in State of Connecticut, as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996
 - This Survey conforms to a Class "C" Horizontal Accuracy Class "1"-2" Vertical Accuracy
- Survey Type: Site Development Plan
- Boundary Determination: Resurvey
- Intent: Site Development
- Parcel: shown as 21 on Assessors Tax Map 18 of the Brooklyn Assessors Office
- Topographic Information obtained by actual field measurements, Datum Assumed
- Zone: RA
- 50' Front Setback
- 40' Side Setback
- 50' Rear Setback
- Wetlands were delineated by Joseph Theroux in December, 2018.

SURVEYOR SHALL SET A BENCH MARK IN THE AREA OF THE SEPTIC SYSTEM AT THE TIME OF CONSTRUCTION STAKE-OUT.

Provoost & Rovero, Inc.
Civil Engineering, Surveying, Site Planning
Sunderland, Massachusetts, USA
37 East Main Street, P.O. Box 191
(860) 220-0854 • FAX: (860) 220-0860
info@provoost.com
www.provoost.com



Site Development Plan
Prepared For:
Donald & Diane Gudeahn
Wolf Den Road
Brooklyn, Connecticut

PAUL W. ARCHER US #70013 DATE
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

ENGINEER DATE
12/11/2018



Approved for wetlands permit

EROSION AND SEDIMENT CONTROL PLAN:

- REFERENCE IS MADE TO:
1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
 2. Soil Survey of Middlebury County Connecticut, USDA Soil Conservation Service 1983.

DECOMPLETION SCHEDULE: (Indicated L=Left)

1. Prior to any work on site, the limits of disturbance shall be clearly marked in the field by a Land Surveyor or other qualified person. The limits of clearing are to be marked by a Land Surveyor or other qualified person and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices on slopes as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See all fence installation notes)
3. Install construction entrances.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be completed to the extent of the site grading and rough grading. Erosion control devices will be installed on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town will be notified when sediment and erosion control measures have been installed. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All striping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes are not exposed to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetation cover shall be provided.
4. Erosion control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover," if necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made of least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the local wetlands commission.
7. Regions or spots: the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water;
 - the fence line has been moved out of position (pulled over), or
 - the vegetation has been completely removed.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Impact holes of least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Persons segment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the local wetlands commission.
5. Regions or spots: the barrier within 24 hours of observed failure. Failure of the barrier has occurred when:
 - the barrier has been overtopped, undercut or bypassed by runoff water;
 - the barrier has been moved out of position; or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION
Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TILING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install seeded erosion control measures such as diversion, grade stabilization structures, sediment basins and grassed waterways.
Grade according to plans and allow for the use of appropriate equipment for seeded proportion, seeding, mesh application, and mesh stabilization.

SEEDING PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently tilled or disturbed, no further roughening is required. Soil preparation can be accomplished by tilling with a blower, disk, harrow, roller, or dragging with a section of chain link fence. Avoid excessive tilling of the soil. The seed mixture shall be applied to the soil surface in a broadcast fashion. The seed mixture shall be perpendicular to the undisturbed direction of the flow of surface water.
If soil tilling is not practical or feasible on small or variable sites, or when tilling is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand or using a seed, drill, outdragger type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seeding mats during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 85%-100% coverage.

MAINTENANCE

Impact seeded areas of least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and till erosion.
Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install erosion controls if required to prevent recurrence of erosion.
Continue inspections until the grasses are firmly established. Grass shall not be considered established until a minimum of 80% coverage is achieved. Inspections shall be conducted to control soil erosion and to conserve severe weather conditions (approximately 80% vegetation cover).

PERMANENT VEGETATIVE COVER:

- Prior to Permanent Seeding Measures in the 2002 Guidelines for specific disturbance types, the following sequence of operations shall apply. In general, the following sequence of operations shall apply:
1. Topsoil will be spread once the excavation and grading has been completed. Topsoil will be spread of a minimum compacted depth of 4".
 2. Once the topsoil has been spread, all debris 2" or larger in any dimension will be removed as well as debris.
 3. Apply granulated ground limestone at a rate of 2 tons per acre or the equivalent to the soil. The recommended seeding dates for limestone are: April 1 to June 15 and August 15 - October 1.
 4. Impact seeded before seeding: if traffic has compacted the soil, retilled compacted areas.
 5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 and August 15 - October 1.
 6. Following seeding, if a permanent vegetative cover cannot be established, a temporary vegetative cover on the topsoil such as mulch, hay or organic matter.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment control is to abate erosion and reduce runoff velocity and force of the detachment and transport of soil particles. The objective is to prevent soil erosion and sedimentation before they reach any sensitive area.

KEEP LAND DISTRIBUTION TO A MINIMUM

The more land that is in a vegetative cover, the more surface water will infiltrate the soil, and the less runoff there will be. The objective is to keep the amount of land that is not in a vegetative cover to a minimum. This is accomplished by:

- Keeping land disturbance to a minimum not only involves the amount of land that is disturbed, but also the duration of the disturbance.
- Minimizing the amount of land that is disturbed by using the most efficient methods of site preparation.
- Minimizing the amount of land that is disturbed by using the most efficient methods of site preparation.
- Minimizing the amount of land that is disturbed by using the most efficient methods of site preparation.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by slowing the flow of water. This is accomplished by:

- Using diversion, stone dikes, all fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.
- Use diversion, stone dikes, all fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

REDUCE ON SITE POTENTIAL INHERENTLY AND INSTANT PERMITTER CONTROLS

While it may seem best to conduct all waters to one point of discharge, this is not always the best solution. It is generally more expensive to correct off-site drainage than it is to install proper on-site controls. Control erosion and sedimentation in the smallest drainage area possible. If it is not possible to control erosion and sedimentation in the smallest drainage area, then it is necessary to control erosion and sedimentation in the next smallest drainage area. This is accomplished by:

- Direct runoff from small disturbed areas to adjoining undisturbed areas.
- Vegetated areas to reduce the potential for concentrated flows and increase sediment and filtering of sediments.
- Concentrated runoff from development should be early conveyed from areas of disturbance.
- Diverting runoff from development should be early conveyed from areas of disturbance.
- Diverting runoff from development should be early conveyed from areas of disturbance.

SEPTIC SYSTEM CONSTRUCTION NOTES

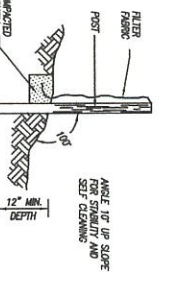
1. The building, septic system and well shall be accurately staked prior to construction.
2. Topsoil shall be removed and in the area of the primary leaching field scattered prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (fraction between No. 4 & 3 inch sieve) = 45%

GRADATION OF FILL (MINUS GRAVEL)

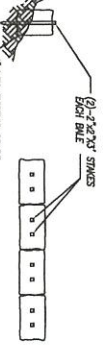
SEIVE SIZE (NO.)	PERCENT PASSING (MINUS GRAVEL)	PERCENT PASSING (TOTAL FILL)
No. 2	100%	100%
No. 4	100%	100%
No. 10	70% - 100%	100%
No. 40	10% - 50%	75%
No. 100	0% - 5%	0%
No. 200	0% - 5%	2.5%

Fill material shall be approved by the septic engineer prior to placement. Fill material shall be placed in a minimum of 1000 gallon tank with ten feet (10') beyond the last leaching trench before tapering off, if required.

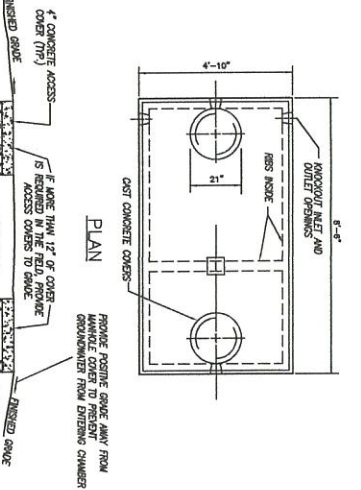
SILT FENCE



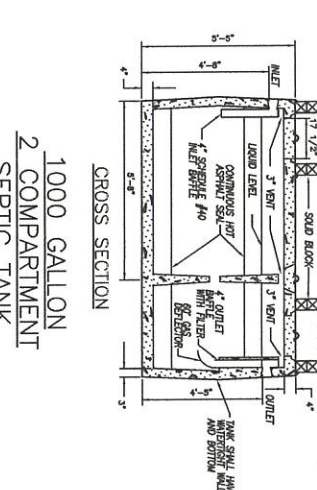
HAYBALE BARRIER



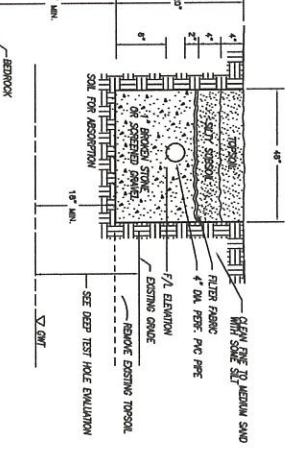
1000 GALLON 2 COMPARTMENT SEPTIC TANK



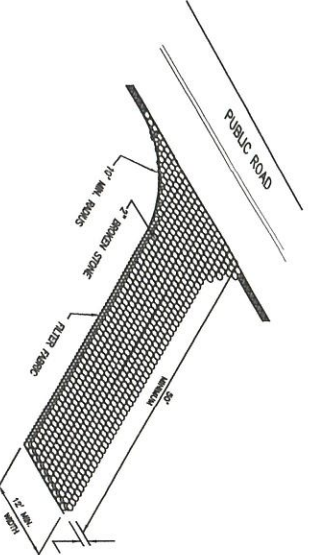
CROSS SECTION



TYPICAL LEACHING TRENCH SECTION



CONSTRUCTION ENTRANCE



ENGINEER
DATE: 12/11/2018

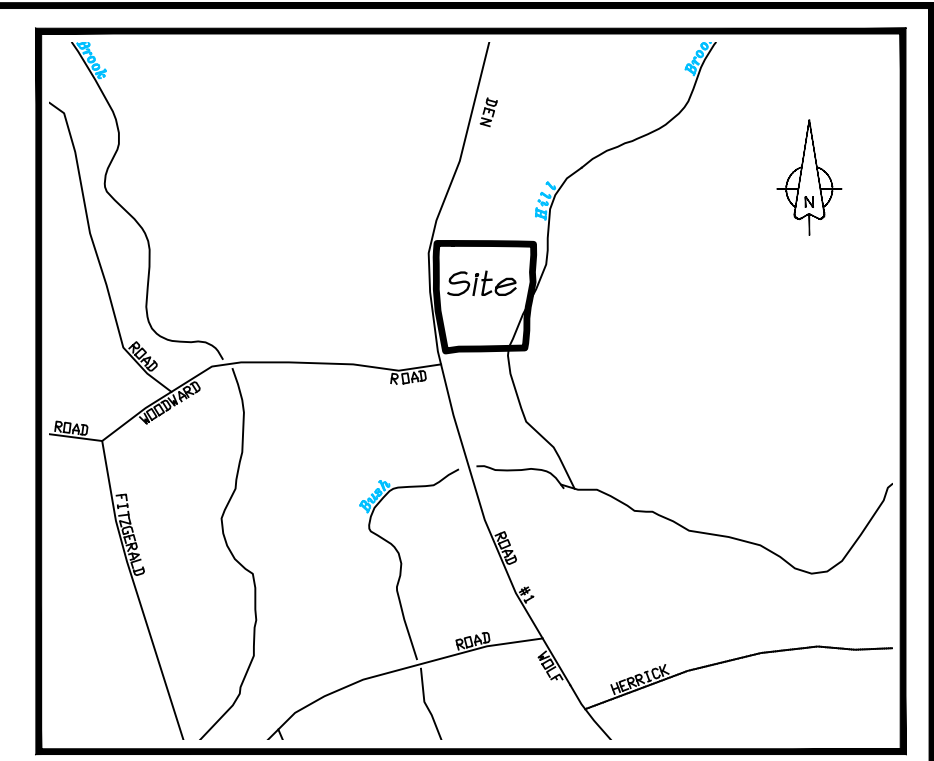
Drawn & Doyero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering
37 East Main Street, P.O. Box 191
Providence, Connecticut 06104
(860) 439-9900
info@drawn.com
www.drawn.com

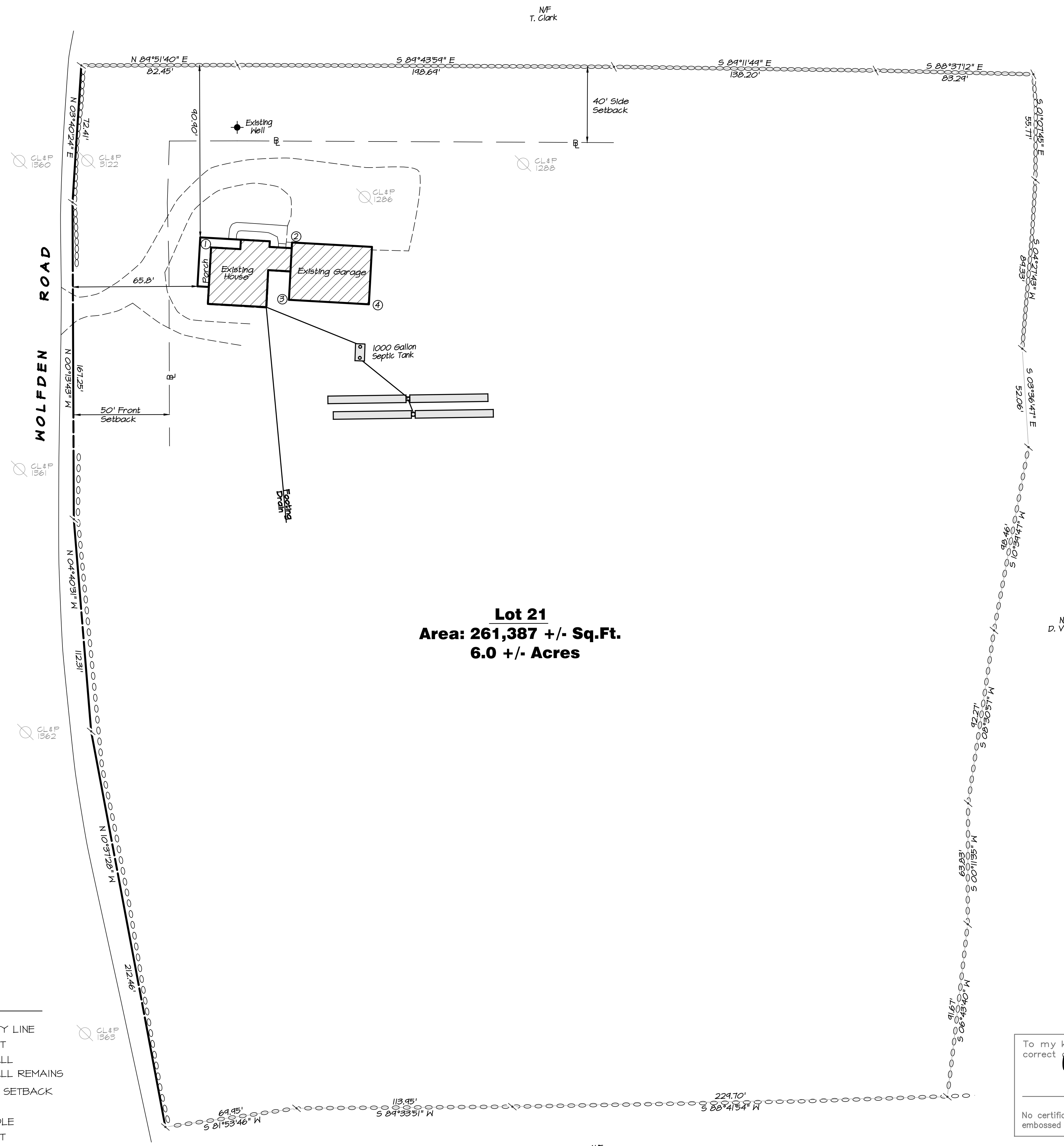


Detail Sheet
Prepared For:
Donald & Diane Gudeahh
Wolf Den Road
Brooklyn, Connecticut

Sheet No. 2 of 2
Project No. AS 1830
Date: 12/11/2018



Location Map
SCALE
1000 0 1000
1" = 1000 FT



Lot 21
Area: 261,387 +/- Sq.Ft.
6.0 +/- Acres

- SURVEY NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018; This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Survey Type: Zoning Location Survey.
 - The subject parcel is shown as a portion of lot #21, on an assessor's map #18.
 - Zone: RA.
 - Owner of record: Donald & Diane Gudeahn
420 Wolf Den Road
Brooklyn, CT 06234
 - The intent of this survey is to show the residential as-built of the subject property.

ZONING COMPLIANCE TABLE		
Zone: RA		
	REQUIRED	PROVIDED Lot 21
FRONT SETBACK	50 Feet	65.8'
SIDE SETBACK	40 Feet	N - 40.9' S - 42.0' +/-
REAR SETBACK	50 Feet	345' +/-
FRONTAGE	110 Feet	565'
AREA (Sq.Ft.)	80,000	6.0 Acres 261,387 Sq.Ft.

AS-BUILT INFORMATION (DISTANCES IN FEET)

	D-BOX #1	D-BOX #2	CENTER SEPTIC TANK	WELL
HOUSE CORNER #1				64.8'
GARAGE CORNER #2				67.3'
GARAGE CORNER #3	82.3'	89.4'	46.8'	
GARAGE CORNER #4	54.5'	62.5'	26.5'	

LEGEND

	PROPERTY LINE
	EASEMENT
	STONEWALL
	STONEWALL REMAINS
	BUILDING SETBACK
	IRON PIN
	DRILL HOLE
	MONUMENT
	PROPERTY POINT
	UTILITY POLE

To my knowledge and belief, this map is substantially correct as noted hereon.

[Signature]
Paul M. Archer, Conn. L.S. #70013
03/28/2023

No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

REVISIONS	
DATE	DESCRIPTION

Zoning Location Survey
Prepared For:
Donald & Diane Gudeahn
420 Wolf Den Road
Brooklyn, Connecticut

DRAWING SCALE: 1"=30'

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

LOUIS J. SOJA, JR.
L.S. #70013



Town of Brooklyn

Planning and Zoning Commission

P.O. Box 356, Brooklyn, CT 06234
Tel. 860-779-3411 Ext. 12



ZONING PERMIT

Permit No. **Z-19-17**

Fee Paid: **\$200.00**

This certifies that **GUDEAHN DONALD K JR & DIANE E**

Date Issued: **3/27/2019**

has a Zoning Permit at: **420 WOLF DEN RD BROOKLYN** For: **New Residential Building**

A Certificate of Zoning Compliance must be obtained from the Zoning Enforcement Officer certifying that the work has been completed in conformance with the Zoning Permit and the requirements of the Zoning Regulations are met. This requires a final inspection by Zoning Enforcement Officer.

Comments: **Single Family Dwelling - 1st flr 990 Sq. Ft; 2nd Flr 840 Sq. Ft
Garage Foundation 30 ft x 40 ft only TO BE USED FOR RESIDENTIALLY-RELATED USES SUCH AS STORAGE, HOBBIES, TOOLS FOR GROUNDS MAINTENANCE AND AGRICULTURE, ETC.**

APPROVED WITH THE FOLLOWING CONDITIONS -- READ CAREFULLY AND CONTACT US WITH ANY QUESTIONS:

Per approval of the Inland Wetlands Commission on 12/11/18::

1. Wetlands flagging shall remain in place until all construction is finalized.
2. Silt fence shall be placed as shown on plan and inspected by staff BEFORE ANY OTHER WORK IS DONE ON SITE.
3. The Wetlands Commission's standard conditions shall apply - see your wetlands approval letter.

Prior to issuance of a Certificate of Zoning Compliance and Occupancy:

1. Provide an asbuilt survey at A2 level showing all buildings, including any decks and porches, stating distance to at least 2 property lines.
2. Staff will determine that lot has been stabilized with no erosion to the wetlands.

Owner Name: **GUDEAHN DONALD K JR & DIANE E** Phone: **(856) 220-5420**

Address: **419 WOLF DEN RD** **BROOKLYN** **CT** **06234-1903**

APPROVED _____

APPROVED WITH CONDITIONS (ATTACHED) _____

ABOVE

DENIED _____

3/27/2019

Zoning Enforcement Officer

Builder Info:
Freddie

Etheridge

860-457-8457
? LIC# COMPINS?





Don Gudkawa
owner

856-220-5420

420 Wolf Den Rd.

2/22/2022 aerial

Legend

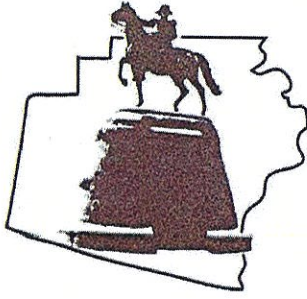
-  420 Wolf Den Rd
-  Feature 1
-  R-10
-  Wolf Pack Painting

Estimated edge bed
soils disturbed
4-3-23

Google Earth

200 ft





TOWN OF BROOKLYN
Land Use Department
69 South Main Street • Suite 22
BROOKLYN, CONNECTICUT 06234
860-779-3411 Ext. 12

**CEASE AND DESIST ORDER
NOTICE OF VIOLATION
AND ORDER TO APPEAR AT SHOW CAUSE HEARING**

CERTIFIED#

7022 0410 0002 7291 4603

Donald and Diane Gudeahn
420 Wolf Den Road
Brooklyn, CT 06234

April 5, 2023

Mr. and Mrs. Gudeahn:

Cease and Desist Order

You are hereby required to CEASE AND DESIST from all site work affecting the wetlands on the property at 420 Wolf Den Road ((Map 18 Lot 21)). On 4/3/23, I inspected the subject property and took the attached photographs. Refer to the attached inspection form and photographs. The photographs show that vegetation had been cut, soil had been excavated and disturbed, and material (fill) had been deposited and spread, far beyond the limits of had been disturbance shown on the plan approved under your wetlands permit.

Violation of the Inland Wetlands and Watercourses Regulations

Disturbing and excavating soils and depositing material beyond the limits of a plan approved under a wetlands permit is in violation of Section 4.3 of the Brooklyn Inland Wetlands and Watercourses Regulations:

“4.3 All activities in wetlands or watercourses involving filling, excavating, dredging, clear cutting, clearing, or grading or any other alteration or use of a wetland or watercourse not specifically permitted by this section and otherwise defined as a regulated activity by these regulations shall require a permit from the Commission in accordance with section 6 of these regulations, or for certain regulated activities located outside of wetlands and watercourses from the duly authorized agent in accordance with section 12 of these regulations.”

Refer to the attached copy of the CT Wetlands Statutes, Section 22a – 44(b) which enables municipalities to assess civil penalties for violations.

Refer to the attached copy of Section 6 of the Town of Brooklyn IWWC Regulations, which states that any person violating provisions of these regulations shall be subject to enforcement proceedings and penalties.

The Inland Wetlands and Watercourses Commission may require you to obtain a permit for the work done beyond the approved limits of disturbance, and/or to submit a wetlands restoration plan prepared by a Soil Scientist.

Order to Appear at Show Cause Hearing

You are hereby required to attend the Brooklyn Inland Wetlands and Watercourses Commission meeting at 6:00 p.m. on Tuesday, April 11 at the Clifford B. Green Meeting Center at 69 South Main Street, Brooklyn, CT. At that meeting, a Show Cause Hearing will take place to provide you the opportunity to be heard and show cause why the Cease and Desist Order should not remain in effect.

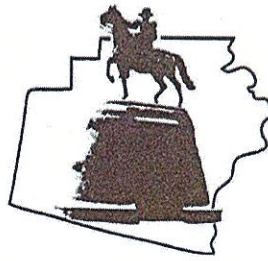
FAILURE TO COMPLY MAY SUBJECT YOU TO CITATIONS AND FINES OF \$1,000.00 PER DAY. REFER TO THE ATTACHED SECTION 20-2 OF THE BROOKLYN TOWN ORDINANCE REGARDING CITATION PROCEDURES AND FINES FOR ZONING VIOLATIONS. THE CITATION FOR EACH WETLANDS VIOLATION IS \$1,000.00 PER DAY. IN THE CASE OF A CONTINUING VIOLATION, EACH DAY'S CONTINUATION OF THE VIOLATION SHALL BE DEEMED A SEPARATE AND DISTINCT VIOLATION.

Issued By:

Margaret Washburn

Margaret Washburn
ZEO/WEO/Blight Enforcement Officer
69 South Main Street, Suite 23
Brooklyn, CT 06234
(860) 779-3411 ext. 31
Mon. – Thurs. 8:00 am – 3:30 pm
m.washburn@brooklynct.org

CC: Austin Tanner, First Selectman; Jana Roberson, Town Planner; Inland Wetlands Commission



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands Zoning Enforcement _____ Blight Enforcement _____

SITE INSPECTION NUMBER

1 2 3 4 5

420 Wolf Den Rd
Address

4-3-23
Date

I inspected with Janet Booth, took photos with Don Gudeahn.

The area beyond the silt fence shown on the plan has been disturbed. Excavated material was spread, the foundation drain extends very close to the wetlands.

Mr G says he had 5 pigs in 2022 and will have more in 2023 in the eastern portion disturbed beyond the limits of disturbance.

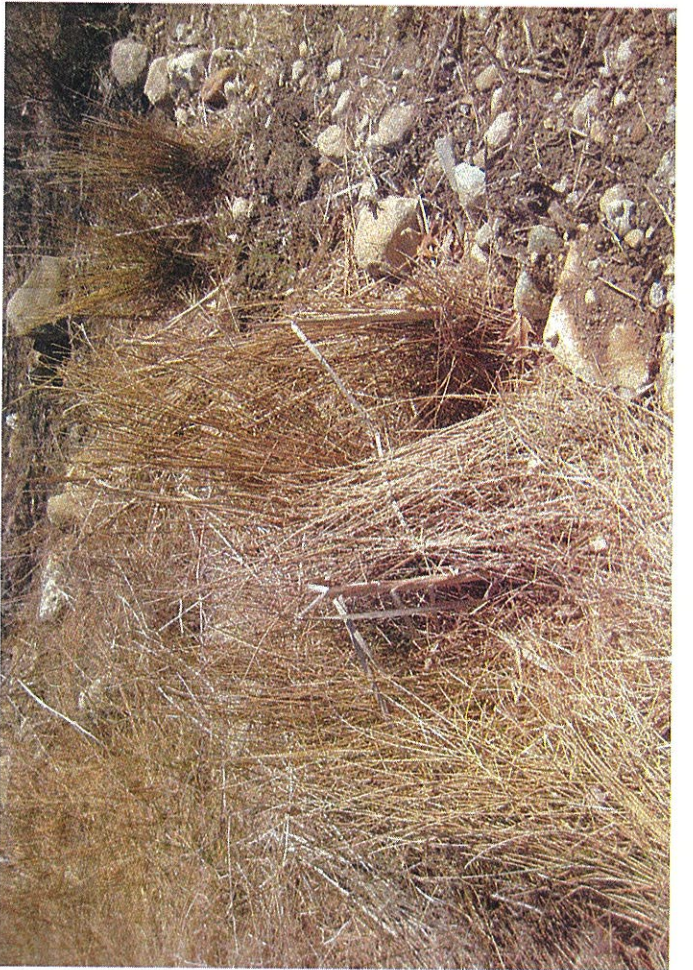
Don agrees to seed and mulch from the backdoor of the garage to Wolf Den Rd by May 3. This is to stabilize the soil so no sediment reaches wetlands during storms. I will call to schedule a re-inspection.

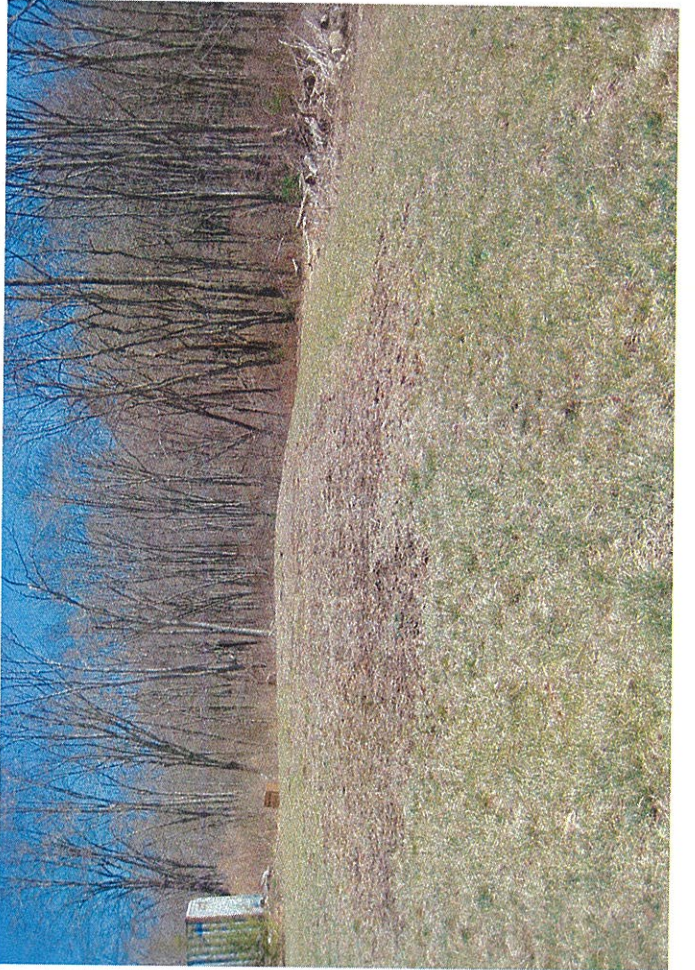
Commission Representative M. Washburn

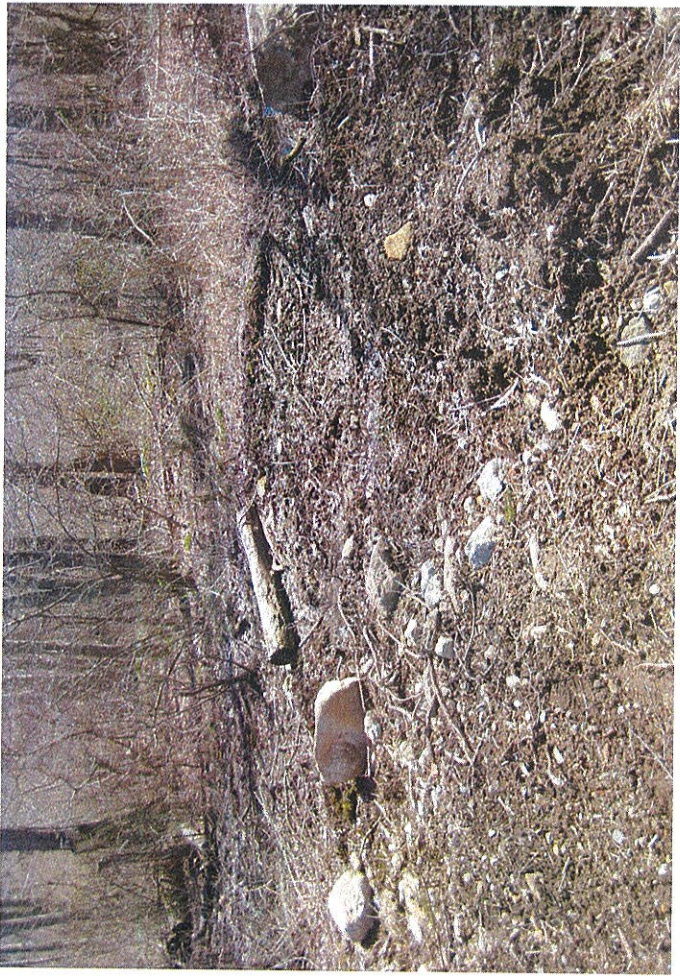
Owner or Authorized Signature Don Gudeahn

Don will call or email when the area within 20 ft of the curtain drain outlet has been seeded and mulched.











its inland wetlands regulations, or (2) for which an approval is required under sections 22a-36 to 22a-45, inclusive, and for which such approval has not been obtained.

*

(b) Any person who commits, takes part in, or assists in any violation of any provision of sections 22a-36 to 22a-45, inclusive, including regulations adopted by the commissioner and ordinances and regulations promulgated by municipalities or districts pursuant to the grant of authority herein contained, shall be assessed a civil penalty of not more than one thousand dollars for each offense. Each violation of said sections shall be a separate and distinct offense, and, in the case of a continuing violation, each day's continuance thereof shall be deemed to be a separate and distinct offense. The Superior Court, in an action brought by the commissioner, municipality, district or any person, shall have jurisdiction to restrain a continuing violation of said sections, to issue orders directing that the violation be corrected or removed and to assess civil penalties pursuant to this section. All costs, fees and expenses in connection with such action shall be assessed as damages against the violator together with reasonable attorney's fees which may be allowed, all of which shall be awarded to the commissioner, municipality, district or person which brought such action. All penalties collected pursuant to this section shall be used solely by the Commissioner of Energy and Environmental Protection (1) to restore the affected wetlands or watercourses to their condition prior to the violation, wherever possible, (2) to restore other degraded wetlands or watercourses, (3) to inventory or index wetlands and watercourses of the state, or (4) to implement a comprehensive training program for inland wetlands agency members.

(c) Any person who wilfully or knowingly violates any provision of sections 22a-36 to 22a-45, inclusive, shall be fined not more than one thousand dollars for each day during which such violation continues or be imprisoned not more than six months or both. For a subsequent violation, such person shall be fined not more than two thousand dollars for each day during which such violation continues or be imprisoned not more than one year or both. For the purposes of this subsection, "person" shall be construed to include any responsible corporate officer.

(1972, P.A. 155, S. 9; P.A. 75-387, S. 2; P.A. 76-330; P.A. 77-599, S. 4, 7; P.A. 81-125, S. 1; P.A. 87-338, S. 9, 11; P.A. 95-151, S. 2; 95-218, S. 13, 24; P.A. 96-269, S. 2; P.A. 11-80, S. 1.)

History: P.A. 75-387 made previous provisions Subsec. (b) and inserted new Subsec. (a) re orders issued upon discovery of violation of Secs. 22a-36 to 22a-45 or regulations of inland wetlands agency; P.A. 76-330 allowed assessment of attorneys fees against violator and required that all costs, etc. be awarded to the initiator of the action; P.A. 77-599 amended Subsec. (a) to allow issuance of orders to cease an activity as well as orders to correct facilities or conditions; P.A. 81-125 amended Subsec. (a) to authorize

Section **6**
**Regulated Activities
to be Licensed**

No person shall conduct or maintain a regulated activity without first obtaining a permit for such activity from the Brooklyn Inland Wetlands and Watercourses Commission of the Town of Brooklyn.

Any person found to be conducting or maintaining a regulated activity without the prior authorization of the Commission, or violating any other provision of these regulations, shall be subject to the enforcement proceedings and penalties prescribed in section 14 of these regulations and any other remedies as provided by law.

ZONING PERMITS

New Residential Dwelling	\$200.00
Residential Accessory Uses/Additions	\$50.00
Addition/Modification of a Nonresidential Building	\$75.00
New Commercial Building	\$250.00
Change of Use in Existing Commercial Building	\$75.00
Sign Permit	\$20.00

SUBDIVISION APPROVAL

Basic Application	\$250.00
Subdivision Plan Review	\$250.00 per lot
Engineering Review for New Road(s) and Drainage	*
Inspection and Supervision of Road Construction and Utilities	*
Text Amendment to Subdivision Regulations	\$250.00

ZONING BOARD OF APPEALS

All Applications	\$250.00
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INLAND WETLANDS APPLICATION FEES

Residential (Single Lot)	\$150.00
Subdivision Application	\$150.00 plus \$150.00 per lot in the regulated area
Commercial/Industrial	\$200.00
Additional fee based on total impervious surface included in commercial/industrial application	
< 20,000 sq. ft.	\$400.00
20,001-50,000 sq. ft.	\$800.00
> 50,000 sq. ft.	\$1,200.00
Additional Fee for Significant Activity Requiring Public Hearing	\$250.00

*Included in Plan Review Fee but may be subject to the payment of additional fees as set forth in this chapter.

All fees payable pursuant to this chapter are nonrefundable.

In addition to any other remedies permitted by law, any land use application submitted after work has started on a project shall be subject to a surcharge of \$500.00.

In addition to the fees set forth above payable to the Town of Brooklyn, each application is subject to an additional charge payable to the State of Connecticut, which, as of the effective date of this chapter is \$60.00. (Ord. 5/3/10; Ord. 11/2/11)

20-2 CITATION PROCEDURES AND FINES FOR ZONING AND WETLANDS VIOLATIONS.**20-2.1 Issuance of Citations; Schedule of Fines.**

The Brooklyn Land Use Officer is authorized to issue citations for violations of the Zoning Regulations and the Wetlands Regulations of the Town of Brooklyn to the extent and manner provided by this section and the Connecticut General Statutes 7-152c. Any such citation may be served either by hand or by certified mail, return receipt requested, to the person named in such citation. If the person(s) named in the citation sent by

3/4/2020

Brooklyn, CT - ClerkBase

certified mail refuses to accept such mail, the citation may be sent by regular United States mail. The Land Use Officer shall file and retain an original or certified copy of the citation, as served.

a. Citations may be issued for those types of zoning and wetlands violations specified in paragraph b. below.

b. The fine for each citation shall be in accordance with this schedule:

ZONING REGULATIONS

Nature of Violation	Amount of Fine
Construction of any building without Zoning approval	\$150.00
Alteration of any building without Zoning approval	\$100.00
Conducting an unauthorized use	\$150.00
Illegal Sign	\$100.00
Building beyond foundation without prior Foundation as-built or erosion control approval	\$150.00
Failure to comply with an approved Site Plan, Special Permit, Subdivision or Re-subdivision including any conditions of approval	\$150.00
Any other violation of the Zoning Regulations	\$100.00

INLAND WETLAND REGULATIONS

For each violation	\$1,000.00
--------------------	------------

*In the case of a continuing violation, each day's continuation of the violation shall be deemed a separate and distinct violation.
(Ord. 8/1/13)

20-2.2 Citation Hearing Officers.

The Chief Executive Officer shall appoint one or more Citation Hearing Officers, other than Police Officers or employees or persons who issue citations, to conduct the hearings authorized by this section. (Ord. No. 06-3 § 3)

20-2.3 Notice.

At any time within twelve (12) months from the expiration of the final period for the uncontested payment of fines, penalties, costs or fees for any citation issued under any ordinance adopted pursuant to section 7-148 or section 22a-226d, for an alleged violation thereof, shall send notice to the person cited:

- a. Of the allegations against him and the amount of the fines, penalties, costs or fees due;
 - b. That he may contest his liability before a Citation Hearing Officer by delivering in person or by mail written notice within ten (10) days of the date thereof;
 - c. That if he does not demand such hearing, an assessment and judgment shall be entered against him; and
 - d. That such judgment may issue without further notice.
- (Ord. No. 06-3 § 4)

20-2.4 Liability; Payment of Fines; Costs.

If the person who is sent notice pursuant to subsection 20-2.3 wishes to admit liability for any alleged violation he may, without...

3/4/2020

admitted to in person or by mail to the Land Use Officer. Such payment shall be inadmissible in any proceeding, civil or criminal, to establish the conduct of such person or other person making the payment. Any person who does not deliver or mail written demand for a hearing within ten (10) days of the date of the first notice provided for in subsection 20-2.3 shall be deemed to have admitted liability, and the Land Use Officer shall certify such person's failure to respond to the Hearing Officer. The Hearing Officer shall thereupon enter and assess the fines, penalties, costs or fees provided for by the applicable ordinances and shall follow the procedures set forth in subsection 20-2.5. (Ord. No. 06-3 § 5)

20-2.5 Hearing.

Any person who requests a hearing shall be given written notice of the date, time and place for the hearing. Such hearing shall be held not less than fifteen (15) days not more than thirty (30) days from the date of the mailing of the notice, provided the Hearing Officer shall grant upon good cause shown any reasonable request by any interested party for postponement or continuance. An original certified copy of the initial notice of violation issued by the Land Use Officer or Police Officer shall be filed and retained by the Town of Brooklyn, and shall be deemed to be a business record within the scope of CGS 52-180 and evidence of the facts contained therein. The presence of the Land Use Officer or Police Officer shall be required at the hearing if such person so requests. A person wishing to contest his liability shall appear at the hearing and may present evidence in his behalf. The Land Use Officer may present evidence on behalf of the Town of Brooklyn. If such person fails to appear, the Hearing Officer may enter an assessment by default against him upon a finding of proper notice and liability under the applicable statutes or ordinances. The Hearing Officer may accept from such person copies of Police reports, investigatory and citation reports, and other official documents by mail and may determine thereby that the appearance of such person is unnecessary. The Hearing Officer shall conduct the hearing in the order and form and with such methods of proof, as he deems fair and appropriate. The rules regarding the admissibility of evidence shall not be strictly applied, but all testimony shall be given under oath or affirmation. The Hearing Officer shall announce his decision at the end of the hearing. If he determines that the person is not liable, he shall dismiss the matter and enter his determination in writing accordingly. If he determines that the person is liable for the violation, he shall forthwith enter and assess the fines, penalties, costs or fees against such person as provided by the applicable ordinances of the Town of Brooklyn. (Ord. No. 06-3 § 6)

20-2.6 Notice of Assessment Which is Unpaid.

If such assessment is not paid on the date of its entry, the hearing officer shall send by first class mail a notice of assessment to the person found liable and shall file, not less than thirty (30) days nor more than twelve (12) months after such mailing, a certified copy of the notice of assessment with the Clerk of a Superior Court facility designated by the Chief Court Administrator together with an entry fee of eight (\$8.00) dollars. The certified copy of notice of assessment shall constitute a record of assessment. Within such twelve-month period, assessments against the same person may be accrued and filed as one record of assessment. The Clerk shall enter judgment, in the amount of such record of assessment and court costs of eight (\$8.00) dollars, against such person in favor of the Town of Brooklyn. Notwithstanding any provision of the General Statutes, the Hearing Officer's assessment, when so entered as a judgment, shall have the effect of a civil money judgment and a levy of execution on such judgment may issue without further notice to such person. (Ord. No. 06-3 § 7)

20-2.7 Appeal.

A person against whom an assessment has been made pursuant to this section is entitled to judicial review by way of appeal. An appeal shall be instituted within thirty (30) days of the mailing of the notice of such assessment by filing a petition to reopen assessment, together with an entry fee in an amount equal to the entry fee for small claims case pursuant to Connecticut General Statutes (Revision of 1958) 52-259, at a Superior Court facility designated by the Chief Court Administrator, which shall entitle such person to a hearing in accordance with the rules of the Judges of the Supreme Court. (Ord. No. 06-3 § 8)

3/1/2020
2023
PUBLIC IMPROVEMENT SPECIFICATIONS.

a. It is hereby found that rapid growth and development within the Town of Brooklyn are placing unprecedented strain upon Town roads and appurtenant drainage systems, culverts, and catch-basins.

b. To alleviate that siltation, and as empowered by Section 7-148 (c) of the General Statutes, the Board of Selectmen are hereby authorized to develop such regulations as they may deem appropriate to carry out the following purposes:

1. To provide the proper alignment, width, and grades and pavements of existing Town roads serving as a right of way to any proposed subdivision, to ensure that such existing Town roads remain safe and continue to conform to the plan of development of the Town;

2. To provide adequate and sufficient storm drainage systems for carrying off increased storm drainage created by any proposed subdivision and associated access road improvements, whether such additional drainage would impact upon existing Town improvements or private lands;

3. To provide that adequate and sufficient culverts, manholes, and catch-basins be installed to carry run-off water from the road surface and to divert road water from the proposed subdivision beneath or around existing roads without causing significant increases in erosion or sedimentation.

c. Compliance with the regulations adopted by the Board of Selectmen shall be a condition precedent to any application for subdivision of property within the Town of Brooklyn. Failure to comply shall be adequate cause for denial of any such application.

If any portion of this section is deemed by a court of competent jurisdiction to be impermissible, its remaining sections shall continue to be valid and enforceable.
(Ord. 6/28/89 § 1)

CHAPTER XX FEES FOR LAND USE APPLICATIONS

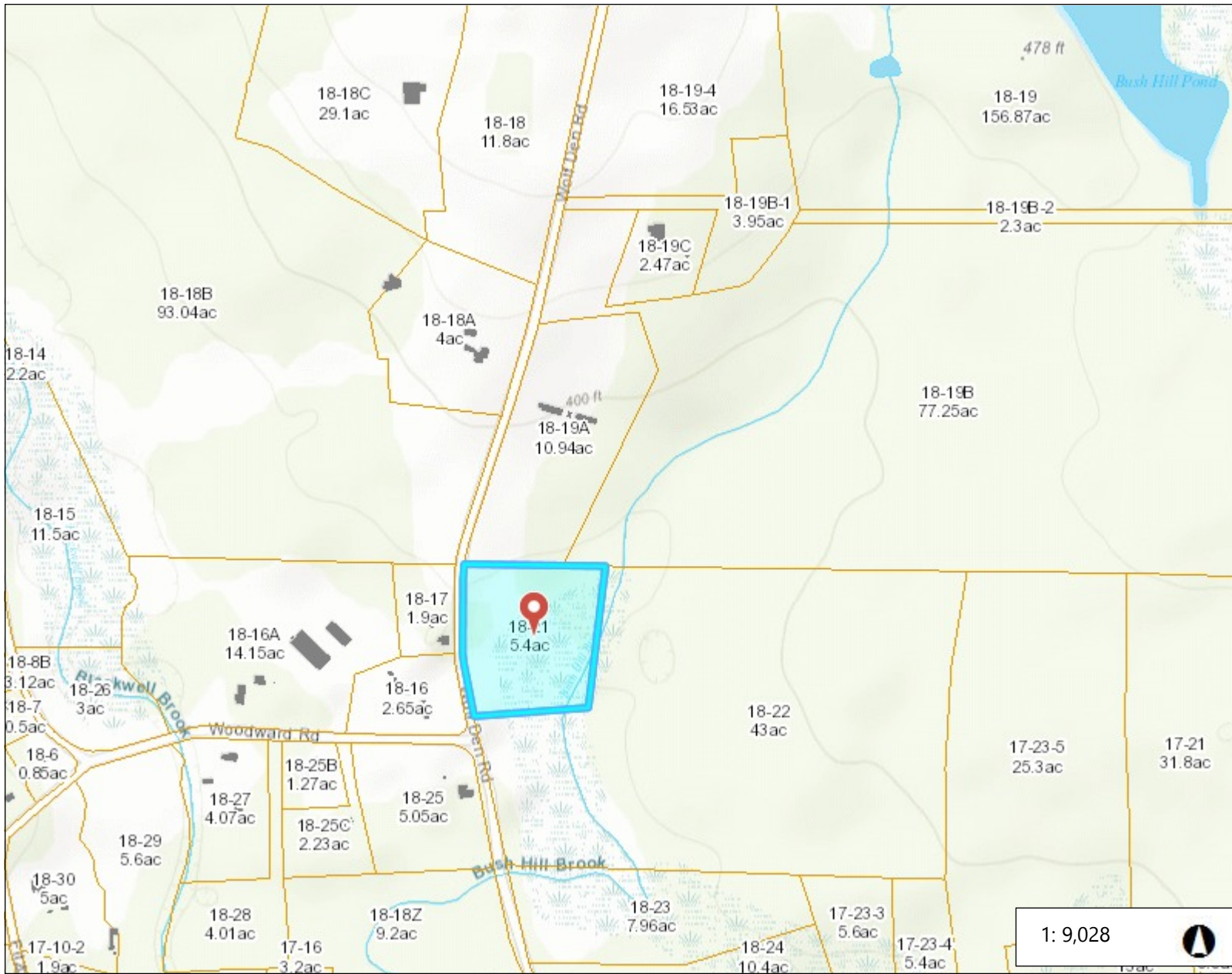
Published by ClerkBase

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necog

Neccog GIS Site



Legend

- Town
- Buildings 2012
- Parcels
- Rivers and Streams
- Lakes and Ponds

1: 9,028



0.3 0 0.14 0.3 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

420 Wolf Den Road
The wetlands border on Bush Hill Brook

Old Business:

- 1. 091118A John and Janice Marr, 53 Wauregan Road, Map 24, Lot 134A, applicant. Place 4-inch PVC pipe and 20 cubic yards of clean fill in wetlands at 53 Wauregan Road, and place 4-inch pipe on property of Krista Kingsbury, 49 Wauregan Road/Map 24 Lot 134 (written extension received/granted 11/13/18).**

Ms. Fraenkel commented that Ms. Malek is here tonight to describe the proposal for remedying the (standing water) problem. The boundary between Marr and Kingsbury has been pinned by KWP. The Marrs have been working with a contractor, Ron Racine, to come up with a solution.

Ms. Malek reviews a diagram by Ron Racine with two solutions, one being on the Kingsbury property the other on the Marr property. A trench with a pipe totally on the Marr's property will solve the problem. Mr. Paquin asks if this is just an open swale. Ms. Malek stated they were will be a pipe installed.

Ms. Fraenkel stated the swale is approximately 130 feet long with a 1-foot pitch.

Mr. Sorrentino asked if the trench will run along the property line. Ms. Fraenkel stated very close to the property line without taking out any trees. Mr. Sorrentino asked if the material excavated out to create the pitch going to be placed adjacent to the swale to raise the grade. Ms. Fraenkel stated she would recommend this.

A motion was made by Jim Paquin to approve the application of John and Janice Marr at 53 Wauregan Road/Route 205, to create a swale running along the north property line in wetlands on Marr property only in order to drain ponded water away from home according to the presented plan with the following conditions:

1. Standard IWWC Conditions.
2. Permittee's contractor shall meet on site with the wetlands official before work commences.

Demian Sorrentino seconds this motion. No discussion held. All in favor. The motion passes unanimously.

- 3. 111318D Don Gudeahn, Wolf Den Road, Map 18, Lot 21, RA Zone; Residential Home, Septic System, Well and Minor Grading all within the upland review area.**

Paul Archer, Archer Surveying represents the applicant. The wetlands delineation was done within the last 10 years by Michael Schaefer. Ms. Fraenkel visited the site and requested that it be reflagged. Soils scientist Joseph Theroux has reflagged the wetlands recently, with minor changes; now the septic system will be further from wetlands. The parcel is a 5-acre lot. The proposal is a single-family house with a septic system. The developable area is very limited due to wetlands and power lines. Department of Health has granted approval for the septic system.

Mr. Archer stated there is an old power line that has no specified area in the easement.

A motion was made by Demian Sorrentino to approve the application of Don Gudeahn, Wolf Den Road, Map 18, Lot 21, for a new single-family dwelling, septic system, footing drain and associated grading in the upland review area based on a Site Development Plan Prepared for Donald and Diane Gudeahn, Wolf Den Road, By Archer Surveying dated 12/11/18 with the following conditions:

1. Standard IWWC Conditions apply.
2. Wetlands flagging shall remain in place until all construction is finalized.
3. Silt fence shall be placed as shown on plan before any other work is done on site.

George Sipila seconds this motion. No discussion held. All in favor. The motion passes unanimously.

New Business:

1. DR18-007 Dennis Beausoleil, 90 Creamery Brook Road, Map 32, Lot 120, R30 Zone; 2 lot re-subdivision with no wetlands and no activity in review area.

Paul Archer, Archer Surveying represents the applicant. Back in 2002 this subdivision was before the Commission and approved but mylar was never filed due to an accident. One of the lots has an existing house, the other lot is vacant. Without a map on file there are not two legal lots. The vacant lot was transferred from Aime Beausoleil to Dennis Beausoleil in 2002 and taxes have been paid for 16 years. Joseph Theroux soils scientist went out to verify there are no wetlands on this premise. The applicant is looking for a declaratory ruling.

A motion was made by Demian Sorrentino to approve a ruling that no further review or permit are required because there is no wetlands jurisdiction on proposed lots, based on plans prepared by Archer Surveying dated 11/29/18. Jim Paquin seconds this motion. No discussion held. All in favor. The motion passes unanimously.

2. 121118A John P. Malarkey, Easterly End of River Farm Drive, Map 42, Lot 58, RA Zone; Construction of single-family dwelling, septic system, well, driveway and site grading within 125 feet of a wetland.

Paul Terwilliger, PC Survey represents the applicant. This is an approximately 80-acre parcel of land at the end of River Farm Drive. It reaches out to the Quinebaug River. The majority of the property is wetlands. The flood plain is approximately 10 acres of the 80 acres in some form of wetlands. The applicant would like to build a single-family house and reside on the property. Mr. Terwilliger demonstrates the area that falls within the 100-year flood plain (FEMA Mapping). Mr. Terwilliger did some investigation and found some grades on the ground with an area (outlined in yellow) that is outside the flood zone, this is where the applicant shall be able to build to maintain the elevation. Mr. Terwilliger reviews the regulated area of the wetland along the river along with a finger of wetlands on the parcel. He also demonstrates where the house,

Town of Brooklyn

Inland Wetlands Budget FY23

Fiscal Year: 2022-2023

Print accounts with zero balance
 Exclude inactive accounts with zero balance

From Date: 3/1/2023

To Date: 3/31/2023

Account Number

Description

FY2223 Adopted with		FY2223 Adopted with		FY2223 Adopted with	
FTE	Amount	FTE	Amount	FTE	Amount

1005.41.4163.51900	Inland Wetlands-Wages-Recording Secretary	0.00	\$1,200.00	0.00	\$1,200.00	0.00	\$1,200.00
1005.41.4163.53020	Inland Wetlands-Legal Fees	0.00	\$3,500.00	0.00	\$3,500.00	0.00	\$3,500.00
1005.41.4163.53200	Inland Wetlands-Professional Affiliations	0.00	\$65.00	0.00	\$65.00	0.00	\$65.00
1005.41.4163.53400	Inland Wetlands-Professional Services	0.00	\$500.00	0.00	\$500.00	0.00	\$500.00
1005.41.4163.55400	Inland Wetlands-Advertising & Legal Notices	0.00	\$500.00	0.00	\$500.00	0.00	\$500.00
1005.41.4163.55500	Inland Wetlands-Printing & Publications	0.00	\$120.00	0.00	\$120.00	0.00	\$120.00
1005.41.4163.56900	Inland Wetlands-Other Supplies	0.00	\$0.00	0.00	\$0.00	0.00	\$0.00
Grand Total:		0.00	\$5,885.00	0.00	\$5,885.00	0.00	\$5,885.00

End of Report