

Brooklyn Inland Wetlands Commission
Regular Meeting Agenda
Tuesday, April 9, 2024
Google Meet and In-Person Meeting
Clifford B. Green Memorial Center
69 South Main Street
6:00 p.m.

In-Person: Clifford B. Green Memorial Center, 69 South Main Street, Brooklyn, CT	
Online: Click link below: Video call link: https://meet.google.com/mik-vrcf-btd	Dial: (US) +1 484-816-5118 PIN: 898 073 074# OR More Phone numbers: https://tel.meet/mik-vrcf-btd?pin=6348193185163

Call to Order:

Roll Call:

Staff Present:

Seating of Alternates:

Public Commentary:

Additions to Agenda: None.

Approval of Minutes: Regular Meeting Minutes March 12, 2024;
630 Hartford Road Site Walk Minutes March 22, 2024.

Public Hearings (continued):

1. **IWWC 23-015 LAC Properties, owner/applicant; Map 41 Lot 1; Providence Road, PC Zone;** Filling of 6,700 sf of wetlands to create an area for commercial development consisting of a driveway, parking area and storage bins. Entire development within the upland review area.

Old Business:

1. **IWWC 23-015 LAC Properties, owner/applicant; Map 41 Lot 1; Providence Road, PC Zone;** Filling of 6,700 sf of wetlands to create an area for commercial development consisting of a driveway, parking area and storage bins. Entire development within the upland review area.

2. **IWWC 23-013 Robert & Teresa Ross, owners/applicants; Map 10 Lot 7; Hartford Road, RA Zone;** Proposal to construct single-family home, garage, pole barn, koi pond, and to repair and stabilize a box culvert over Stony Brook. **SHOW CAUSE HEARING for wetlands violation.**

New Business:

1. **DR 24-003 Day Street Map 43, Lot 6 – Jeffrey Weaver, RA/R-30 Zone;** One-lot subdivision with no wetlands or upland review area on this lot. Residential development, driveway, septic system, well and minor grading.
2. **IWWC 24-003 Gorman Road Map 32, Lot 15-1-14 – Hilltop Contractors, R-30 Zone;** Construction of new single-family dwelling, driveway, septic system, well and minor grading.

Other Business:

1. **Windham Road Map 8, Lot 6-2 – PC Survey Associates.** Informal discussion about driveway and wetlands issues on an approved subdivision lot.
2. **17 Greenway Drive –Map 42, Lot 75; Town of Brooklyn.** Update regarding stabilization where riparian vegetation was removed north of the existing boat launch along the bank of the Quinebaug River.
3. **430 Allen Hill Road – Naomi Regis; Moe LaPierre, P.O.A. Map 32, Lot 128.** Update regarding permitting for clearing approximately 30 acres of land including wetlands.

Communications:

1. Staff Report
 - A. Authorized Agent Approval – 113 Hartford Road
 - B. Authorized Agent Approval – 61 Beecher Road
2. Monthly Wetlands Report
3. Budget Update

Public Commentary:

Adjourn:

Richard Oliverson, Chairman

**Brooklyn Inland Wetlands and Watercourses Commission
(IWWC)**

Regular Meeting Minutes

Tuesday, March 12, 2024

Zoom and In-Person Meeting

Clifford B. Green Memorial Center

69 South Main Street

6:00 p.m.

Call to Order: 6:02 p.m.

Roll Call: Richard Oliverson, Adam Brindamour, Jason Burgess, Jessica Long, Demian Sorrentino, Janet Booth Sharon Loughlin (online).

Absent with Notice: Adam Tucker

Staff Present: WEO, Margaret Washburn; Recording Secretary, Terry Mahanna.

Attendance: Attending in person: David Smith, Professional Engineer, Archer Surveying; George Logan, REMA Ecological Services; Normand Thibeault, Professional Engineer, Killingly Engineering Associates; Brooklyn Residents, Robert and Teresa Ross; Applicant, Moe Lapierre; 3 additional attendees.

Attending Online: Commission member Sharon Loughlin; Richard Hawes; Sharon-Auntie; Applicant, Chris Casadei; Rene Comtois; Dale Lyon (arrived at approximately 7:00 pm); Matt Alexander (arrived at approximately 7:22 pm).

Seating of Alternates: A **motion** was made by Adam Brindamour and seconded by Janet Booth to seat Jessica Long for Adam Tucker. Motion passed unanimously by vote 6-0-0.

Public Commentary: None.

Additions to Agenda: SUBD 24-001 Louis Polseno, owner/applicant; Map 40, Lot 12; South Street, RA Zone; Proposal for a two-lot subdivision with activity in the 125' Upland Review Area; total regulated area altered +-3,500 SF, had inadvertently been left off the Agenda. Application was added to the Agenda (New Business #4) and received by the Commission.

Approval of Minutes: Regular Meeting Minutes February 13, 2024.

Demian Sorrentino noted the following: on Page 4, under Old Business, it reads: "A **motion** was made by Demian Sorrentino to continue the Public Hearing to the next IWWC meeting", whereas it should have been written as "A **motion** was made by Demian Sorrentino to *table* the Public Hearing to the next IWWC meeting". The minutes were approved with this one correction noted.

Public Hearings (continued):

- 1. IWWC 23-015 LAC Properties, owner/applicant; Map 41 Lot 1; Providence Road, PC Zone;** Proposal to fill wetlands to level site for development of a commercial building, driveways, and septic system. Proposed fill equals 8,900 sf; total regulated area altered equals 64,000 sf / 1.5 acres. The Public Hearing (re)opened at 6:07 p.m. David Smith, George Logan and Dale Lyon represented this project.

Mr. Smith gave a brief overview of the project again, mentioning that the most recent submission evolved from using the terminology “rain gardens” to that of “bio-filtration areas”. In addition, he mentioned that a point-by-point response to (Regional Engineer) Syl Pauley’s comments had been submitted to Mr. Pauley and provided to the Commission. They had not yet received a response from Mr. Pauley on their responses. No additional changes to the plan dated February 23, 2024 have been made. He added that the wetlands from the retaining wall to the west will be lost - from the existing 8,900 square feet of low-functioning wetlands, their proposal will result in the loss of 6,900 sf, leaving 2,000 sf of original wetlands. An additional 3,000 is being proposed to help with stormwater management and enhancement to reduce impacts of the conversion from wet to hard surface.

Margaret Washburn asked if there was an updated stormwater plan. To which, Mr. Smith replied ‘no’. He added that for the time being, the applicant intends to operate out of his pickup truck and serve as a pickup point for his customers. There will be a porta potty available onsite. Mr. Smith referred to the second sheet of the plan which showed the berm, the basins, and the planting schedule - which was to show where the various plantings will be located.

As a follow up from a question posed two months ago, Adam Brindamour asked if the driveway through the property will remain and will the driveway on Brickyard remain or is it for construction only. Mr. Smith responded that the driveway will be permanent; one lane in and one lane out to accommodate truck movement.

George Logan presented next and stated that after the last meeting it was apparent that a more robust mitigation plan was needed. In addition, he received a call from Ms. Washburn asking that he complete additional field testing. As a result, he did three soil borings in March. He provided the Commission with a ‘Mitigation Plan for Creation and Enhancement of Wetlands and Upland Habitats’ in which he added several layers of additional information. He reviewed his findings (included in his plan) with the Commission.

Mr. Logan’s resulting calculations were in line with Mr. Smith’s at: 8,900 sf of wetlands taken out, 5,380 sf (shown as green-shaded area on his plan) being created, with an additional 2,200 sf buffer between parking and the road. His plan included laying a seed mix the first year, invasive species control and using organics. Also included was yearly-monitoring (2x per year) and reporting.

Ms. Washburn questioned the wording in Mr. Logan’s Mitigation Plan, Page 3, Item #12, and Page 4, Item #21 as it relates to topsoil. Mr. Logan agreed to change the wording so it is clear that topsoil from onsite will not be used, avoiding infestations from invasive species.

Mr. Oliverson asked if their use of gravel under the landscape bins will result in a change in hydrology, and if they foresee paving under. Ms. Washburn followed by asking if there is something pervious they can put under the bins. Mr. Logan responded that he has worked with Andover Landscaping where there is gravel under the bins and they get no rocks or weeds in their mulch.

Mr. Logan and Mr. Smith added that the planting plan and prescriptive method will change based on the recent field work. Ms. Washburn asked that Mr. Logan’s entire mitigation document be added on the plan sheets. Mr. Logan confirmed that he will add it.

Mr. Logan and Mr. Smith answered additional questions from the Commission and Ms. Washburn and confirmed the following:

- A second topsoil area will not be needed as the topsoil will be dumped and spread immediately;
- The plan layout will not change, just the process;
- Any changes requested by State DOT will be communicated to Ms. Washburn.
- To prevent the potential for sediment flow, they can put a hay berm along Route 6 in front of the outlet pipe that directs runoff to the east; although they do not expect anything from their site to run onto the State road;
- They do not anticipate the property to flood to the point of causing off-site impacts;
- Mr. Logan will assist in preparing an Operations and Maintenance Plan;
- The applicants consent to another 30-day extension;
- All of Mr. Logan's comments (excluding photographs) will go on the plan;
- The planting schedule will go on the plan;
- Fill calculations will be merged with Sheet 1 and added to the plan;
- The application needs to be revised to match the plan.

Dale Lyon added the following:

- His interest is in preserving wetlands; he maintains ponds on other properties;
- He appreciates that Ms. Washburn has been very diligent;
- He looks forward to working with the Commission and will come back if anything on the plan changes.
- He is not trying to get away with anything, this is simply the first step.
- Perhaps he will someday add a building;
- He would like to put nice flowering trees along Brickyard Road; he is not in favor of the tree cutting that had been done.

Ms. Booth stated she did not believe Mr. Lyon was trying to get away with anything; instead, she questioned at what point do we stop taking wetlands. Ms. Washburn added that Connecticut does not have a no net loss of wetlands policy and the applicants are offering up mitigation.

Teresa Ross stated that (in her opinion) Mr. Lyon keeps his site on Rt. 205 beautifully and she believes this proposed site on Rt. 6 would be an improvement.

A **motion** was made by Demian Sorrentino to table the Public Hearing to the next IWWC meeting on April 9, 2024 at 6:00 pm at the Clifford B. Green Memorial Center, 69 South Main Street, and to also accept the applicant's Extension Letter in which the applicant agreed to a thirty-day extension of their application. Ms. Booth seconded the motion. Motion passed unanimously by vote 7-0-0.

Old Business:

1. **IWWC 23-015 LAC Properties, owner/applicant; Map 41 Lot 1; Providence Road, PC Zone;** Proposal to fill wetlands to level site for development of a commercial building, driveways and septic system. Proposed fill equals 8,900 sf; total regulated area altered equals 64,000 sf / 1.5 acres.

A **motion** was made by Mr. Brindamour to table the public hearing to the next IWWC meeting on April 9, 2024 at 6:00 pm at the Clifford B. Green Memorial Center, 69 South Main Street. Motion was seconded by Mr. Burgess and passed unanimously by vote 7-0-0.

New Business:

1. **IWWC 24-001 Paul Pagnozzi, owner/applicant; 113 Hartford Road; Map 24, Lot 74, VC Zone;** Proposed concrete slab for a 24' x 32' manufactured home. No work is proposed in the wetlands.

Norm Thibeault presented

on behalf of this project. No activity will take place in the wetlands, therefore a **motion** was made by Demian Sorrentino to delegate this application to the Wetland's Agent for approval. Motion was seconded by Jessica Long and passed unanimously by vote 7-0-0. Ms. Washburn will issue the permit fifteen days from this date.

2. **DR 24-001 Brian Meehan, owner; Chris Casadei LLC, applicant; Old Tatnic Hill Road and Tripp Hollow Road ; Map 14 Lots 2, 8, 10, 10-1, 10-19, 10-56, 10-59, and 10-65; RA Zone;** Selective Timber Harvest.

Chris Casadei joined via online link to represent this project. Mr. Casadei provided an overview of the project. Ms. Booth asked if a time of year was to be dictated. Ms. Washburn responded it was not necessary; the work could be done as conditions allow. Mr. Sorrentino asked if Ms. Washburn had any issues with the application; to which, she responded 'no'.

A **motion** was made by Demian Sorrentino and seconded by Janet Booth to approve this application as an Agricultural Right of Use. Motion passed unanimously by vote 7-0-0.

3. **IWWC 24-002 Greg Lehto, owner/applicant; 61 Beecher Road, Map 22 Lot 38-5; RA Zone;** Minor grading for a new single-family dwelling in the upland review area. No work is proposed in the wetlands.

Mr. Thibeault presented on behalf of this project and provided a brief overview. No work is proposed in the wetlands; therefore, Adam Brindamour made a **motion** to delegate approval to the Wetland's Agent. Motion was seconded by Jason Burgess and passed unanimously by vote 7-0-0. Ms. Washburn will issue the permit fifteen days from this date.

4. **SUBD 24-001 Louis Polseno, owner/applicant; South Street, Map 40, Lot 12; RA Zone;** proposed 2-lot subdivision with activity in the 125-foot Upland Review Area.

Ms. Washburn provided Commission members (present in person) with the plan copies received with the application.

Mr. Thibeault presented on behalf of this project and indicated that all proposed activity will be outside the upland review area. The property owner is proposing to develop a vineyard on the Eastern side of the property, with a single family /duplex to the West. Subdivision approval is being pursued at this time to satisfy health code that requires the lots to demonstrate support for well and septic. This alleviates the need to run a water line to the end of the property when it will not be needed for the proposed project.

Mr. Sorrentino added that the Planning & Zoning Commission (PZC) will need a report from the IWWC indicating that the proposed subdivision contains no regulated activity.

A **motion** is made by Demian Sorrentino and seconded by Jason Burgess to approve the sending of a report to the PZC to indicate that the proposed subdivision contains no regulated activity. Sharon Loughlin abstains from voting as she did not receive the material to review. Motion passes by a majority vote 6-0-1.

Other Business:

1. **IWWC 23-013 Robert & Teresa Ross, owners/applicants; Map 10 Lot 7; Hartford Road, RA Zone;** Proposal to construct single-family home, garage, pole barn, koi pond, and to repair and stabilize a box culvert over Stony Brook. **SHOW CAUSE HEARING for wetlands violation.**

Norm Thibeault presented on behalf of the Rosses. He indicated that based on the previous approval, a concrete pad was constructed at the site according to plan. Due to significant rain events that happened over a five-day period, the brook under the crossing overflowed. Mr. Ross panicked and installed an overflow pipe in the regulated area (not wetlands) which seems to be serving its purpose. He did not have a permit for this work. In addition, Mr. Ross cleared vegetation on adjacent property owned by others. Mr. Thibeault felt the pipe installed by Mr. Ross was functioning properly and was installed responsibly as an overflow mechanism to prevent erosive activities. In the area where the vegetation was cleared, he recommends a three-pound New England wet-mix seed.

Mr. Ross provided the Commission with photographs showing the water up against the driveway crossing and confirmed that he had mowed under the (overhead) property lines.

Ms. Washburn voiced concern as the regulations address the rate and amount of water that should enter and leave a site. She added that Mr. Ross completed unauthorized work, which was a deviation from the approved plan), with no calculations or approval from the Town Engineer, potentially resulting in downstream flooding. Mr. Thibeault disagreed and added that whether the pipe was there or not, water would still be going over the driveway and getting into the stream beyond there. Ms. Washburn stated that she felt that the pipe was not installed responsibly.

The Commission agreed that a site walk was necessary. A **motion** was made by Demain Sorrentino and seconded by Jessica Long to schedule a site walk for Friday, March 22, 2024 at 5:00 pm at 630 Hartford Road. Sharon Loughlin mentioned she will send a representative, and she voiced her concerns regarding the impact on the brook. Motion was approved unanimously by vote 7-0-0.

Mr. Thibeault and Mr. Ross will attend the scheduled site walk.

Mr. Sorrentino added that typically the Commission had not permitted culverts on named brooks without calculations.

A **motion** was made by Adam Brindamour and seconded by Sharon Loughlin to uphold and table the Cease-and-Desist Order to the next IWWC on April 9, 2024 at 6:00 pm at the Clifford B. Green Memorial Center, 69 South Main Street. Motion was approved unanimously by vote 7-0-0.

2. **430 Allen Hill Road – Naomi Regis, Moe Lapierre P.O.A.; Map 32 Lot 138.** Informal discussion about clear cutting 30 acres of woodlands and brush to expand agricultural cropland.

Moe Lapierre was present in person to represent this project:

- He would like to clear approximately 25-30 acres of land to increase his cropland for hay;
- He intends to leave tree stumps in place, cutting to ground level;
- It's a wooded area that incorporates a stream;
- Ms. Washburn inspected the property with Mr. Lapierre and suggested having it flagged for wetlands;
- Per Mr. Lapierre, the timeframe in which he is looking to complete this project is six months;
- Mr. Lapierre contacted some companies, but they were not interested in the wood;
- Ms. Loughlin recommended contacting a Forester as per her experience there will be a dramatic change in the soil after cutting the trees; in addition, there is the potential for an increase in water; a Forester can make recommendations for keeping the soil in place;
- Ms. Washburn responded saying that Ms. Loughlin has a valid point; with the trees gone, the land will be more wet because the trees aren't there to speed up the evapotranspiration;
- Mr. Brindamour felt the site should be flagged, and an application should be submitted; Ms. Booth agrees;
- Mr. Sorrentino added that a perimeter needs to be established to set limits of disturbance; in addition, the flags should be recorded by a surveyor and put on a plan; topography needs to be shown also;
- Ms. Washburn indicated that there are resources that can provide Mr. Lapierre with advice for coming up with a stabilization plan, such as the National Resources Conservation Office; she can also provide him with the contact information for some local Foresters;
- Mr. Lapierre intends to rent a rubber-tire skidder to use in lieu of a backhoe; he will be using different roads for entering/exiting;
- Mr. Lapierre's plan for a bugout shelter is a long way down the road but he intends it to be near the river, with no plan for a septic system;
- Ms. Washburn added that Department of Health approval would also be needed for the shelter.

The Commission thanked Mr. Lapierre for coming in and talking about his intended plan. Mr. Lapierre added to thank Ms. Washburn.

3. **17 Greenway Drive – Town of Brooklyn.** Complaint received about riparian vegetation being removed north of the existing boat launch along the bank of the Quinebaug River.

- Mr. Oliverson indicated he had been by the site to look at what was done;
- Ms. Washburn mentioned she had spoken to Brooklyn's Recreation Director, Amy Brosnan, and Brooklyn's First Selectman. Ms. Brosnan indicated that the Town had cleared the area so people could sit in lawn chairs and see the river. First Selectman, Austin Tanner mentioned putting a fence up for safety reasons;
- Discussion ensued among Commission members and Ms. Washburn:
 - An approximate 20' x 80' area was cut;
 - They feel a stabilization effort is needed due to the steepness of the now open area;
 - Concern over invasive species coming in was voiced;
 - It was noted that the area was clear-cut but nothing was dug up, therefore it will grow back;
 - Ms. Washburn asked that the area be seeded.

Communications:

1. Wetlands Agent Monthly Report was provided to the Commission.

Ms. Washburn also mentioned additional projects on the horizon: Tiffany Mills and Tractor Supply and the potential to hold meetings at a larger venue.

2. Budget Update: Was provided to Commission, with no further discussion.

Adjourn: Motion to adjourn was made at 9:20 pm by Adam Brindamour and seconded by Jessica Long. Motion passed unanimously by vote 7-0-0.

Submitted By:
Terry Mahanna
Recording Secretary

Terry Mahanna

From: Demian Sorrentino <demiansorrentino@gmail.com>
Sent: Monday, March 25, 2024 2:33 PM
To: Margaret Washburn; Terry Mahanna
Subject: IW&WC Site Walk 3/22/24

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Margaret/Terry - here are my site walk minutes:

IW&WC Site Walk 3/22/24 @ 5:00P
630 Hartford Road

Commissioners in attendance:

Rich Oliverson
Demian Sorrentino
Janet Booth
Jessica Long

Others in attendance:

Syl Pauley, Town Engineer
Theresa Ross, applicant/owner
Robert Ross, applicant/owner

R. Oliverson called meeting to order@ 5:03P.

Commissioners viewed watercourse, existing stone culvert and previously permitted improvements, as well as unpermitted new culvert pipe and recent vegetative clearing in utility right-of-way on southerly side of driveway. Sedimentation and scour evidence of recent high water levels were also noted.

Motion to Adjourn by D. Sorrentino, second by J. Long. All were in favor, meeting adjourned at 5:17P.

Respectfully Submitted
Demian Sorrentino, IW&WC Member

Sent from my iPhone

INLAND WETLANDS & WATERCOURSES COMMISSION
TOWN OF BROOKLYN, CONECTICUT

Date 4-1-24

Application # _____

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT LAC PROPERTIES MAILING ADDRESS 4 GREENE LANE, THOMPSON
APPLICANT'S INTEREST IN PROPERTY OWNER PHONE 450-6996 EMAIL _____

PROPERTY OWNER IF DIFFERENT _____ PHONE _____
MAILING ADDRESS _____ EMAIL _____

ENGINEER/SURVEYOR (IF ANY) ARCHER SURVEYING LLC
ATTORNEY (IF ANY) _____

PROPERTY LOCATION/ADDRESS PROVIDENCE ROAD
MAP # 41 LOT # 1 ZONE PC TOTAL ACRES 2.34 ACRES OF WETLANDS ON PROPERTY 8,500 SQ FT

PURPOSE AND DESCRIPTION OF THE ACTIVITY FILLS OF 6,700 SQFT OF WETLANDS TO
CREATE AN AREA FOR COMMERCIAL DEVELOPMENT, CONSISTING OF DRIVEWAY,
PARKING AREA & STORAGE BINS. ENTIRE DEVELOPMENT WITHIN THE
UPLAND REGION AREA

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED 6,700 CUBIC YDS _____ SQ FT ✓

EXCAVATION PROPOSED _____ CUBIC YDS _____ SQ FT _____

LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE _____ OFF SITE _____

TOTAL REGULATED AREA ALTERED: SQ FT 60,000 ACRES _____

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): PROPOSED DEVELOPMENT OF BIO FILTRATION AREAS
TO PROTECT 2,200 SQFT OF EXISTING WETLANDS & TO EXPAND
WETLAND AFTER DEVELOPMENT TO 5,380 SQFT

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY _____ SQFT 3,180 ACRES _____

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? _____ IF YES, WHICH TOWN(S) _____

IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? _____

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: [Signature] DATE 4-1-24

OWNER: [Signature] DATE 4/1/24



Connecticut Department of
**ENERGY &
ENVIRONMENTAL
PROTECTION**

GIS CODE #: _____
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: _____ month: _____

2. ACTION TAKEN (see instructions, only use one code): _____

3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐

4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:

(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): BROOKLYN

does this project cross municipal boundaries (check one)? yes ☐ no ☒

if yes, list the other town(s) in which the action is occurring (print name(s)): _____

6. LOCATION (see instructions for information): USGS quad name: DANIELSON or number: _____

subregional drainage basin number: _____

7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): LAC PROPERTIES

8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): PROVIDENCE RD

briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☒ description: _____

FILING WETLAND, COMMERCIAL DEVELOPMENT

9. ACTIVITY PURPOSE CODE (see instructions, only use one code): D

10. ACTIVITY TYPE CODE(S) (see instructions for codes): 1 14 9 _____

11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):

wetlands: .15 acres open water body: _____ acres stream: _____ linear feet

12. UPLAND AREA ALTERED (must provide acres): 1.4 acres

13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): .13 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

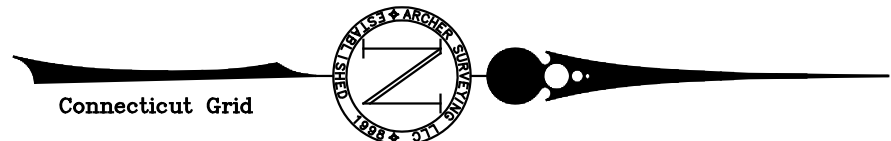
FORM CORRECTED / COMPLETED: YES NO

LEGEND

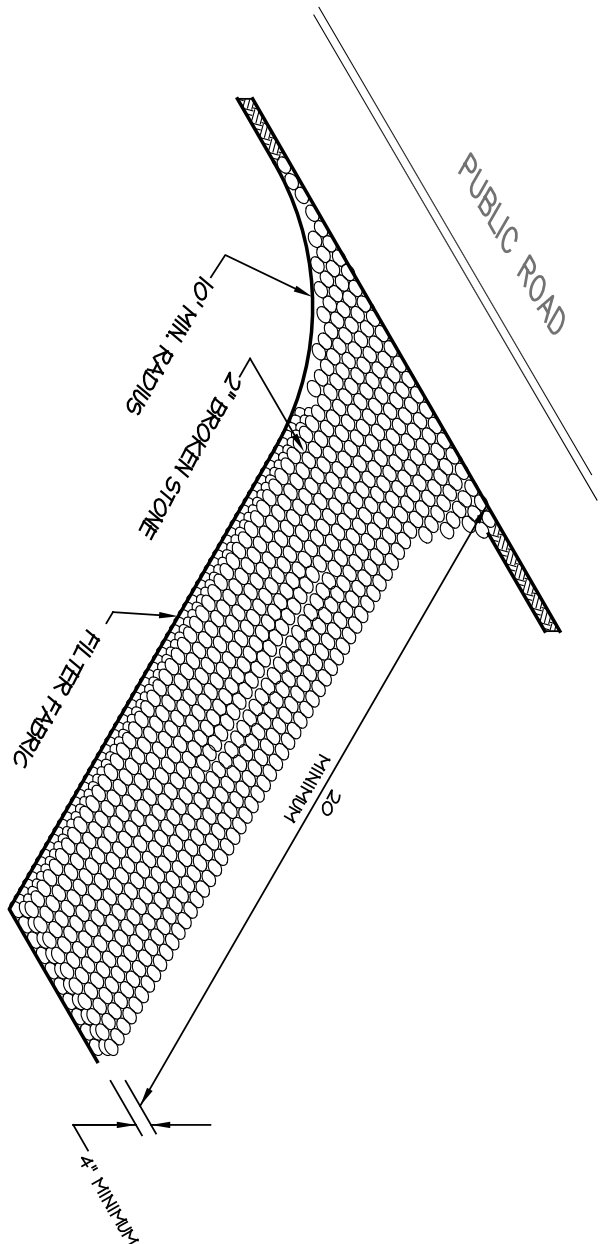
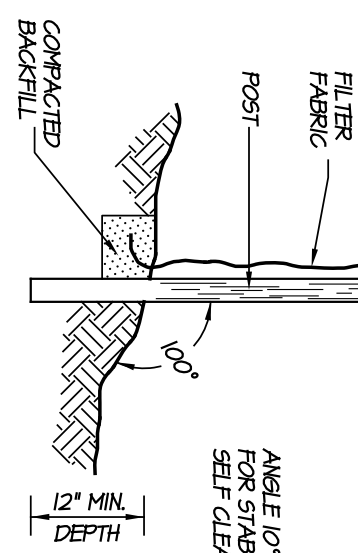
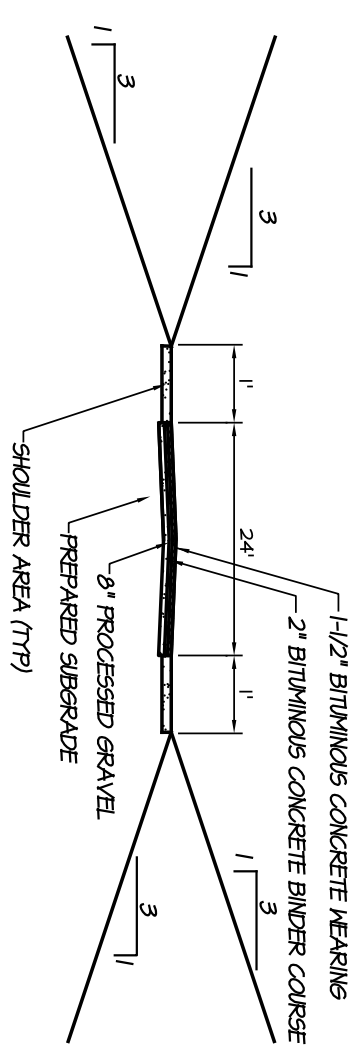
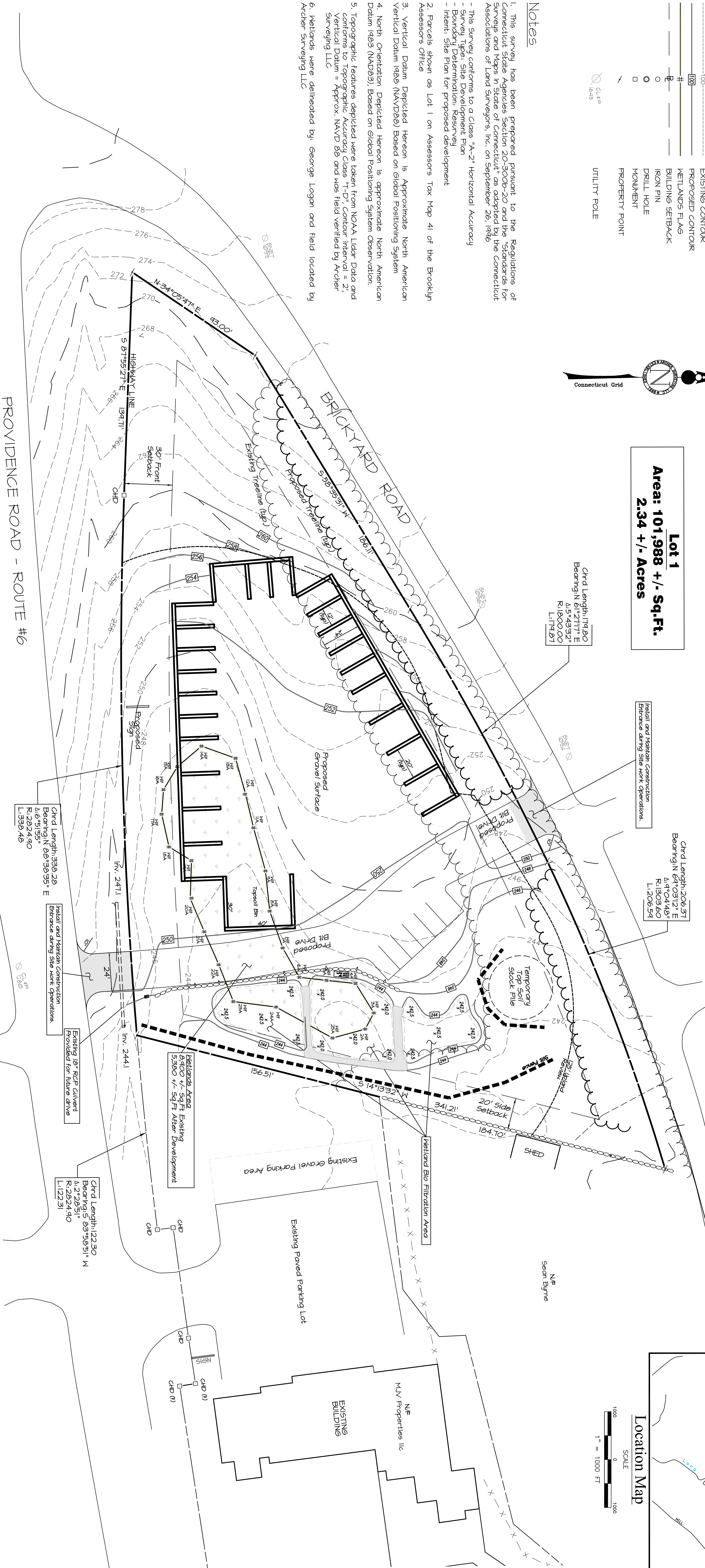
- PROPERTY LINE
- EASEMENT
- STONEWALL
- STONEWALL REMAINS
- EXISTING TREELINE
- PROPOSED CLEARING LIMIT
- SILT FENCE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- KETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT
- PROPERTY POINT
- UTILITY POLE

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "standards for Surveying and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1986
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - Survey Type: Site Development Plan
 - Boundary Determination: Resurvey
 - Intent: Site Plan for proposed development
- Parcels shown as Lot 1 on Assessors Tax Map 41 of the Brooklyn Assessors Office
- Vertical Datum Depicted Hereon is Approximate North American Vertical Datum 1985 (NAVD85) Based on Global Positioning System
- North Orientation Depicted Hereon is approximate North American Datum 1983 (NAD83). Based on Global Positioning System Observation.
- Topographic features depicted were taken from NOAA Lidar Data and conforms to Topographic Accuracy Class "1-D" Contour Interval = 2' Vertical Datum = Approx NAVD 85 and was field verified by Archer Surveying LLC
- Wetlands were delineated by: George Logan and field located by Archer Surveying LLC



Lot 1
Area: 101,988 +/- Sq.Ft.
2.34 +/- Acres



To my Knowledge and Belief this Map is substantially
Correct as depicted hereon.

[Signature]
03/25/2024
Date

Paul M. Archer LLS #10013

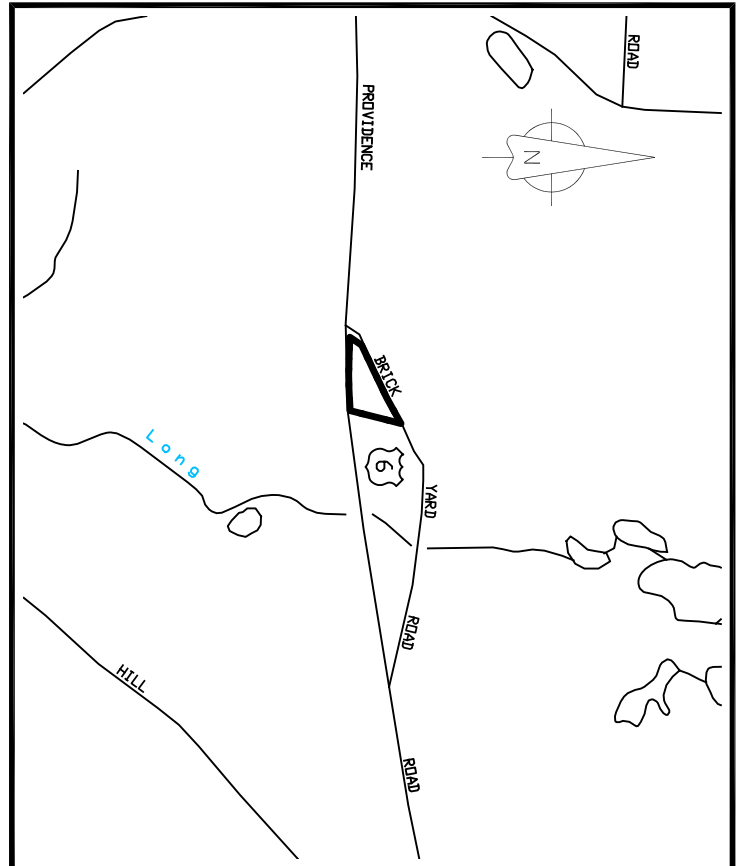
Archer Surveying LLC
DAVID A. SMITH, P.E. #4175
03/25/2024
DATE

I have reviewed the field-note/s shown on this plan and they appear to be substantially the same as those which I delineated in the field.

George Logan, MS, PMS, CSE

Subject Parcel Information
Owner: LAC Properties LLC
Parcel Address: Providence Road, Brooklyn, CT
Mailing Address: LAC Properties LLC
4 Greene Lane, Thompson CT
Parcel ID: Map 41 / Lot 1
Deed: Vol. 480 / Pg. 21
Zone: FC "Planned Commercial"

REVISIONS	
DATE	DESCRIPTION
01/09/24	Misc
01/30/24	Redesign
02/02/24	Comments
02/13/24	Misc.
02/23/24	Misc.
03/25/24	Misc.



Location Map
SCALE
1" = 1000 FT

Site Development Plan
Prepared For:
LAC Properties LLC
Providence Road
Brooklyn, Connecticut

Archer Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

LOUIS J. SOJA, JR.
LAC Surveyor License #10000

Sheet No. 1 OF 3
Project No. AS 202
Date: November 29, 2023

MITIGATION PLAN FOR
CREATION AND ENHANCEMENT OF WETLAND & UPLAND HABITATS

IMPLEMENTATION NOTES

1.0 INTRODUCTION

EMERGENT WETLAND (I.E., WET MEADOW/MARSH) CREATION BY EXCAVATION, AND HERBACEOUS AND WOODY PLANTINGS, WILL TAKE PLACE AT THREE ADJOINING (I.E. AREA A, AREA C-1, AND AREA C-2) LOCATIONS AT THE EASTERN PORTION OF THE SUBJECT PROPERTY ALONG THE EASTERN PROPERTY BOUNDARY.

SOLS AT THE WETLAND CREATION AREAS RANGE FROM WELL DRAINED, TO POORLY DRAINED, THE LATTER WITH A DELINEATED WETLAND AREA, FINE SANDY LOAMS, THREE SOLT TEST PIT (TEST HOLES) WERE ADVANCED USING HAND TOOLS IN ORDER TO OBSERVE ANY EVIDENCE OF A SEASONAL, HIGH WATERABLE (SEE ATTACHED PHOTOS AND FIGURE 1, FOR SOLT TEST HOLE LOCATIONS). IN TEST HOLE #1, WHICH IS A DELINEATED WETLAND AREA, THE WATER TABLE IS PERCHED ON A VERY FIRM IMPACTED TILL THAT AVERAGES 18 INCHES FROM THE GROUND SURFACE. GROUNDWATER HAS NOT DETECTED AT SOLT TEST HOLE #2, BUT MIGHT WOULD INDICATE A SEASONAL HIGH GROUNDWATER TABLE AT 40 INCHES SEVERAL LAYERS OF TILL, INCLUDING A SOMEWHAT FIRM LAYER WHERE OBSERVED HERE. TEST HOLE #3, OUTSIDE AND TO THE NORTH OF THE PROPOSED WETLAND CREATION AREAS, INDICATES WELL DRAINED UNDISTURBED SOLS. IT IS LIKELY THAT THE LOCAL GROUNDWATER TABLE, BELOW THE TILL, COULD BE AS LOW AS ELEVATION 289.0 FEET, WHICH IS BELOW THE PROPOSED BOTTOM ELEVATIONS OF THE WETLAND CREATION AREAS.

THE GOAL FOR WETLAND CREATION (ALL THREE AREAS) IN REGARD TO HYDROLOGY IS TO CREATE A PERCHED WETLAND WITH TWO SOURCES: (1) DIRECT PRECIPITATION, AND (2) SHEET FLOW FROM THE DEVELOPED AREAS WITHIN THEIR CATCHMENT AREAS TO THE WEST. THE PLAN SHOWS (SEE ATTACHED) THAT THE LOWER EDGE OF THE FIRM STONE BEHM SHALE IS SITUATED 6 TO 10 INCHES ABOVE THE WATER LEVEL AT A WHEN THE REACHES THE STONE BEHM, IT WILL LEAVE THE SYSTEM TO INFILTRATE TO THE GROUND.

IN-LAND MIGRATION (I.E. CREATION) IS PROPOSED TO OFFSET LOST FUNCTIONS & VALUES FROM THE CURRENTLY PROPOSED PERMANENT WETLAND IMPACT (I.E., ~4,000 SQUARE FEET). THE GOAL IS TO CREATE ECOLOGICAL COMMUNITIES WITH HIGHER FUNCTIONS AND COMPLEMENTARY WETLAND COVER TYPES TO THE WETLANDS THAT WOULD BE IMPACTED (I.E. WET MEADOW). DUE TO OVERALL SITE CONSTRAINTS ABOUT 6,300 SQUARE FEET OF PRODUCTIVE WETLAND CAN BE CREATED. MOREOVER, ENHANCEMENT OF UPLAND HABITAT

AS A BUFFER TO THE PROPOSED WETLAND CREATION AREAS, IN AREA B IMMEDIATELY TO THE WEST, TOTALING APPROXIMATELY 2,200 SQUARE FEET.

THE WETLAND CREATION GOAL IS 100% COVER, AND 65% COVER BY NATIVE SPECIES BY THE END OF THE TWO-YEAR (2) MONITORING PERIOD. PLANT SPECIES WERE SELECTED TO ENHANCE THE FOLLOWING CRITERIA: FOOD PLANTS FOR BUTTERFLIES, BEETLES, AND OTHER INSECTS; FRUIT, SEED, AND NUT PRODUCTION IN DIFFERENT SEASONS, INCLUDING PERSISTENT UNDER-FRUIT AND SPRING SEEDS; FORAGE FOR WINTERBERRY HERBIVORES; SUITABLE MICRO-HABITATS FOR OVERWINTERING INSECTS; AND NECTAR AND POLLEN THROUGHOUT THE GROWING SEASON (SEE TABLE 3).

NOTE: ALL WETLAND REPLICATION WORK SHALL BE SUPERVISED BY AN ECOLOGIST (OR WETLAND SCIENTIST), INCLUDING INITIAL GRADING, PLANTING, MARINE INVASIVES IN ADJACENT UPLAND AREAS. A PRE-IMPLEMENTATION MEETING SHALL TAKE PLACE AT LEAST ONE MONTH PRIOR TO PLAN IMPLEMENTATION, BETWEEN THE WETLAND SCIENTIST, THE TOWN'S CONTRACTOR, AND THE LANDSCAPER, AND THE TOWN'S WETLAND AGENT, AT THE TOWN'S DISCRETION.

2.0 WETLAND CREATION

PREPARATION

1. ORDER THE TRANS OF HERBACEOUS PLUGS AND THE SEED MIX FOR DELIVERY RIGHT AFTER COMPLETION OF GRADING. STORE IN SHADE WHEN THEY ARRIVE.
2. EARTHWORK FOR THE WETLAND CREATION AREAS WILL TAKE PLACE IN APRIL, MAY, OR IN AUGUST, SO THAT PLANTINGS CAN BE INSTALLED IMMEDIATELY AFTERWARDS, EITHER IN LATE SPRING OR VERY EARLY FALL SEASONS. **WE NOTE THAT THE STRIPPED TOPSOIL CANNOT BE USED IN ANY OF THE MITIGATION AREAS.**
3. TO ENSURE PROPER HYDROLOGY FOR THE WETLAND CREATION AREAS, A LOW PERMEABILITY FILLER, COMPOSED OF 8 TO 10 INCHES OF MINERAL MATERIALS, INCLUDING A SELL LOCAL EXISTING, SHALL BE PLACED UNDER THE SPECIFIED TOPSOIL. AFTER PERMEABLE FILLER IS IN PLACE, MORE THAN 10 INCHES OF TOPSOIL SHALL BE PLACED LATER TO BE SURE THERE IS A MINIMUM OF 10 INCHES OF TOPSOIL. THE FILLER SHALL BE USED AS A SECONDARY COMPLEMENTARY LAYER, TO ENSURE THAT WET AND HYDROLOGY IS CREATED BY SUPPLEMENTING THE PRIMARY LAYER, THEN CREATING A PERMANENT PERCHED WATER TABLE.
5. THE SUGGESTED PLANT SPECIES SPECIFY THE LIMIT OF THE PRIMARY AND SECONDARY LAYERS. NECESSARY TO ENSURE WETLAND HYDROLOGY. A MINIMUM OF 10 INCHES OF TOPSOIL (AFTER COMPACTION) SHALL BE USED. SOIL TEXTURE SHALL BE LOAM OR FINER. ORGANIC MATTER CONTENT SHALL BE A MINIMUM OF 10 PERCENT BY WEIGHT (I.E. LOSS

- AT IGNITION, AS TESTED AT A QUALIFIED LABORATORY (E.G., UNIVERSITY OF CONNECTICUT SOLS LAB).
- APPROXIMATELY 6 TO 7 INCHES OF THIS ORGANIC RICH TOPSOIL WILL BE PLACED AND TRACKED BY MECHANICAL MEANS TO PROVIDE FOR SOME COMPACTION, BEFORE THE BALANCE OF THE TOPSOIL IS PLACED DOWN, BUT WITHOUT TRACKING IT.
- IF NECESSARY, WELL-ROOTED LEAF COMPOST (I.E., TWO YEAR MINIMUM) WILL BE ADDED TO BRING PERCENT ORGANIC MATTER TO THE DESIRED SPECIFICATION.
- TO ENSURE (DEPENDENT OF THE TUNER TO A MINIMUM DISTANCE OF AT 15 FEET (EXCLUDING THE MODIFIED RP RAP STONE BEHM) SHALL BE A MINIMUM OF 8 INCHES WITH AN ORGANIC CONTENT OF NO LESS THAN 12 PERCENT BY WEIGHT.
- A ONE TO TWO INCH THICK TOP-DEBRIS SHALL BE APPLIED TO THE FINAL GRADE AT THE WETLAND CREATION AREAS, EXCEPT IN AREAS WITH INUNDATION, CONSISTING OF LEAF COMPOST (2-YEAR OLD MINIMUM).
10. ADD ORGANIC, SLOW-RELEASE FERTILIZER OR OTHER AMENDMENT ONLY AS INDICATED BY THE SOIL TEST RESULTS. **NOTE:** THAT NUTRIENT LEVELS SHOULD BE LOWER FOR NATURAL, HIGHER THAN FOR AGRICULTURAL OR HORTICULTURAL SITES. TO PREVENT EXCESSIVE COMPETITION BY PRAIRIE WEEDS.
11. INSTALL DEEMATEEER EXISTING CONTROLZS AROUND THE MITIGATION AREAS AS SHOWN ON PLAN. CORRECTLY TRENCHED AND STAKED SIX FEET PER THE 2002 CONNECTICUT EROSION & SEDIMENTATION CONTROL GUIDELINES (2002 GUIDELINES).
- EARTHWORK**
12. CLEAR AND GRUB AS NECESSARY, THE WETLAND CREATION AREAS.
1. REMOVE THE EXISTING TOPSOIL FROM THESE LOCATIONS & PLACE IN A DESIGNATED SOIL STOCKPILE AREA, AT LEAST FIFTY FEET AWAY. **IMPORTANT NOTE: THE TOPSOIL FROM ALL PROPOSED MITIGATION AREAS SHALL NOT BE USED, TO AVOID INVASIVES FROM INVASIVE SPECIES INCLUDING MIGNORT, WHICH WAS NOTED WEAR.**
13. EXCAVATION, GRADING, AND TRANSPLANTING WILL TAKE PLACE UNDER THE DIRECTION OF THE WETLAND SCIENTIST. GRADING WILL BE BASED ON CONDITIONS OBSERVED AT THE FIELD BY THE WETLAND SCIENTIST WHO MAY MAKE SMALL IN-FIELD ADJUSTMENTS TO ACHIEVE THE DESIRED WETLAND HYDROLOGY.
14. IN WETLAND CREATION AREAS, OVER-COMPACTIVE BY 20 TO 22 INCHES TO ACCOMMODATE PRIMARY TUNER AND SECONDARY LAYER (I.E., 10 INCHES OF TOPSOIL, AFTER SETTLING TO BRING THE CREATION AREA TO THE DESIRED ELEVATION, AS SPECIFIED ON THE PLANS.
15. TOPSOIL HAS BEEN PLACED, AFTER ABOUT 100% OF THE TOPSOIL LAYER HAS BEEN TRACKED TO COMPACT FOR WETLAND HYDROLOGY.

- PLANTINGS**
16. ORDER THE WOODY PLANTING MATERIALS FOR DELIVERY DURING THE PLANTING WINDOWS LISTED ABOVE (AND TOLLATE SPRING OR EARLY FALL). STORE IN SHADE WHEN THEY ARRIVE, AND INSTALL WITHIN THREE DAYS OF DELIVERY. MAKE SURE THAT ALL DESIRED SPECIES ARE AVAILABLE AT THE TIME OF ORDERING WETLAND SCIENTIST SHALL APPROVE ANY SUBSTITUTIONS.
17. CHECK DELIVERY. MAKE SURE SPECIES, SIZES, AND QUANTITIES ARE AS SPECIFIED.
18. A WETLAND PROFESSIONAL OR ECOLOGIST SHALL SPECIFY PLANTING METHODS, LOCATIONS, AND MARK ANY SHRUBS AND PERENNIAL WILLOWERS TO BE TRANSPLANTED. THE PROFESSIONAL WILL DIRECT THE INSTALLATION, EITHER BY STAKING PLANTING LOCATIONS WITH A WIRE FLAG OR BAMBOO STAKE LABELED WITH THE SPECIES NAME OR CODE, OR POTTED STOCK MAY ALSO BE DIRECTLY PLACED AT PLANTING LOCATION.
19. INSTALL THE PURCHASED WOODY MATERIALS FIRST, THEN THE HERBACEOUS PLUGS.
20. WOODY PLANTINGS AND LARGE HERBACEOUS PERENNIALS (SEE TABLE 1, THROUGH TABLE 3) SHALL BE PLANTED IN SAME SPECIES CLUSTERS, TWO TO THREE FEET APART FOR HERBACEOUS PERENNIALS, FIVE TO SIX FEET APART FOR SHRUBS, TEN FEET APART FOR SMALL TREE SEEDLINGS/SAPLINGS. LARGER TREES SHALL BE NO CLOSER THAN EIGHT FEET FROM A SHRUB OR SMALL TREE.
21. DIG HOLES BY HAND TO MINIMIZE COMPACTION OF SOIL (MECHANICAL AUGERS ARE PROHIBITED). WATER HOLES BEFORE PLANTING, UNLESS SOIL IS ALREADY MOIST. ADD SLOW-RELEASE FERTILIZER (OSMOCOTE, MILORGANITE OR EQUIVALENT) TO PLANTING HOLE. PLACE PLANTS INTO HOLES AND REPLACE SOIL, SO THAT THERE IS FULL COVERAGE OF ROOTS WITH NO AIR SPACES AND LEVEL SOIL AROUND THE PLANT. HOLES SHALL BE OVERSIZED 1/2X THE ROOT MASS DIAMETER AND BACKFILLED AS NECESSARY WITH EXTRA TOPSOIL (NOT ORIGINAL TOPSOIL FROM SITE).
22. EXTREME CARE NEED BE TAKEN TO NOT PENETRATE THE PRIMARY (SILT LOAM) TUNER DURING PLANTING OF SHRUBS. TREES SHALL BE OUTSIDE THE TUNER LIMIT OR PLANTED ON ELEVATED BERMS).
23. MULCH WITH A TWO TO THREE-INCH LAYER OF WELL-ROOTED HARDWOOD MULCH TO REDUCE COMPETITION FROM MEADOW VEGETATION IN A THREE-FOOT DIAMETER CIRCLE. LEAVE A GAP OF THREE INCHES AROUND EACH TRUNK OR STEEL FORM SULKERS AROUND ALL MULCHED TREE AND SHRUB PLANTINGS TWO TO THREE INCHES HIGH, 36" ACROSS FOR NURSERY STOCK. WATER RIGHT AFTER PLANTING, UNLESS RAIN IS EXPECTED WITHIN 48 HOURS.
24. HERBACEOUS PLUGS: PLANT IN MID- TO LATE-AFTERNOON, OR UNDER SHADE CONDITIONS. WATER IMMEDIATELY AFTER PLANTING. SPACE PLUGS 24 TO 36 INCHES APART. PER PLAN (SEE TABLE 3) IN THE BARE SOIL AREAS, AND SPREAD SHREDDED LEAF

MULCH IN A SIX-INCH CIRCLE AROUND EACH PLUG. PLANT IN SAME-SPECIES GROUPINGS OF VARIABLE SIZE AND SHAPE.

25. **SEEDING:** AFTER MIXING 1:1 WITH NON-CLUMPING KITTY LITTER (CLAY BASED), SPREAD SEED OVER BARE SOIL AREAS, AVOIDING MULCHED CIRCLES AROUND PLUGS. SEEDING RATE SHALL BE HALF THAT SPECIFIED FOR THE MIX. IF GERMINATION RATES ARE LOW, OVER-SEED IN FALL IN YEAR 2.

26. FOR SPRING SEEDING IN MOST, BUT NOT SATURATED SOIL, LIGHTLY FREE IN SEED (LESS THAN 1/2 INCH DEEP), TAMP DOWN, AND LIGHTLY MULCH WITH STRAW (FREE OF SEEDS) TO HOLD MOISTURE FOR GERMINATION. FOR FALL SEEDING, WAIT UNTIL AFTER HARD FROST. SEED MAY SIMPLY BE SOWN, SNOW AND FROST WILL INCORPORATE INTO THE SOIL.

NOTE THAT COLD STRATIFICATION WILL INCREASE GERMINATION RATES OF SOME SPECIES IN A FALL SEEDING, BUT MORE SEEDS WILL ALSO BE EATEN BY WILDLIFE OR WASHED AWAY. IF SOIL IS SATURATED BROADCAST ON SOIL SURFACE WITHOUT RAINING.

27. SPREAD A THIN LAYER OF STRAW MULCH OVER ALL SEEDED AREAS WITHOUT STANDING WATER, ALLOWING SOME LIGHT PENETRATION.

28. FOR PLUGS IN THE WET MEADOW PORTION OF THE CREATED WETLANDS, AND FOR SEED GERMINATION, WATERING SEVERAL TIMES A WEEK IS ESSENTIAL. IN HOT WEATHER, FOR IRRIGATION, SET UP A PUMP DRAINING ON LOCAL WATER, OR FROM A WATER TANK BROUGHT TO THE SITE.

3.0 PROTECTION FROM HERBIVORY

1. WOODY PLANTINGS WILL BE MONITORED DURING THE FIRST AND SECOND GROWING SEASONS AFTER PLAN IMPLEMENTATION FOR EXCESSIVE HERBIVORY. IF OBSERVED, THE WETLAND ECOLOGIST MAY PROPOSE ADDITIONAL CONTROL METHODS TO REDUCE HERBIVORY.

2. AS AN INITIAL CONTROL, THE ORGANIC, SLOW-RELEASE FERTILIZER MILORGANITE SHALL BE USED AT EACH SHRUB/TREE PLANTING, AND ALONG THE PERIMETER OF EACH OF THE MITIGATION AREAS. THIS FERTILIZER IS A MILD TO MODERATE DEFENSE TO HERBIVORY BY DEER. APPLICATION OF MILORGANITE SHALL TAKE PLACE THREE TIMES DURING THE FIRST GROWING SEASON, SHOULD A DETRIMENT BE NECESSARY.

4.0 INITIAL FOLLOW-UP AND MAINTENANCE

1. PROMPT SEEDING AND LAY MULCH APPLICATION FOLLOWING INITIAL GRADING IS KEY TO PREVENT EROSION OF EXPOSED, RECENTLY GRADED SOLS. GRADING OF WETLAND CREATION AREAS SHOULD BE FINED TO PREPARE A FORECAST RAINFALL PERIOD, EMPLOYING THE SCHEDULED PLANTING DAY.
2. PERIMETER SEDIMENT CONTROLS. MAINTAIN PER THE 2002 CT E&S GUIDELINES, CHECK AFTER EACH RAIN MORE THAN ONE INCH. REMOVE SIX FENCE AS SOON AS GROUND IS VEGETATED (>80% COVER) TO PREVENT IMPENDING ANIMAL MOVEMENT TO AND FROM

ADJACENT SEASONALLY FLOODED AND SATURATED WETLANDS, SEDIMENT COLLECTED BY THESE DEVICES WILL BE REMOVED AND PLACED UPLAND IN A MANNER THAT PREVENTS EROSION AND TRANSPORT OFF-SITE.

3. IRRIGATION. WATER ALL SEEDED AREAS, PLANTINGS AND/OR TRANSPLANTS AT LEAST WEEKLY IN DROUGHTY PERIODS. MORE FREQUENT WATERING WILL INCREASE PLANTINGS SUCCESS. FOR PLUGS, MORE FREQUENT WATERING COULD BE NEEDED.

5.0 WEED CONTROL

1. FOR 2 SEASONS FOLLOWING PLAN IMPLEMENTATION (I.E. YEARS 2 AND 3), CONTROL WEEDS IN A THREE-FOOT DIAMETER CIRCLE AROUND WOODY PLANTINGS. THE NECESSARY FREQUENCY WILL DEPEND ON ANNUAL AND SOIL SEED BANK, BUT AT LEAST MONTHLY FROM MAY UNTIL NOVEMBER. CONTROL WEEDS BUT IS NOT SUFFICIENT. THE SEED BANK OF THE WOODY PLANTINGS NEEDS TO GERMINATE AND SHOOT UP IN THE YEAR AROUND THE WOODY PLANTINGS.
2. AT TIME OF PLANTING, MARK EACH PLANTED SHRUB OR TREE WITH A FOUR-FOOT TANGY STAKE OR OPENING MARKER WITH REFLECTOR TAPE. THESE SHALL BE REMOVED AT THE END OF THE MONITORING PERIOD.
3. FOR CONTROL OF SMALL SEEDLINGS, USE A HOE.
4. FOR LARGER WEEDS, USE A WEED WHACKER (OR E HERGE TRIMMER).
5. LANDSCAPER SHALL FOLLOW THE DIRECTION OF WETLANDS PROFESSIONAL, WHO SHALL PROVIDE INITIAL GUIDANCE, BUT NEED NOT REMAIN ON SITE DURING MAINTENANCE.
6. THE WETLANDS PROFESSIONAL WILL POINT OUT TO THE LANDSCAPER CERTAIN WEEDS LIKE MIGNORT, WHICH ARE BEST PULLED TO WEAKEN ROOT SYSTEM AND REDUCE NEEDED FREQUENCY FOR WEEDING.
7. OUTSIDE THE THREE-FOOT DIAMETER CIRCLE, WEED ONLY SELECTED UNDESIRABLE COLONIZING PLANTS, INCLUDING INVASIVE SPECIES. THE WETLANDS PROFESSIONAL SHALL TRAIN THE LANDSCAPER TO RECOGNIZE AND AVOID NATIVE SPECIES SUCH AS GOLDENRODS, SUMACS, AND VIRGINIA CREEPER. INITIALLY, FLAG DESIRABLE NATIVE SPECIES AS A TRAINING AID, ALSO FOLLOWING ANY PERSONNEL CHANGES.

6.0 INVASIVE PLANT CONTROL

1. THE ECOLOGIST/WETLANDS PROFESSIONAL WILL FLAG WOODY INVASIVES TO BE REMOVED IN THE VICINITY OF THE WETLAND CREATION AREAS (I.E., WITHIN 20 FEET) AT THE TIME OF PLAN IMPLEMENTATION, AND PREFERABLY JUST PRIOR TO ANY EARTHWORK.
2. TARGETED, RATHER THAN BROADCAST HERBICIDE APPLICATION METHODS, SHALL BE USED, FOR SPRING TREATMENT, CUT EARLY IN GROWING SEASON (LATE APRIL TO MID MAY) AND TREAT SMALL RESPROUTS IN EARLY SUMMER USING A LOW VOLUME SPRAYER. IN EARLY FALL, USE THE CUT-AND-PAINT METHOD, APPLYING HERBICIDE TO A RECENTLY

- CUT STEM WITHIN 10 MINUTES ON BROADLEAF INVASIVES. USE A SELECTIVE HERBICIDE LIKE TRICLOPYR FOUND IN BRUSH-GON, GARLON 3A OR 4A, AND OTHER PRODUCTS), RATHER THAN BROAD-SPECTRUM GLYPHOSATE, TO MINIMIZE IMPACTS ON NON-TARGET PLANTS AND SOIL FAUNA. SEE NOTES ON INVASIVE CONTROL.
3. INVASIVE PLANT CONTROL WITHIN THE AREAS OF WETLAND CREATION SHALL TAKE PLACE FOR THREE (3) YEARS FOLLOWING THE YEAR OF PLAN IMPLEMENTATION (I.E., YEARS 2 TO YEAR 4), FOLLOWING THE PROCEDURES PROHIBITED BY THE CT DEEP-SEA CONVENTITUT INVASIVE PLANT WORKING GROUP (CIPWG), AND/OR THE NATURE CONSERVANCY.
- 7.0 MONITORING**
1. INSPECTIONS BY A QUALIFIED WETLANDS PROFESSIONAL OR ECOLOGIST SHALL TAKE PLACE DURING THE GROWING SEASON. THE THREE MONTHS FOLLOWING INSTALLATION (I.E., YEAR ONE), AND TWICE DURING EACH OF THE THREE (3) WET GROWING SEASONS, AT THE MITIGATION AREAS (I.E., UPLANDS AND WETLANDS), ONCE IN LATE MAY THROUGH JUNE, AND ONCE IN EARLY FALL. ADDITIONAL INSPECTIONS MAY BE NECESSARY AT THE DISCRETION OF THE WETLANDS PROFESSIONAL TO ENSURE THE SUCCESS OF THE WETLAND CREATION.
2. DURING INSPECTIONS, CHECK MITIGATION AREAS FOR SEEDLINGS OF THE FOLLOWING INVASIVE SPECIES AND MECHANICALLY REMOVE: *JAPANESE ANOXYMIS, COMMON REED, MORROW'S HONEYSUCKLE, AUTUMN OLIVE, MULTIFLORA ROSE, ASIANIC BITTERSWEET, JAPANESE BARBERY, GLASSY BUCKTHORN, BURNING BUSH, MIGNORT, AND GARLIC MUSTARD*. INSPECTIONS SHALL BE DONE BY THE WETLANDS PROFESSIONAL, WHO COULD ALSO IDENTIFY OTHER INVASIVE PLANT SPECIES, BUT PERSONNEL TRAINED BY THE PROFESSIONAL IN IDENTIFICATION OF INVASIVE SEEDLINGS MAY ASSIST WITH MECHANICAL REMOVAL (WEEDING).
3. COLLECTING PLANTS IF THE WETLANDS PROFESSIONAL DETERMINES THAT EXCESSIVE NUMBERS OF SEEDLINGS OF A PARTICULAR NATIVE SPECIES HAVE GERMINATED ON SITE (E.G., CATTAIL). REMOVE THEM BY JOEING OR HAND PULLING. COLONIZATION BY A VARIETY OF NATIVE SPECIES IS EXPECTED AND IS DESIRABLE.
4. REMOVAL WEEDS/SUCH AS REPLACEMENT PLANTINGS, HYDROLOGIC ADJUSTMENTS, AND DEER BROWSING PROTECTION, MAY BE RECOMMENDED AND SUPERVISED BY THE WETLANDS PROFESSIONAL AND IMPLEMENTED BY THE PROPERTY OWNER/MAINTENANCE FOR SIGNIFICANT PROBLEMS.
5. A BRIEF REPORT TO THE TOWN'S IN-LAND WETLANDS AND WATERCOURSES AGENCY WILL SUBMITTED BY NOVEMBER 30TH OF THE MONITORING YEAR.

8.0 LONG-TERM MONITORING & MAINTENANCE

LONG-TERM MONITORING & MAINTENANCE SHALL BE UNDERTAKEN BY THE PROPERTY OWNER AT THE WETLAND CREATION AREAS (I.E. A, C-1, C-2), AS WELL AS AT THE BUFFER AREA (I.E. B) FOLLOWING THE 4-YEAR MONITORING PERIOD (SEE ABOVE), AND CONSIST OF THE FOLLOWING:

1. REMOVAL OF MAN-MADE DEBRIS (E.G., WIND-BLOWN) IN EARLY SPRING AND LATE FALL EACH YEAR.
2. MOWING AND/OR WEED-TRIMMING NO CLOSER THAN 40 INCHES TO GROUND SURFACE, SHALL BE UNDERTAKEN IN JUNE AND IN LATE OCTOBER OF ALTERNATE YEARS (E.G., JUNE ON ODD-NUMBERED YEARS, OCTOBER ON EVEN-NUMBERED YEARS). THE LANDSCAPER SHALL AVOID ALL PLANTED SHRUBS AND BENEFICIAL SHRUBS THAT HAVE VOLUNTEERED, BUT THE LATTER ONLY WITHIN AREA B. ALL OTHER SHRUBS (I.E., NATIVE OR INVASIVE) SHALL BE REMOVED FROM THE WETLAND CREATION AREAS, EXCEPT FOR MEADOW SWEET (SPECIES LATIFOLIA) WHICH WERE ORIGINALLY PLANTED IN WETLAND CREATION AREAS AS PER PLAN.
3. ALL TREE & SHRUB SPECIES (I.E., SEEDLINGS/SAPLINGS) SHALL BE CAREFULLY REMOVED, WITHOUT COMPROMISING THE LOWER TUNER, WITHIN THE WETLAND CREATION AREAS. THIS SHALL BE DONE ON AN ANNUAL BASIS, PREFERABLY DURING THE LATE SPRING OR EARLY SUMMER SEASON.
4. ALL INVASIVE PLANTS (I.E., WOODY AND HERBACEOUS) SHALL BE MECHANICALLY REMOVED (I.E., BY HAND FROM ALL PLANTED AND SEEDED MITIGATION AREAS IN MID-SPRING (E.G., MAY) AND LATE SUMMER (E.G., SEPTEMBER), ON AN ANNUAL BASIS.

Detail Sheet

Prepared For:
LAC Properties LLC
Providence Road
Brooklyn, Connecticut

DRAWING SCALE: 1"=10'

0 5 10 20



18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

LOUIS J. SOJA, JR.
LAC ARCHITECTURAL DESIGN

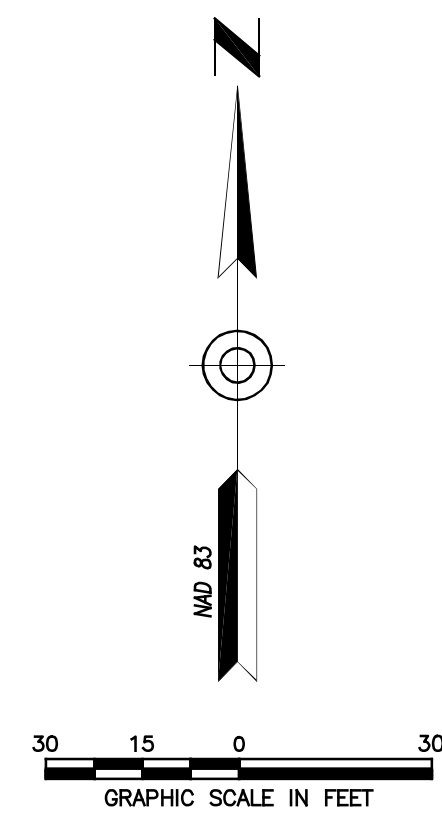
Sheet No. 3 OF 3 Project No. AS 202 Date: November 29, 2023

From: Syl Pauley <Syl.pauley@neccog.org>
Sent: Wednesday, March 13, 2024 10:47 AM
To: Margaret Washburn <M.Washburn@Brooklynct.org>
Cc: Town Planner <townplanner@Brooklynct.org>
Subject: LAC Route 6 --- Archer's Response to Review Comments of January 30, 2024

Margaret,

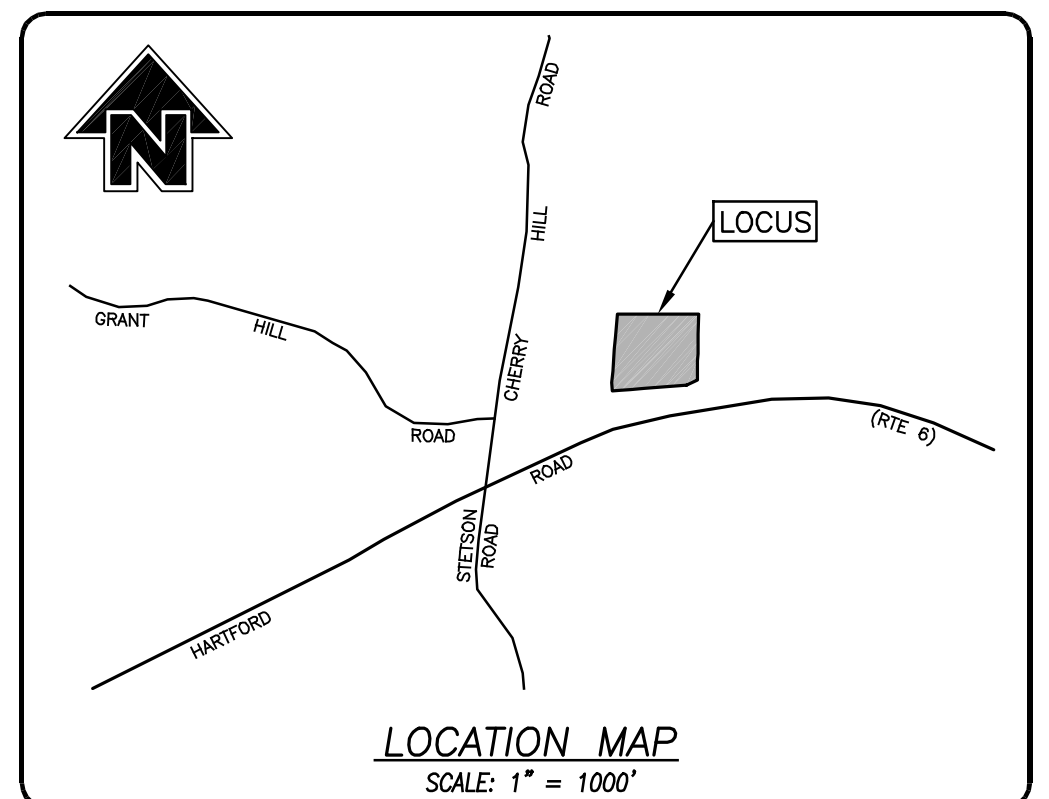
I have reviewed Archer Surveying, LLC written response to my review comments of January 30, 2024 and find them to be acceptable.

Syl



3 0"-6"
6"-28"
28"-68"
56"-70"
Ledge
GWT
Mottling
Restrictive

Percolation Rate	=	4 min. / in.
2 bedroom house requires	=	375 s.f. effective leaching area
Effective Leaching area	=	11 s.f. / l.f. of Eljen Mantis
Length Required	=	$375/11 = 34$ l.f.
Length Provided	=	45 l.f.
Min. Leaching System Spread (MLSS)	=	$42 \times 1.0 \times 1.0 = 42'$
MLSS Provided	=	45'
<u>LEACHING FIELD</u>		
One 45' row (9 sections) Eljen Mantis 536-8 septic leaching units		
Maximum depth into existing grade = 2"		
<u>Note:</u> Perc rate less than 5 minutes per inch requires 24" separation from mottling		



1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Field surveyed topographic features conform to a Class "T-2", "V-2" vertical accuracy.
 - LIDAR topographic features conform to a Class "T-D" vertical accuracy.
 - Survey Type: Improvement Location Survey.
 - Boundary Determination Category: Resurvey

3. Owner of record: Robert N. Ross & Teresa D. Ross.
24 Plaza St., Brooklyn, CT 06234
See Volume 715, Page 100

4. Parcel is shown as Lot #7 on Assessors Map #10.
5. Flood Hazard Zone location taken from FIRM Map #09015C0220F. Effective Date: Sept. 7, 2023.

6. Elevations shown are based on North American Vertical Datum of 1988 (NAVD 88). Contours shown are taken from Connecticut statewide LIDAR and supplemented with actual field survey. Contour interval = 2'.

7. Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 10/04/2023.

8. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS observations using the "Superior" statewide GPS network and RTK correction system.

9. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

MAP REFERENCES:

1. "Connecticut State Highway Department - Right of Way Map - Town of Brooklyn - Brooklyn - Hampton Road - From Brooklyn Village Westerly to the Hampton Town Line - Route U.S.6. - Scale: 1" = 40' - Date: November 29, 1935".
2. "Property Survey - Proposed Lot Split - Prepared for - Heather Paige Sinclair - Cherry Hill Road - Brooklyn, Connecticut - Scale: 1" = 40' - Date: September 2004 - Prepared by PC Survey Associates, LLC". On File in the Brooklyn Land Records in Map Vol. 17, Pg. 18.
3. "Subdivision Map - Prepared for - Heather Paige Sinclair - Cherry Hill Road - Brooklyn, Connecticut - Scale: 1" = 40' Date: October 2005 - Prepared by PC Survey Associates, LLC". On File in the Brooklyn Land Records in Map Vol. 17, Pg. 75.

Revisions to Map Item 17, p. 12:	
3/11/2024	PROPOSED WETLANDS MITIGATION
12/28/2023	FOR ISSUANCE OF ZONING PERMIT
DATE	DESCRIPTION
REVISIONS	

IMPROVEMENT LOCATION SURVEY
SEPTIC SYSTEM DESIGN PLAN
PREPARED FOR

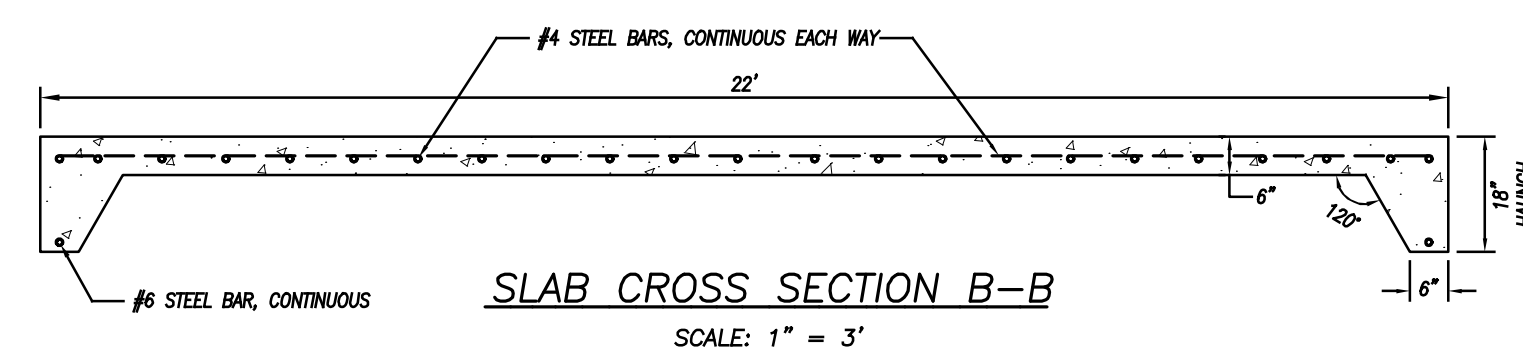
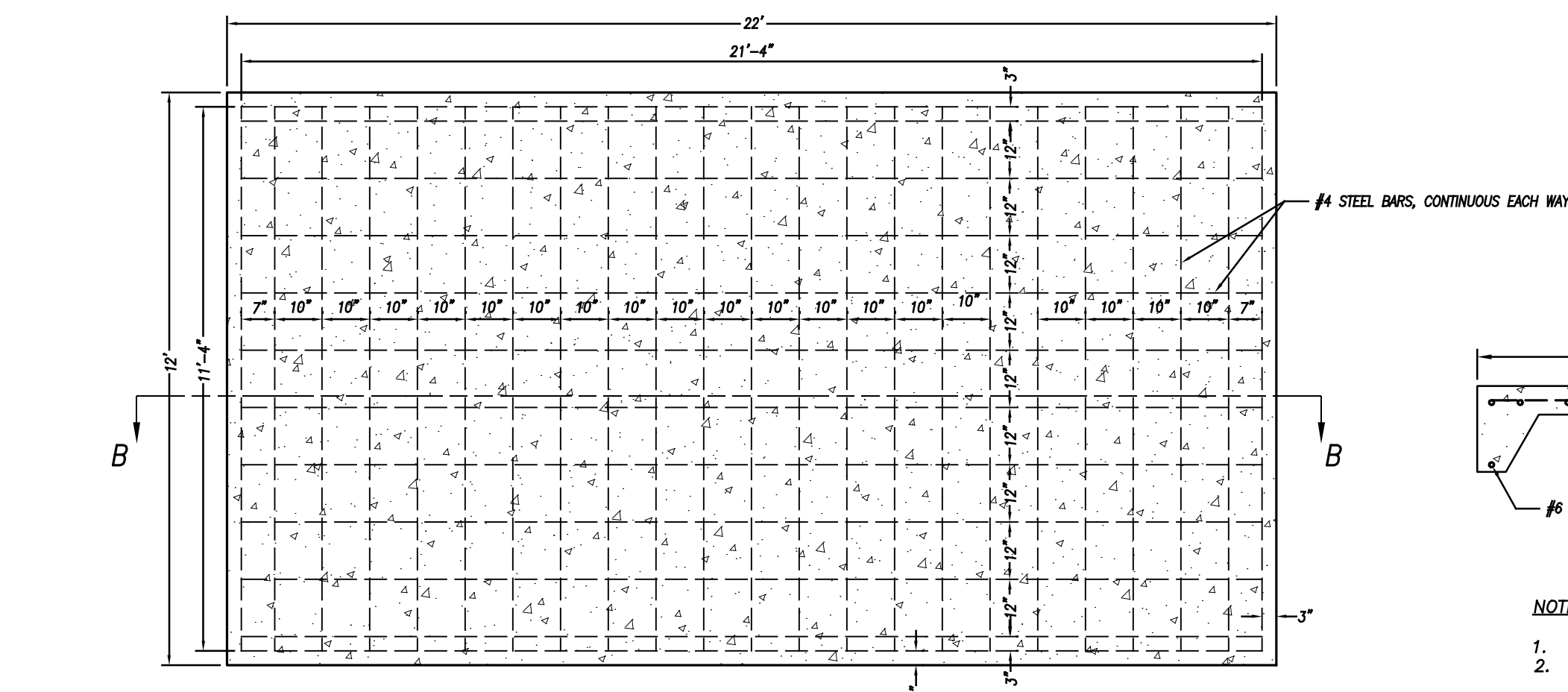
ROBERT N. ROSS &
TERESA D. ROSS

HARTFORD ROAD (RTE 6)
BROOKLYN, CONNECTICUT

 Killingly Engineering Associates
Civil Engineering & Surveying

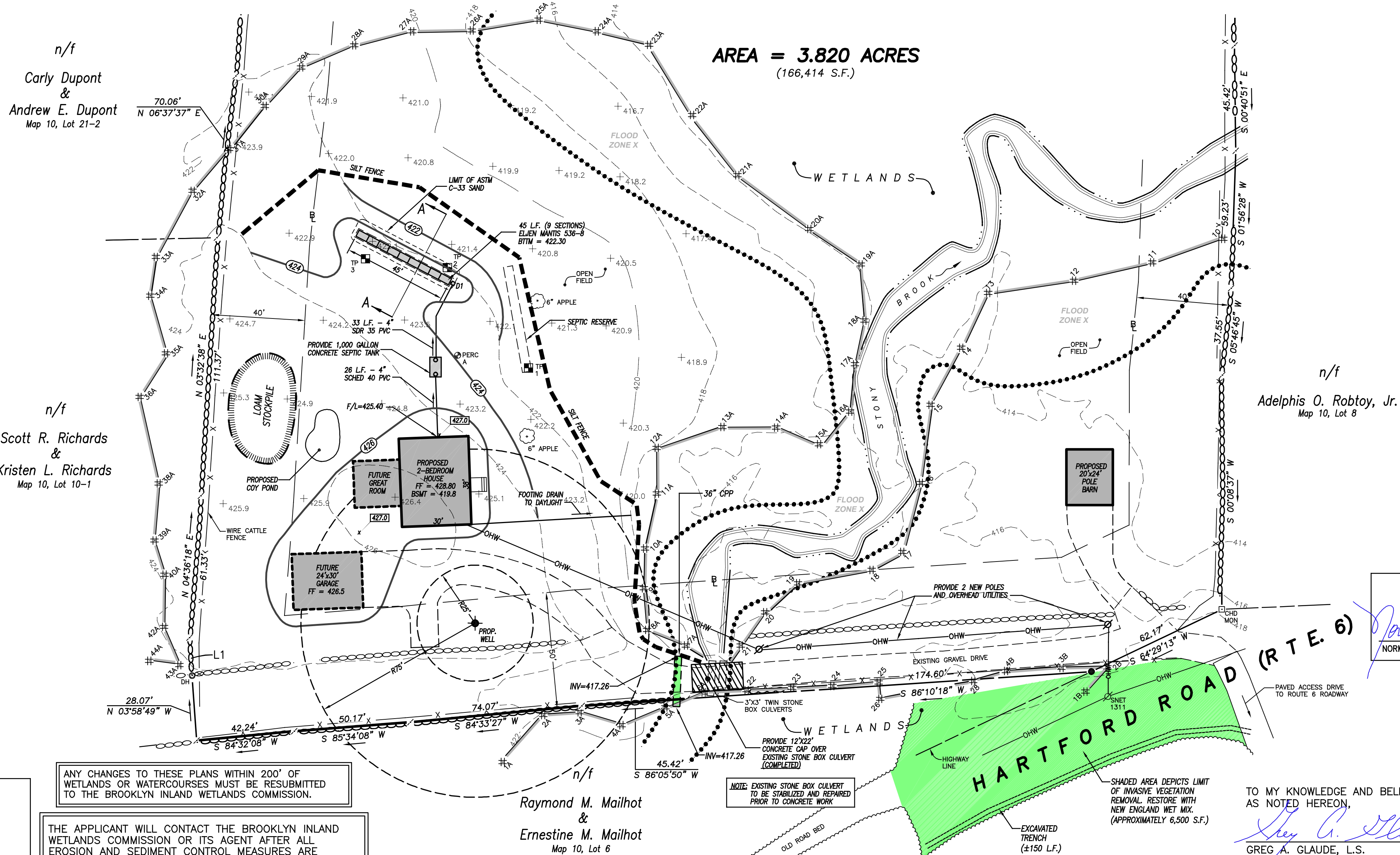
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 10/19/2023	DRAWN: RGS
SCALE: 1" = 30"	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 23116



1. PROVIDE CLASS "F" CONCRETE, 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
2. REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615 AND SHALL BE DEFORMED GRADE 60.

AREA = 3.820 ACRES
(166,414 S.F.)



LEGEND

- | | |
|-----------|-----------------------|
| F.F. | FINISHED FLOOR |
| ● | IRON PIN TO BE SET |
| ○ | IRON PIN FOUND |
| ⊙ OH | DRILL HOLE FOUND |
| □ CHD | CHD MONUMENT FOUND |
| □ CHD PNT | CHD MONUMENT POINT |
| ∅ | UTILITY POLE |
| □ CB | CATCH BASIN |
| -100 --- | EXISTING CONTOURS |
| (100) | PROPOSED CONTOURS |
| ≡ | INLAND WETLANDS FLAG |
| ≡ | BUILDING SETBACK LINE |
| ⊙ | PERCOLATION TEST HOLE |
| ⊙ | TEST HOLE |
| — OH/W | OVERHEAD WIRES |
| — | STONE WALL |
| — | SILT FENCE |
| | UNIT OF FLOOD ZONE |

ENDORSED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

ANY CHANGES TO THESE PLANS WITHIN 200' OF
WETLANDS OR WATERCOURSES MUST BE RESUBMITTED
TO THE BROOKLYN INLAND WETLANDS COMMISSION.

THE APPLICANT WILL CONTACT THE BROOKLYN INLAND
WETLANDS COMMISSION OR ITS AGENT AFTER ALL
EROSION AND SEDIMENT CONTROL MEASURES ARE
INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION
ON THE PROPERTY.

Raymond M. Mailhot
&
Ernestine M. Mailhot
Map 10, Lot 6

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE 5/11/2024

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

Hi Margaret,

I attended the site walk at 5 pm on Friday, 3/22. Attendees from IWWC were Messrs. Oliverson and Sorrentino and Ms. Booth. The Ross' were there, too. Norm Thibeault could not make it.

I observed the 36" HDPE pipe Mr. Ross installed on the south side of the existing pair of stone box culverts in the driveway. It functions as an additional way to discharge water from a swollen Stony Brook during very heavy rainfall. This installation will not impede any flow and in fact will help in keeping water from rising above the reinforced concrete pad, which has been installed over the box culverts. The construction is professional and stable from what I observed. After seeing this in person, I will not require storm water calculations or any other information regarding the new culvert from Killingly Engineering Associates, which I previously requested.

I also observed work that was done within the wetlands without permission. I will leave judgement on that up to you and the members of IWWC who were present at the meeting.

The meeting lasted about one-half hour.

Syl



INLAND WETLANDS & WATERCOURSES COMMISSION
TOWN OF BROOKLYN, CONECTICUT

pd. ✓ # 3431
\$110.00
4/4/24

Date

Application # DR 24-003

By

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT JEFF WEAVER MAILING ADDRESS P.O. Box 9, Brooklyn
APPLICANT'S INTEREST IN PROPERTY OWNER PHONE: CELL 860 450-9132 HOME: _____
E-MAIL ASK4WEAVER@CHARTER.NET

PROPERTY OWNER IF DIFFERENT _____ PHONE: CELL: _____ HOME: _____
MAILING ADDRESS _____ EMAIL _____

ENGINEER/SURVEYOR (IF ANY) ARCHER SURVEYING LLC

ATTORNEY (IF ANY) _____

PROPERTY LOCATION/ADDRESS) DAY STREETS

MAP # 43 LOT # 6 ZONE RA TOTAL ACRES 3.79 ACRES OF WETLANDS ON PROPERTY 0

PURPOSE AND DESCRIPTION OF THE ACTIVITY

RESIDENTIAL DEVELOPMENT, DRIVEWAY, SEPTIC SYSTEM, WELL
& MINOR GRADING

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED 0 CUBIC YDS _____ SQ FT _____

EXCAVATION PROPOSED 0 CUBIC YDS _____ SQ FT _____

LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE ✓ OFF SITE _____

TOTAL REGULATED AREA ALTERED: SQ FT 0 ACRES 0

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED):

NONE

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY 0 SQ FT _____ ACRES _____

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? NO IF YES, WHICH TOWN(S) _____

IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? NO

THE OWNER AND APPLICANT HEREBY GRANT THE **BROOKLYN IWWC**, THE **BOARD OF SELECTMAN** AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE **IWWC REGULATIONS OF THE TOWN OF BROOKLYN**. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

✓ APPLICANT: Jeffrey A Weaver DATE 4/3/24

— OWNER: Jeffrey A Weaver DATE 4/3/24

REQUIREMENTS

_____ STANDARD APPLICATION FEE \$ (\$150) _____ STATE FEE (\$60) _____ CHECK # _____

_____ NOTICE OF ACTION PUBLICATION FEE \$ _____ CHECK # _____

_____ PUBLIC HEARING PUBLICATION FEE (\$100) \$ _____ (SUBJECT TO CHANGE DEPENDING ON PAPER) CHECK# _____

_____ SIGNIFICANT ACTIVITY FEE (PUBLIC HEARING) (\$250) \$ _____ CHECK # _____

_____ COMPLETION OF CT DEEP REPORTING FORM

_____ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - **NUMBER TO BE DETERMINED BY STAFF**

_____ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

_____ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS.
APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED **SOIL SCIENTIST IDENTIFY THE WETLANDS**.

_____ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

_____ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

NO WORK TO BE DONE IN THE UPLAND REVIEW AREA

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP

INLAND WATER RESOURCES DIVISION
79 ELM ST.
HARTFORD, CT. 06106
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MA. 01742
1-860-343-4789

STAFF USE ONLY:

_____ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

_____ PERMIT REQUIRED:

_____ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ AUTHORIZED BY IWWC

_____ SIGNIFICANT ACTIVITY/PUBLIC HEARING

_____ NO PERMIT REQUIRED

_____ OUTSIDE OF UPLAND REVIEW AREA

_____ NO IMPACT

_____ CHAIR, BROOKLYN IWWC

_____ WETLANDS OFFICER

_____ TIMBER HARVEST



Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street – 3rd Floor, Hartford, CT 06106*

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
2. ACTION TAKEN (enter one code letter): _____
3. WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): BROOKLYN
Does this project cross municipal boundaries (check one)? Yes _____ No ☒
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
6. LOCATION (see directions for website information): USGS Quad Map Name: DANVERSON or Quad Number: _____
Subregional Drainage Basin Number: _____
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): JEFF WEAVER
8. NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): DAY ST
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent ☒
Description: RESIDENTIAL DEVELOPMENT
9. ACTIVITY PURPOSE CODE (enter one code letter): B
10. ACTIVITY TYPE CODE(S) (enter up to four code numbers): 14, _____, _____, _____
11. WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 4 acres Open Water Body: 4 acres Stream: 4 linear feet
12. UPLAND AREA ALTERED (type in acres as indicated): 4 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 4 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

Declaratory Ruling by Commission concerning Non-Regulated Uses and Uses Permitted as of Right FREE except they must pay for the \$60 State reporting fee and for the Notice of Action to be published in the newspaper. Get the fees when they apply.

- Forestry and farming activities permitted as of right as specified in Sec. 4.1 of the Brooklyn IWWC Regs. but excluding the filling of wetlands or watercourses, relocation of a watercourse with continual flow, road construction, erection of buildings not directly related to the farming operation, clear cutting of timber except for expansion of crop land, and mining of top soil, peat, sand, gravel, or similar material from a wetlands or watercourse
- Non-regulated uses as specified in Sec. 4.2 of the Brooklyn IWWC Regs.
- Subdivisions and resubdivisions in accordance with CGS Sec. 8-26 (e)
[Ex. Subdivision/Resubdivision with either: 1) no wetlands or watercourses at all or 2) no activity in the upland review area.]

Use the usual IWWC application form plus the CT DEEP reporting form.

These CT DEEP reporting forms must be reported to CT DEEP.

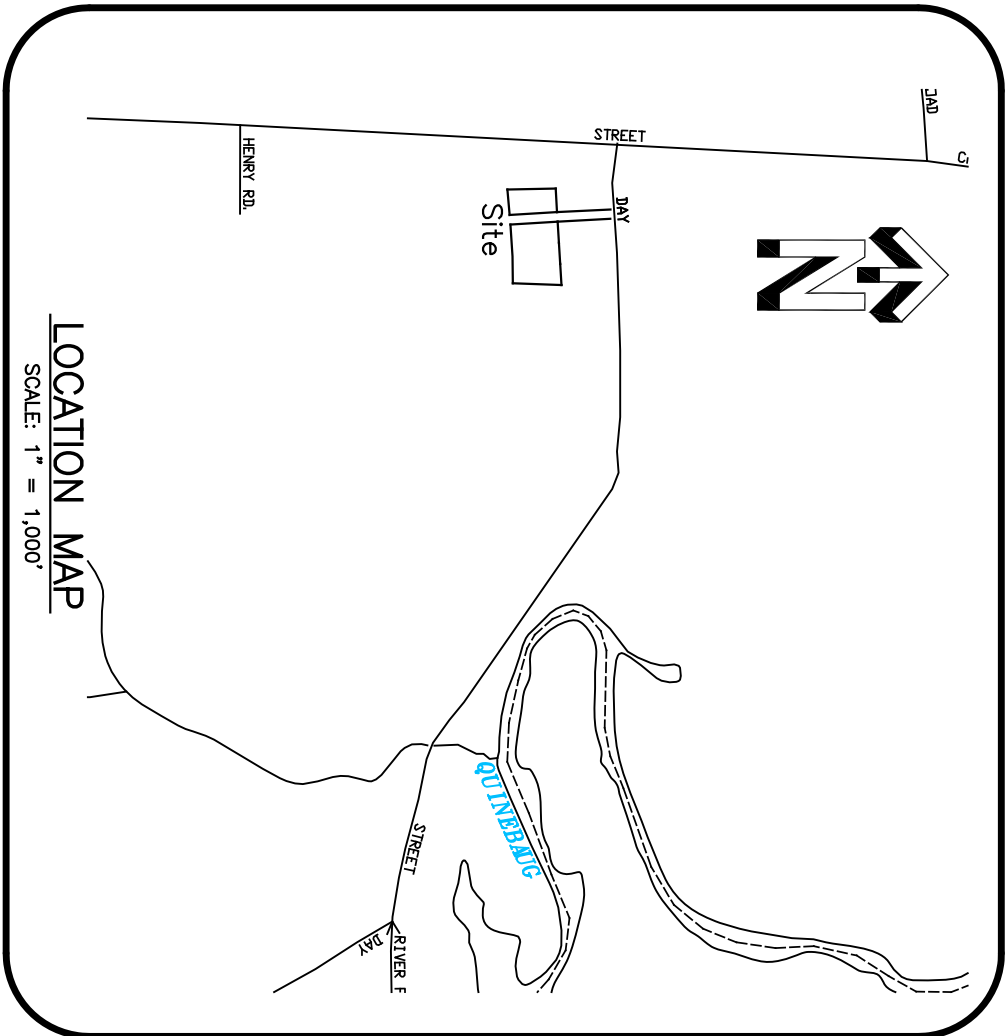
Number the applications in order that they come in any year, ex: DR – 22001.

1 LOT SUBDIVISION

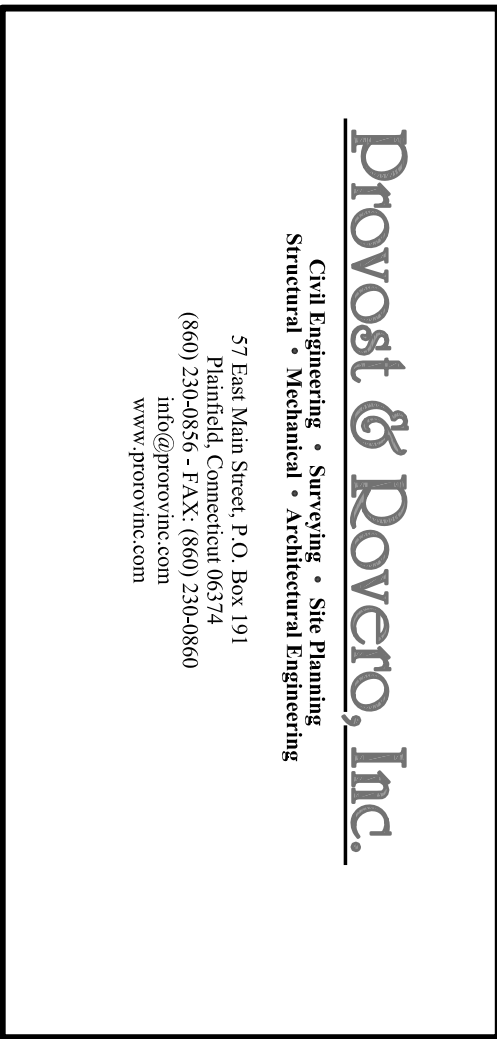
PREPARED FOR

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

February 26, 2024



PREPARED BY



INDEX OF DRAWINGS

COVER SHEET	SHEET 1 OF 6
EXISTING CONDITION	SHEET 2 OF 6
SUBDIVISION	SHEET 3 OF 6
SITE DEVELOPMENT PLAN	SHEET 4 OF 6
DETAIL SHEET #1	SHEET 5 OF 6
HISTORY & PARCEL MAP	SHEET 6 OF 6

APPROVED BY THE BROOKLYN
PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
Expiration date per section 8.26c of the Connecticut
General Statutes. Date: _____

APPROVED BY THE BROOKLYN
INLAND WETLANDS COMMISSION

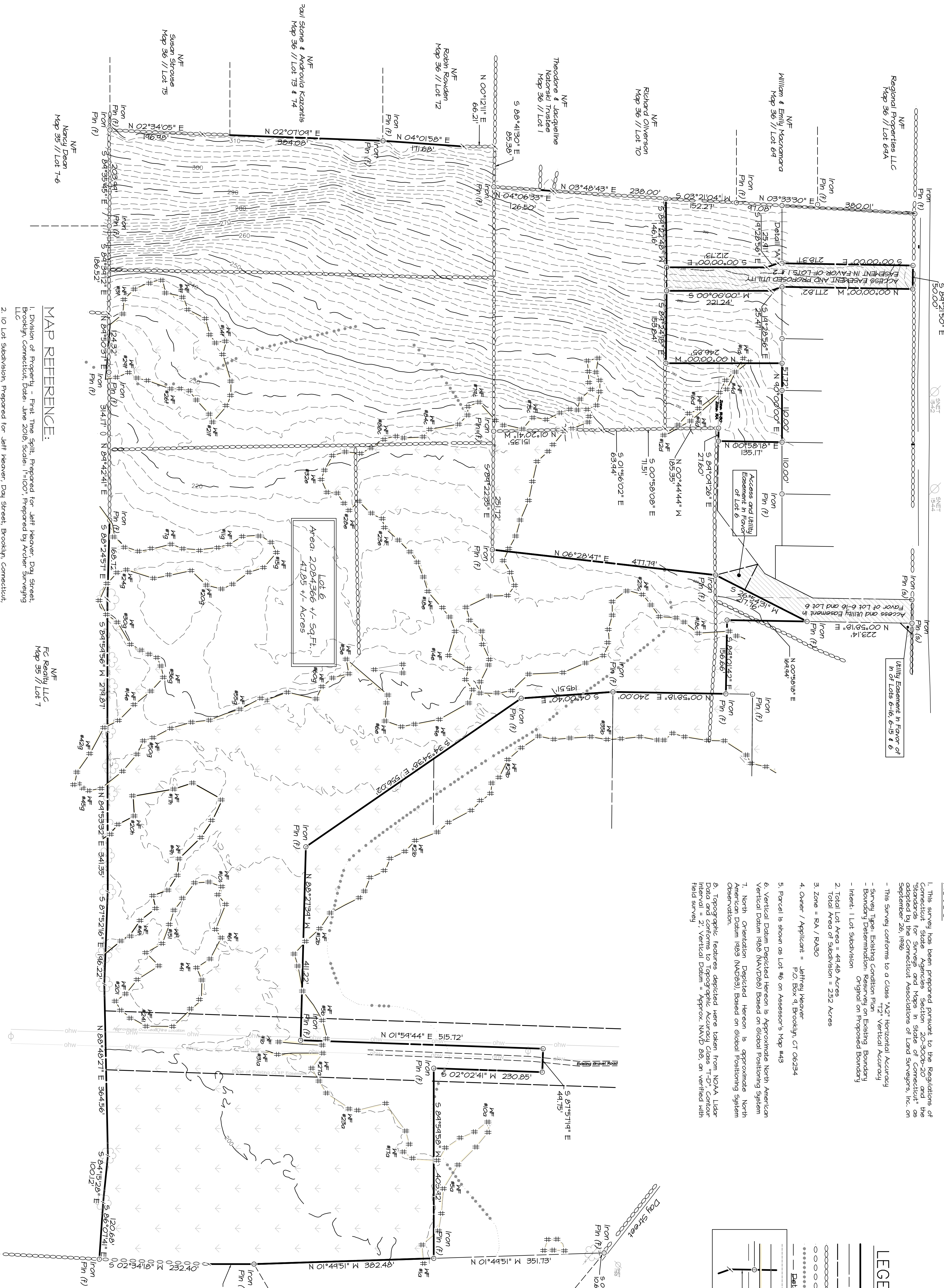
CHAIRMAN _____ DATE _____
Expiration date per section 22A-42A of the Connecticut
General Statutes. Date: _____

Notes

- 1. This survey has been prepared pursuant to the Regulations of the Connecticut State Agencies section 20-300b-20 and the Uniform Land Use Review Procedure Act, which were adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1946
- This Survey conforms to a Close "A" Horizontal Accuracy
- Survey Type: Existing Condition Plan
- Boundary Determination: Resurvey on Existing Boundary
- Intent: 1 Lot Subdivision
- 2. Total Lot Area = 44.48 Acres
- 3. Zone = RA / RA30
- 4. Owner / Applicant = Jeffrey Weaver
P.O. Box 9, Brooklyn, CT 06234
- 5. Parcel is shown as Lot #6 on Assessor's Map #43
- 6. Vertical Datum Depicted Hereon is Approximate North American Vertical Datum 1988 (NAVD88) Based on Global Positioning System
- 1. North Orientation Depicted Hereon is approximate North American Datum 1983 (NAD83). Based on Global Positioning System Observation.
- 2. Topographic features depicted were taken from NOAA Lidar Data and conforms to Topographic Accuracy Class "1-D", contour interval = 2'. Vertical Datum = Approx. NAVD 88, as verified with field survey

LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT
- STONEWALL
- 100 YEAR FLOOD LIMIT
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- PROPERTY POINT
- UTILITY POLE



MAP REFERENCE:

- 1. Division of Property - First Time Split, Prepared for Jeff Weaver, Dag Street, Brooklyn, Connecticut, Date: June 2016, Scale: 1"=100', Prepared by Archer Surveying LLC
- 2. 10 Lot Subdivision, Prepared for Jeff Weaver, Dag Street, Brooklyn, Connecticut, Date: May 2016, Scale: 1"=60', Prepared by Archer Surveying LLC
- 3. 6 Lot Subdivision, Prepared for Jeff Weaver, Dag Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC
- 4. 4 Lot Subdivision, Prepared for Jeff Weaver, Dag Street, Brooklyn, Connecticut, Date: July 2021, Scale: 1"=50', Prepared by Archer Surveying LLC
- 5. 2 Lot Subdivision, Prepared for Jeff Weaver, Dag Street, Brooklyn, Connecticut, Date: May 2023, Scale: 1"=40', Prepared by Archer Surveying LLC

FC Realty LLC
Map 35 // Lot 7

To My Knowledge and Belief this Map is substantially
Correct as noted hereon.

Paul M. Archer LL.S #10013

Date

REVISIONS

Existing Condition Plan

Prepared For:
Jeff Weaver
Dag Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=100'

0 50 100 200



18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

ARCHER & COMPANY

ARCHER - ENGINEER - SURVEYOR

LOUIS J. SOJA, JR.

Sheet No.

2 of 6

Project No.

2331

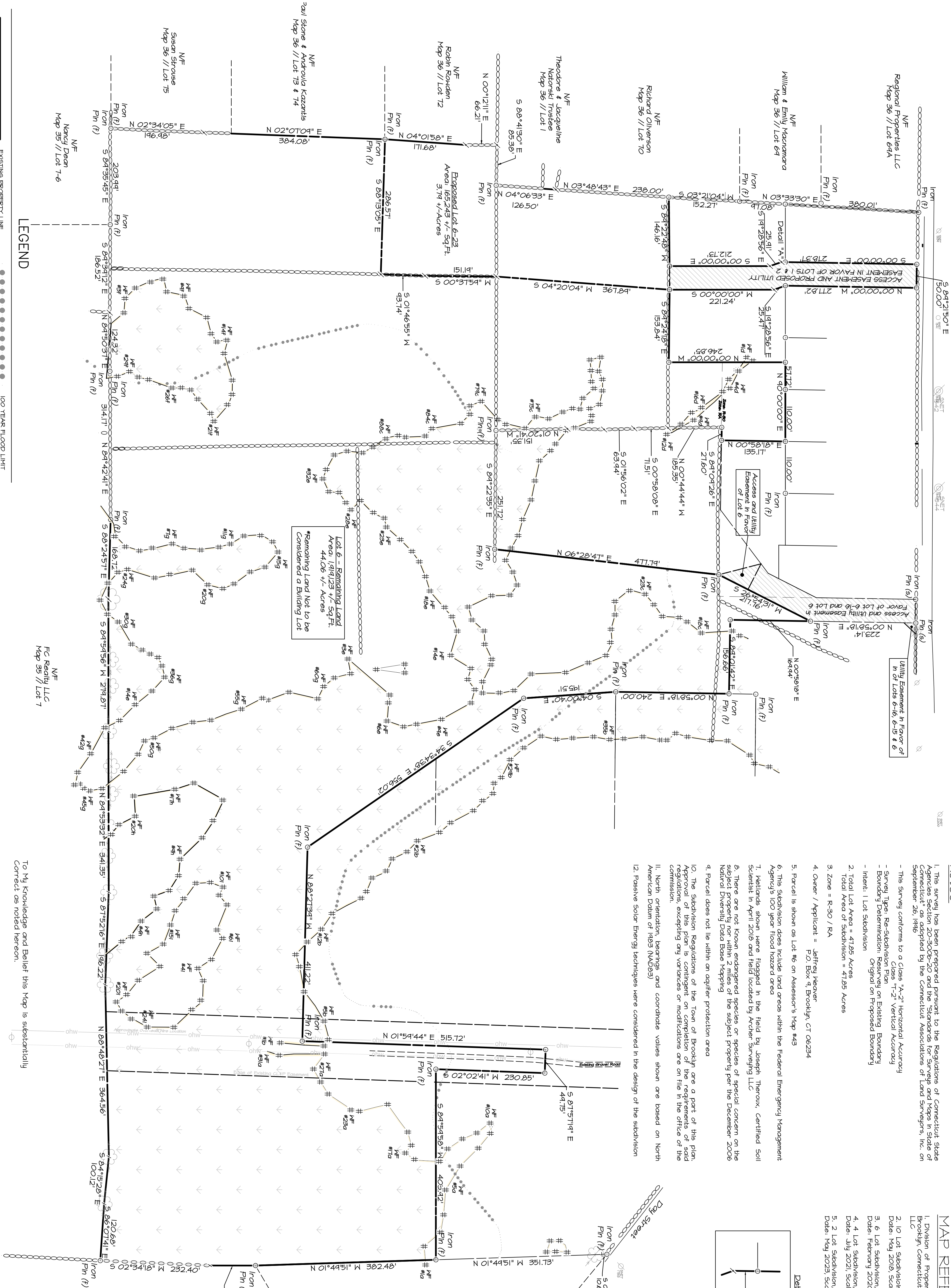
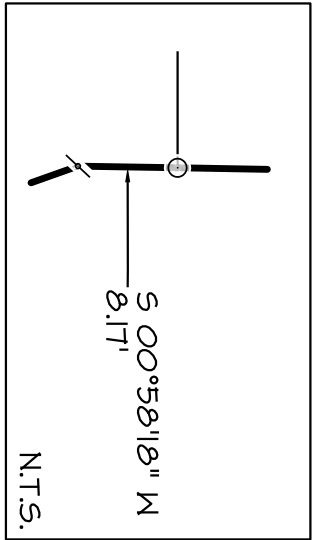
Date: February 26, 2024

Notes

1. This survey has been prepared pursuant to the Regulations of Connecticut state law, Chapter 54-2a, and the Regulations of the Connecticut State Surveyors, Inc. on September 26, 1946.
- This survey conforms to a Class "A-2" Horizontal Accuracy
- Survey Type: Re-subdivision Plan
- Boundary Determination: Resurvey on Existing Boundary
- Intent: 1 Lot Subdivision
2. Total Lot Area = 47.85 Acres
3. Zone = R-30 / RA
4. Owner / Applicant = Jeffrey Weaver
P.O. Box 9, Brooklyn, CT 06234
5. Parcel is shown as Lot #6 on Assessor's Map #43
6. This subdivision does include land areas within the Federal Emergency Management Agency's 100 year flood hazard area
7. Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2016 and field located by Archer Surveying LLC
8. There are not known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
9. Parcel does not lie within an aquifer protection area
10. The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
11. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
12. Passive Solar Energy techniques were considered in the design of the subdivision

MAP REFERENCE:

1. Division of Property - First Time Split, Prepared for Jeff Weaver, Dog Street, Brooklyn, Connecticut, Date: June 2016, Scale: 1"=100', Prepared by Archer Surveying LLC
2. 10 Lot Subdivision, Prepared for Jeff Weaver, Dog Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
3. 6 Lot Subdivision, Prepared for Jeff Weaver, Dog Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC
4. 4 Lot Subdivision, Prepared for Jeff Weaver, Dog Street, Brooklyn, Connecticut, Date: July 2021, Scale: 1"=50', Prepared by Archer Surveying LLC
5. 2 Lot Subdivision, Prepared for Jeff Weaver, Dog Street, Brooklyn, Connecticut, Date: May 2023, Scale: 1"=40', Prepared by Archer Surveying LLC



To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #T0013

Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

REVISIONS

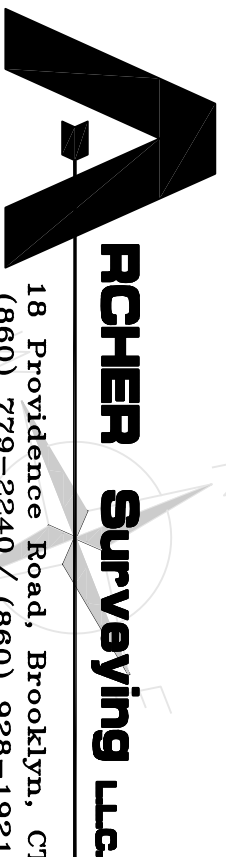
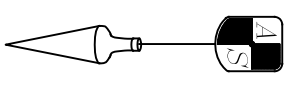
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DRAWING SCALE: 1"=100'



Subdivision Plan
"1 Lot Re-Subdivision"

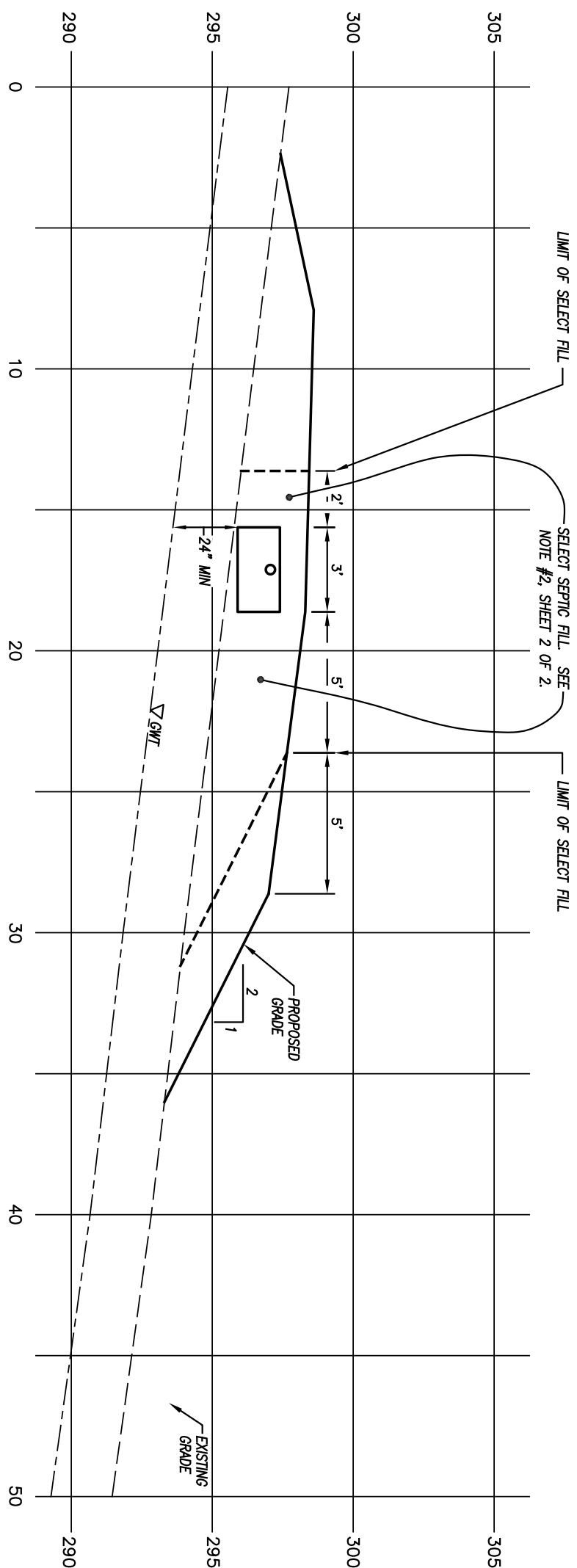
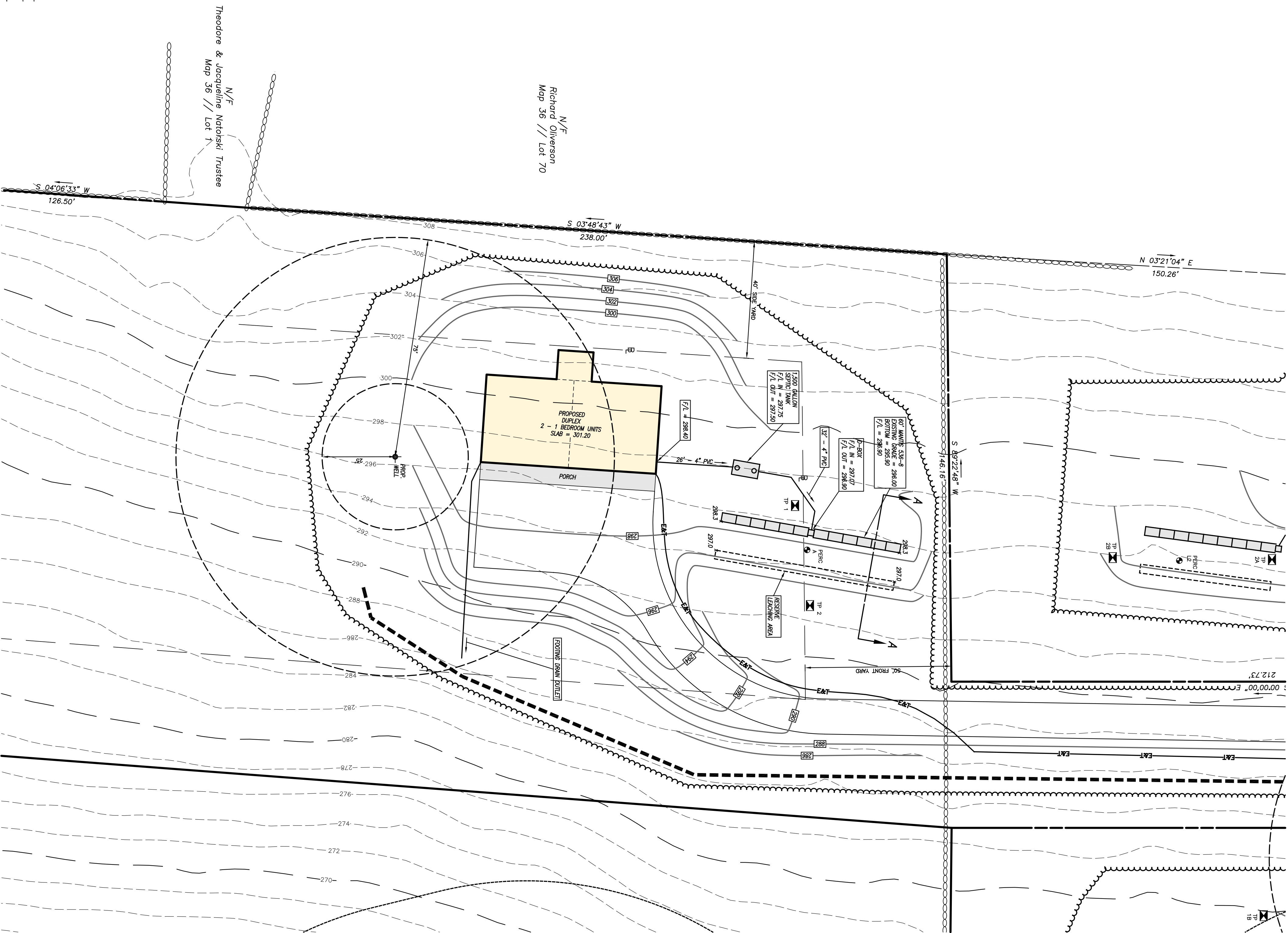
Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut



LOUIS J. SOIA, JR.
LAND SURVEYOR NO. 12345

Sheet No. 3 of 6 Project No. 2331 Date: February 26, 2024

O:\archer\surveying\Drawings\AS-2300-2399\2331a1a.dwg



CROSS SECTION "A-A"

SCALE: 1" = 5'

SEPTIC SYSTEM DESIGN DATA

Percolation Rate
= 3 min. / in.
2 Units @ 1 BR Requires
= 660 s.f. effective leaching area
Effective Leaching area
= 11.0 s.f. / l.f. of trench
= 660/11.0 = 60 l.f.
Length Required
= 12 units @ 5 l.f. = 60 l.f.
Length Provided
= 26.0 x 2.0 x 1.0 = 52'
(MLSS)
MLSS Provided
= 60'
LEACHING FIELD
60 l.f. Montis 535-8 leaching units (12 units @ 5 l.f. each)
Maximum depth into existing grade = 2'

TEST PIT OBSERVATIONS 10/19/2023
Observed by: Donovan Mac, NDPH

TEST PIT	DEPTH	PROFILE
1	0-4"	topsoil
	4-26"	orange brown sandy loam with fines
	26-45"	compact gray sandy loam with fines
	45-108"	Metling
	108-26"	GWT N/A
	Ledge	N/A
	Restrictive	28'
2	0-8"	topsoil
	8-26"	orange brown sandy loam with fines
	26-109"	compact gray sandy loam with fines
	109-26"	Metling
	GWT	N/A
	Ledge	N/A
	Restrictive	26'

PERCOLATION TEST 10/19/2023
Observed by: Donovan Mac, NDPH
Perc A
Depth: 22"
TIME DEPTH
10:08 2.5"
10:10 5"
10:12 7"
10:15 10"
10:18 12"
10:21 14"
10:24 16"
10:27 17"
Percolation Rate: 3 min./inch

ENGINEER	DATE
----------	------

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

PAUL M. ARCHER LL.S. #10019 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP
BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE
SIGNATURE APPEARS HEREON.

SURVEY NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut, State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018. This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose. — This survey conforms to a Class "C" horizontal accuracy.
- Topographic features conform to a Class "T-2" accuracy.
- Survey Type: General Location Survey.
- The subject parcel is shown as a portion of lot #6, on assessor's map #43.
- Zone: PA.
- Owner of record: Jeffrey Weaver P.O. Box 9 Brooklyn, CT 06234
- The intent of this survey is to show the residential development of the subject property.
- Elevations based on NAD 1988. Contour Interval = 2'.
- North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
- The locations of existing utilities are based on surface evidence and other sources of information. Any construction is to commence contact ONLY BEFORE 100 DWS at 1-800-922-4455.
- Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.

LEGEND
TEST PIT
WETLAND FLAG
STONE WALL
EXISTING INDEX CONTOUR
EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED UTILITIES
PROPOSED CLEARING LIMITS
PROPOSED SILT FENCE
BUILDING SETBACK LINE

SURVEYOR SHALL SET A BENCH
MARK IN THE AREA OF THE
SEPTIC SYSTEM AT THE TIME
OF CONSTRUCTION STAKE-OUT.

Provoost & Dovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering
57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-8856 • FAX: (860) 230-8860
www.provoostinc.com

REVISIONS

DATE DESCRIPTION

Septic System Design Plan

Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

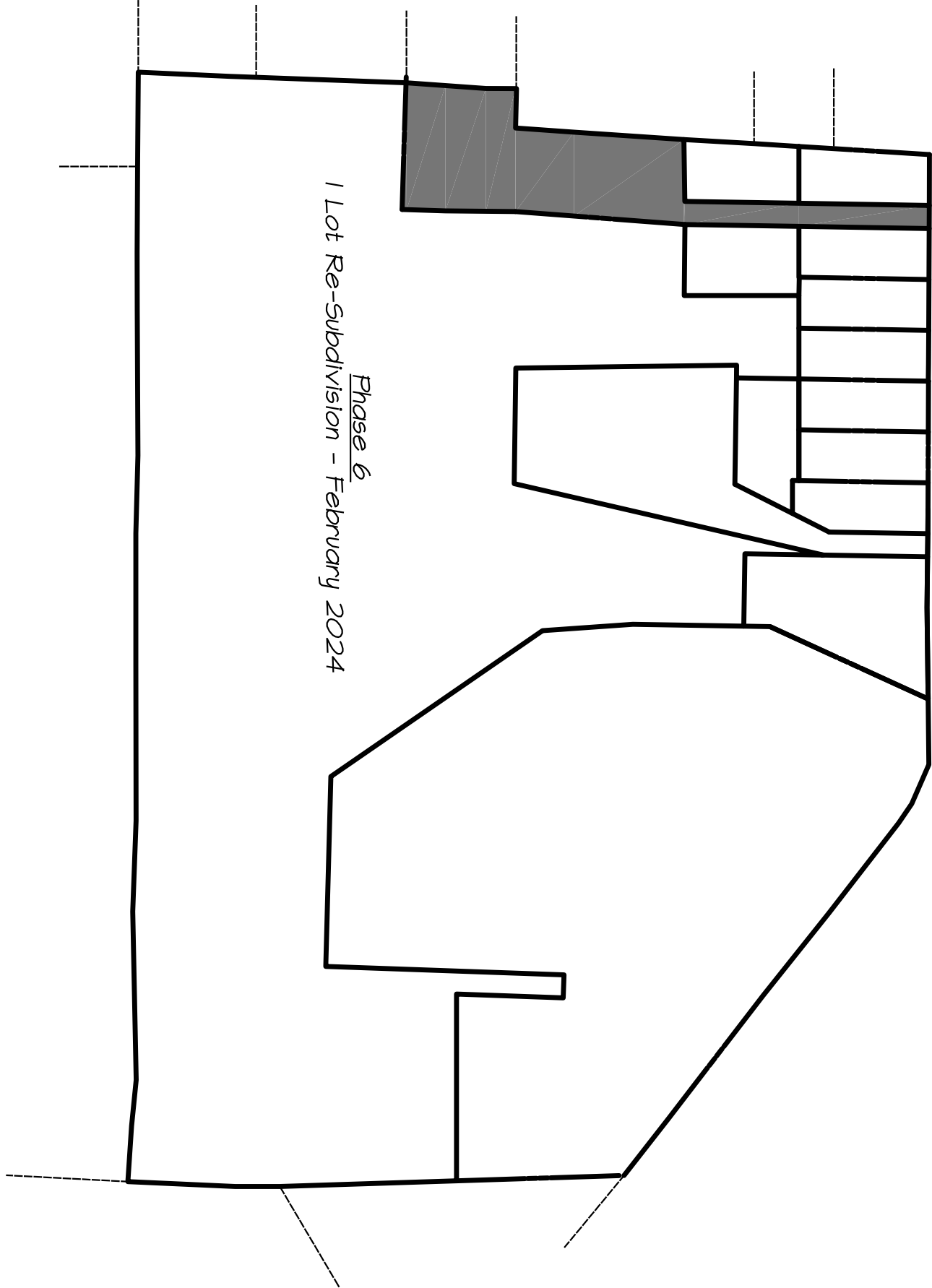
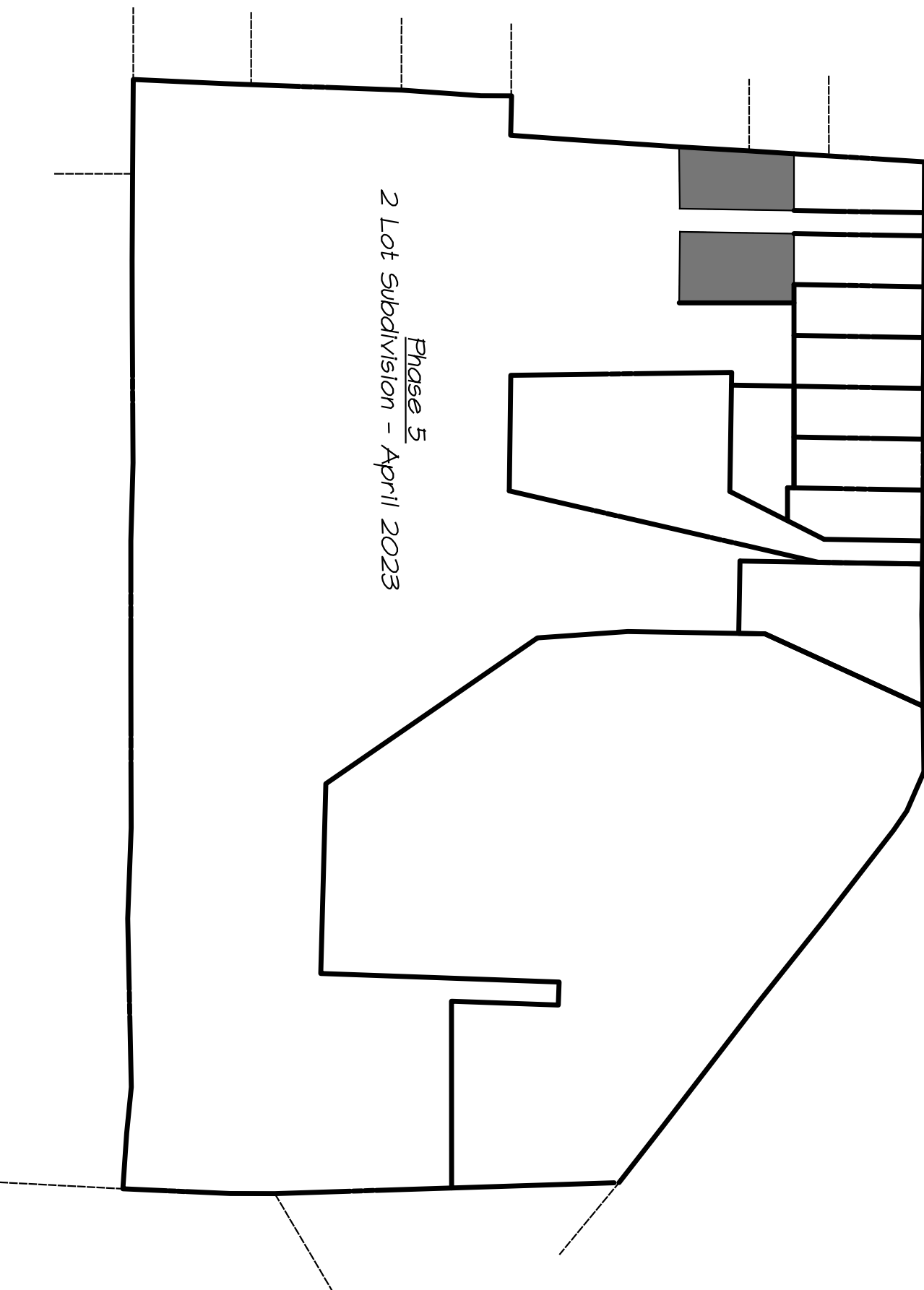
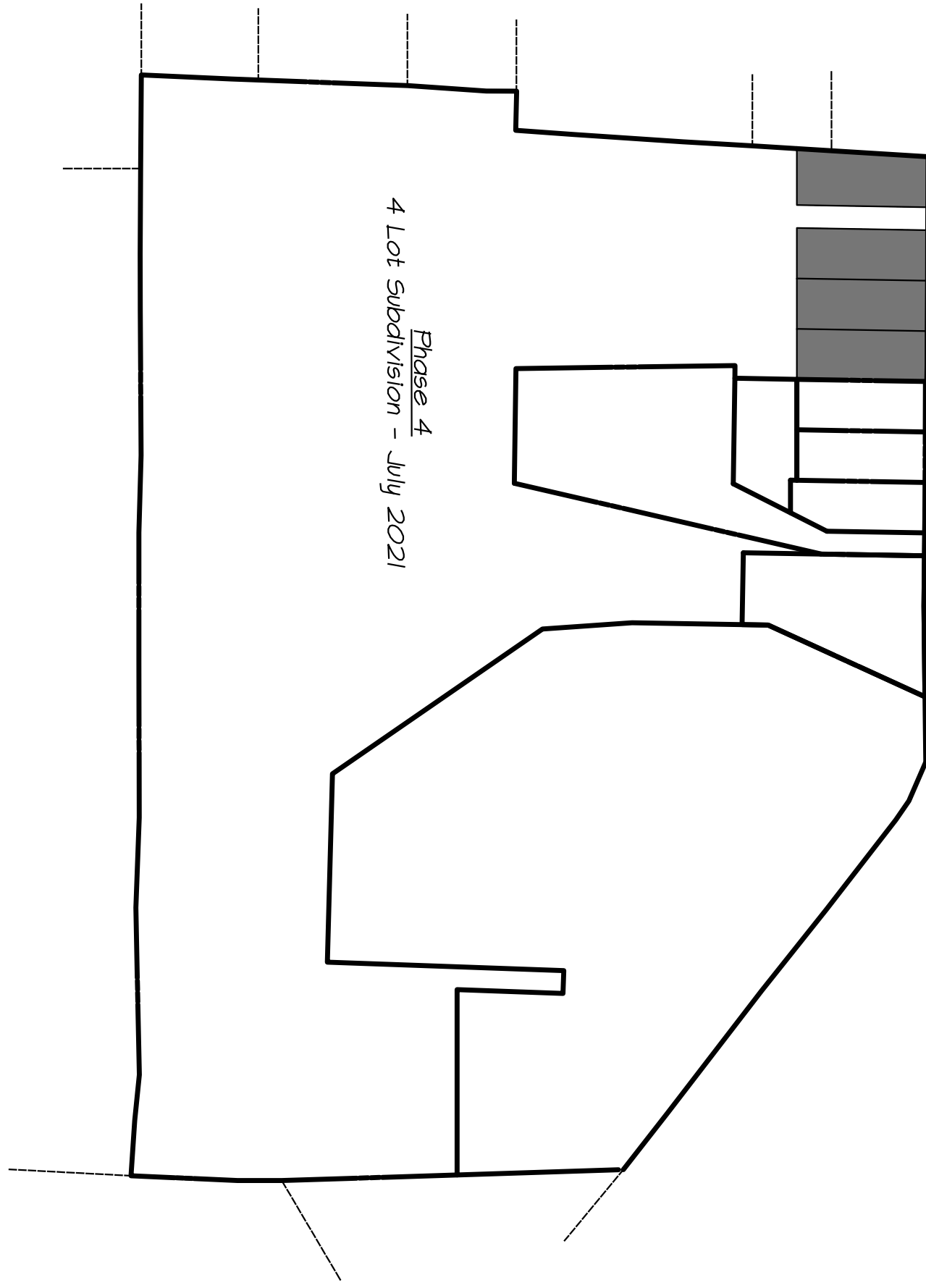
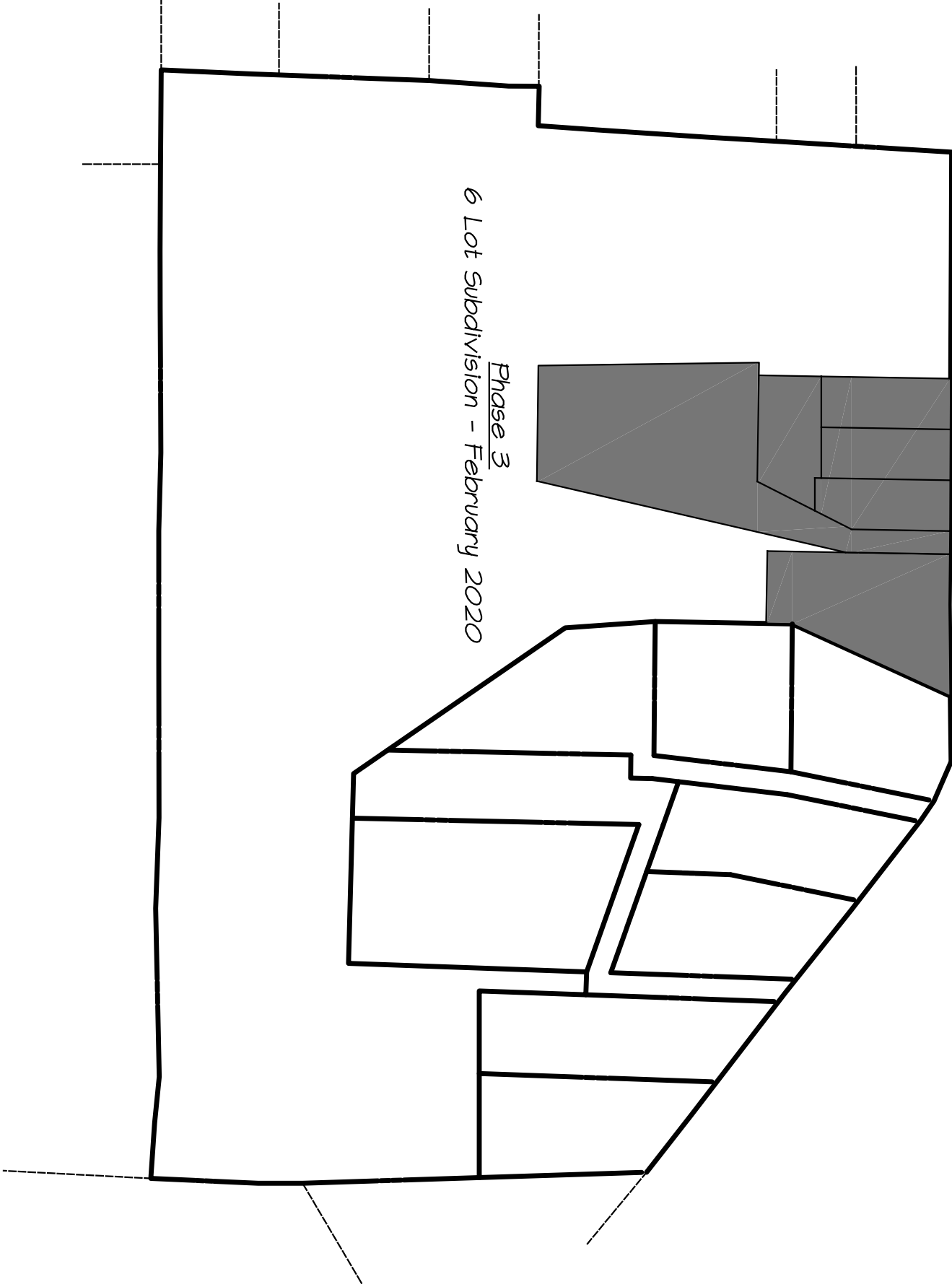
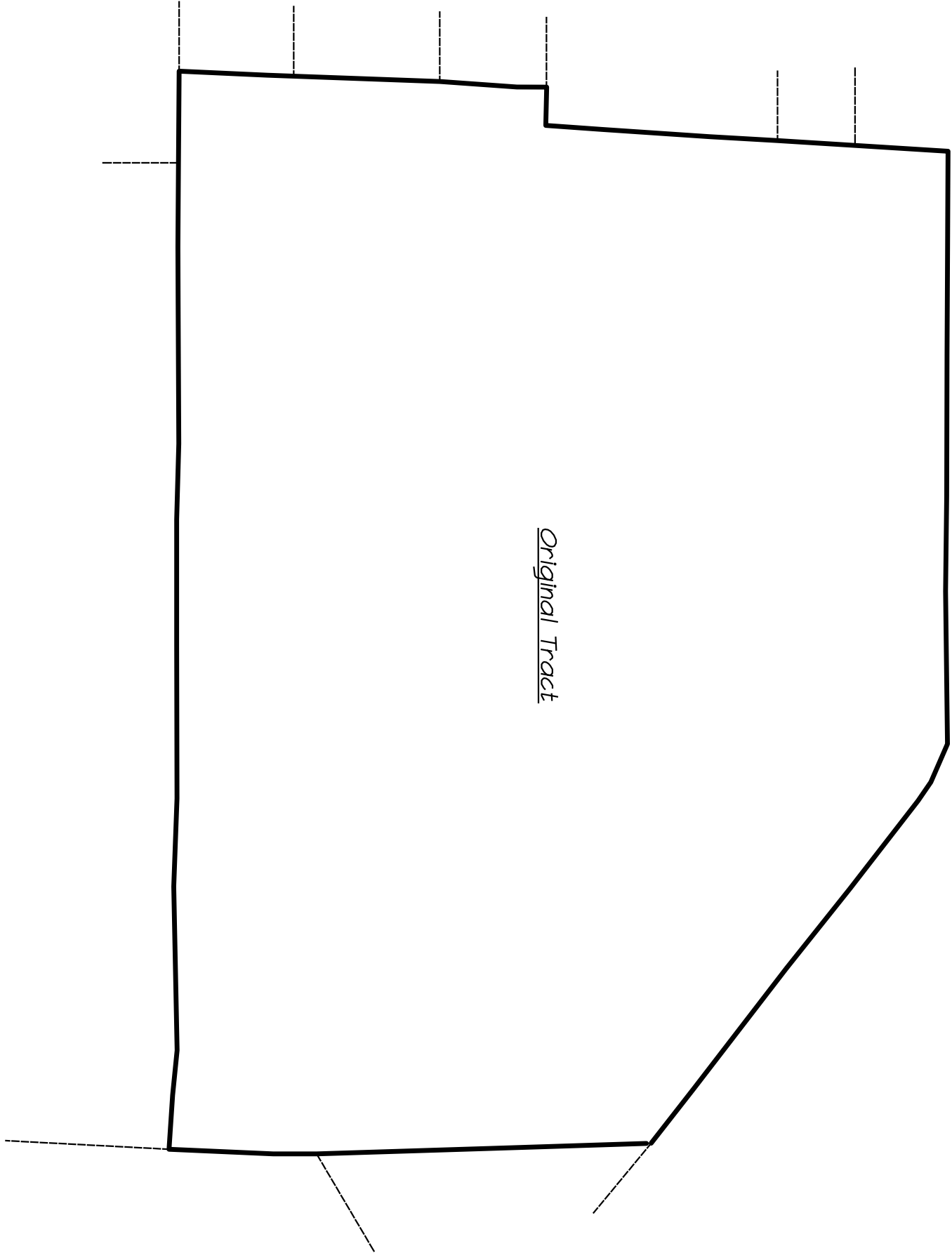
DRAWING SCALE: 1"=20'

0 20' 40'

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

LOUIS J. SOJA, JR.
JULY 20TH 2024

Sheet No. 4 of 6 Project No. 2331 Date: February 26, 2024



Grantor	Grantee	Date	Vol. / Pg.
Michael & Sara Lancer	Michael & Sara Lancer	October 1964	48 / 266
Harold Lancer	Harold Lancer	July 1984	46 / 374
Harold Lancer	Harold Lancer Trustee	July 1977	184 / 84
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 244
Jeffrey A Weaver	Jeffrey A Weaver	June 2018	611 / 81

History Plan

"1 Lot Re-Subdivision"

Prepared For:

Jeffrey Weaver

Day Street

Brooklyn, Connecticut

REVISIONS	
DATE	DESCRIPTION

18 Providence Road, Brooklyn, CT

(860) 779-2240

Sheet No.

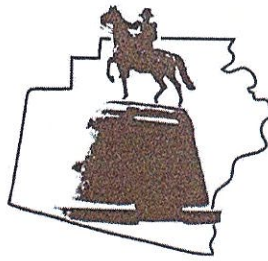
6 of 6

Project No.

231

Date:

February 26, 2024



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands ☒

Zoning Enforcement ☒

Blight Enforcement ☐

SITE INSPECTION NUMBER

1 2 3 4 5

Map 43 Lot 6 Day St / 373 Day St.

Address

4 / 8 / 24

Date

I met Jeff Weaver, inspected +
took photographs. There are no
zoning or IWWC issues.

The purpose of this inspection was
a request to approve a one-lot
subdivision as a Declaratory Ruling
through the IWWC.

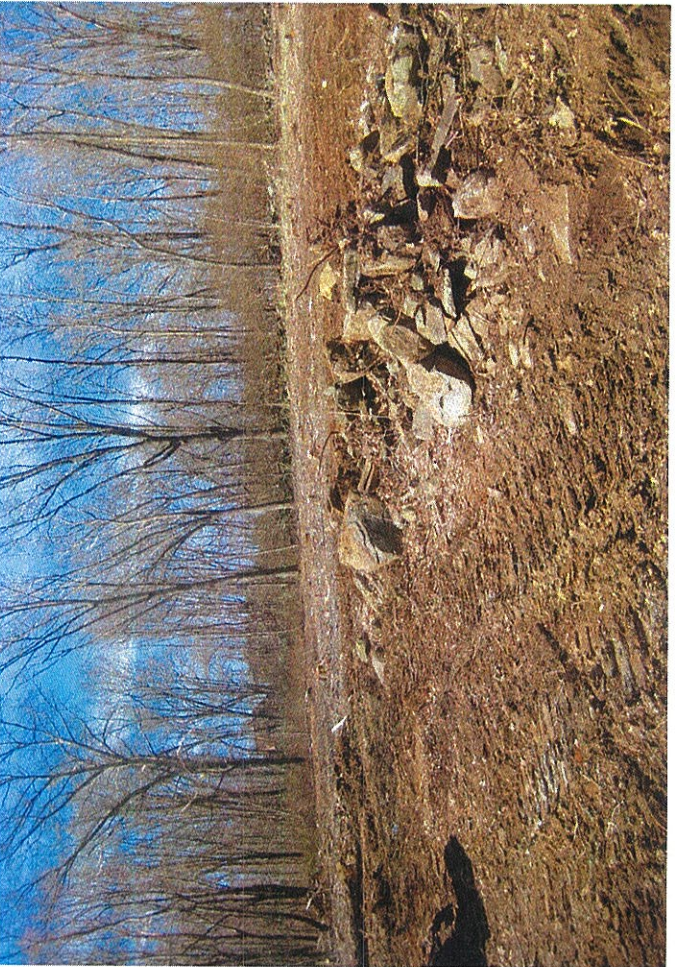
There are no wetlands on the 1-lot SUBD.
There is no upland review area on the
1-lot SUBD.

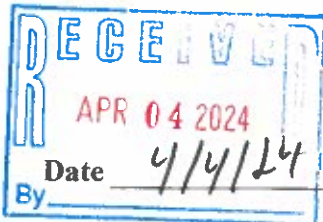
Commission Representative

M. Washburn

Owner or Authorized Signature

Jeffrey A Weaver





INLAND WETLANDS & WATERCOURSES COMMISSION
TOWN OF BROOKLYN, CONECTICUT

Application # IWWC 24-003

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT Hilltop Contractors MAILING ADDRESS 32 Railroad St Pomfret Center CT 06259
APPLICANT'S INTEREST IN PROPERTY Owner PHONE: CELL 860-234-6794 HOME: 860-315-5441
E-MAIL p.thurber@hilltopct.com

PROPERTY OWNER IF DIFFERENT Same PHONE: CELL: _____ HOME: _____
MAILING ADDRESS _____ EMAIL _____

ENGINEER/SURVEYOR (IF ANY)
KA & B Technical Services LLC - David Held

ATTORNEY (IF ANY) _____

PROPERTY LOCATION/ADDRESS) lot 14 Gorman Rd

MAP # 32 LOT # 15-14 ZONE R-30 TOTAL ACRES 1.263 ACRES OF WETLANDS ON PROPERTY .35

PURPOSE AND DESCRIPTION OF THE ACTIVITY

Construction of new single family dwelling

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED 200 CUBIC YDS _____ SQ FT 5000

EXCAVATION PROPOSED 500 CUBIC YDS _____ SQ FT 7200

LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE X OFF SITE _____

TOTAL REGULATED AREA ALTERED: SQ FT 7200 ACRES .17

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED):

excavate for house & septic system. Backfill & fill to meet existing grade

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY _____ SQ FT _____ ACRES _____

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? No IF YES, WHICH TOWN(S) _____

IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? No

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: [Signature] DATE 4/4/24

OWNER: [Signature] DATE 4/4/24

REQUIREMENTS

_____ STANDARD APPLICATION FEE \$ (\$150) _____ STATE FEE (\$60) _____ CHECK # _____

_____ NOTICE OF ACTION PUBLICATION FEE \$ _____ CHECK # _____

_____ PUBLIC HEARING PUBLICATION FEE (\$100) \$ _____ (SUBJECT TO CHANGE DEPENDING ON PAPER) CHECK# _____

_____ SIGNIFICANT ACTIVITY FEE (PUBLIC HEARING) (\$250) \$ _____ CHECK # _____

_____ COMPLETION OF CT DEEP REPORTING FORM

_____ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

_____ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

_____ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS.
APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

_____ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

_____ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP

INLAND WATER RESOURCES DIVISION
79 ELM ST.
HARTFORD, CT. 06106
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MA. 01742
1-860-343-4789

STAFF USE ONLY:

____ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

____ PERMIT REQUIRED:

____ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

____ CHAIR, BROOKLYN IWWC

____ WETLANDS OFFICER

____ AUTHORIZED BY IWWC

____ SIGNIFICANT ACTIVITY/PUBLIC HEARING

____ NO PERMIT REQUIRED

____ OUTSIDE OF UPLAND REVIEW AREA

____ NO IMPACT

____ CHAIR, BROOKLYN IWWC

____ WETLANDS OFFICER

____ TIMBER HARVEST



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET • UNIT 4 • BROOKLYN, CT 06234
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

March 20, 2024

KA&G Investments, LLC.
90 Brown Road
Voluntown, CT 06384

SUBJECT: FILE #24000183 -- GORMAN ROAD #, MAP #32, LOT #15-1-14, BROOKLYN, CT

Dear KA&G Investments, LLC.:

The subject plan (KA&G TECHNICAL SERVICES, LLC., HILLTOP, DRAWN 02/13/2024) submitted on 2/27/2024 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 3 bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 10 feet and 12 feet of septic system.
3. A bottom of excavation inspection is required once the topsoil and fill material have been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
7. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Mircoux, RS
Senior Sanitarian-NDDH

cc: Brooklyn Building Official; KA&G Technical Services, LLC.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: _____ month: _____
2. ACTION TAKEN (see instructions - one code only): _____
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): Brooklyn
does this project cross municipal boundaries (check one)? yes ☐ no ☒
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
6. LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Hilltop Contractors - Peter Thurlow
8. NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): lot 15-1-14 Gorman Rd
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☒ description: construction of new single family dwelling within wetland review area
9. ACTIVITY PURPOSE CODE (see instructions - one code only): B
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 1 2 1d
11. WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
12. UPLAND AREA ALTERED (must provide acres): 1 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Windham County Connecticut, U.S.D.A. Soil Conservation Service 1983.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent reoccurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 – October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

SEPTIC SYSTEM CONSTRUCTION NOTES

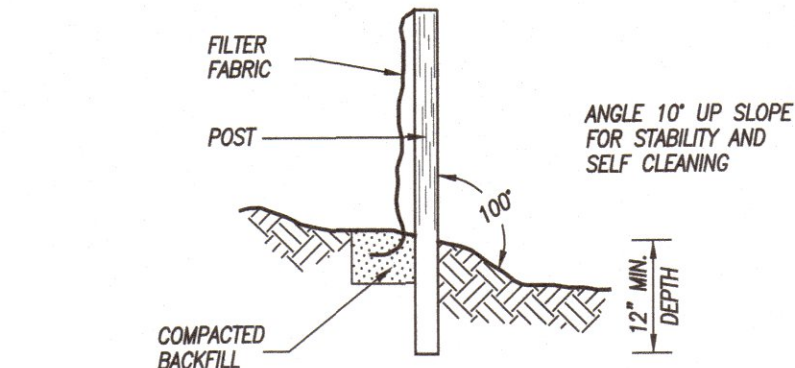
1. The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
2. Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% – 100%	70% – 100%
No. 40	10% – 50%	10% – 75%
No. 100	0% – 20%	0% – 5%
No. 200	0% – 5%	0% – 2.5%

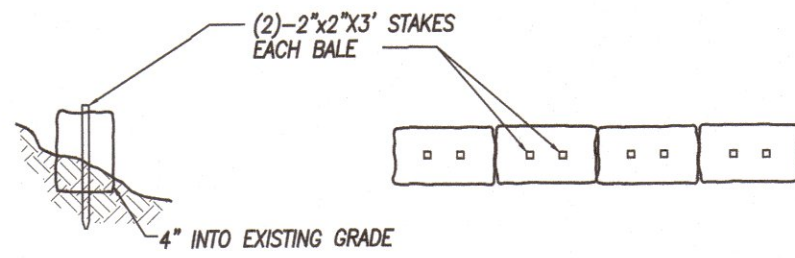
Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of ten feet (10') beyond the last leaching trench before tapering off.

3. Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
4. Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
5. All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.
6. Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.
7. Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-2729 or ASTM D-3350, 1500 lb. minimum crush.
8. Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.
9. Force main pressure pipe from pump chamber to the leaching field shall be 2" diameter pvc meeting ASTM D 2241 SDR 21.
10. Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.



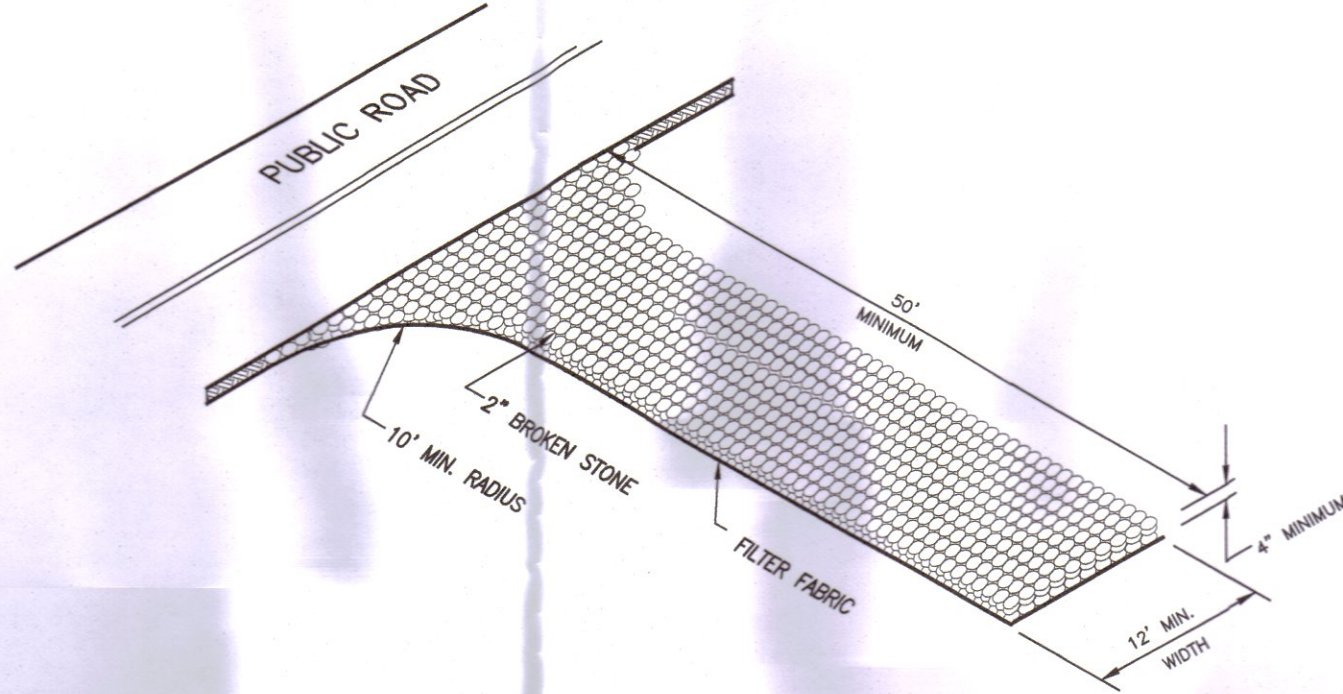
SILT FENCE

NOT TO SCALE



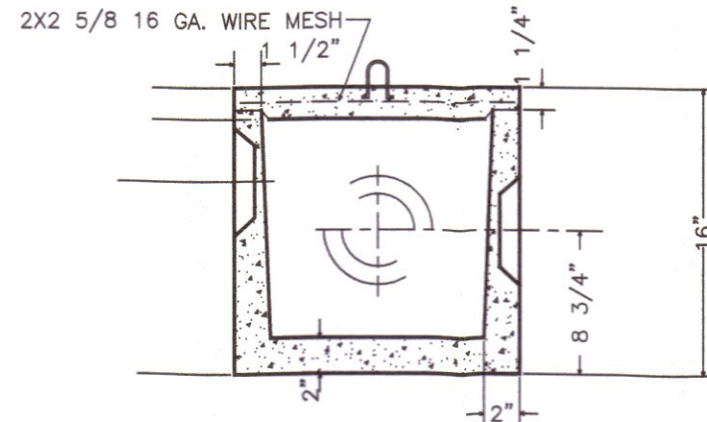
HAYBALE BARRIER

NOT TO SCALE



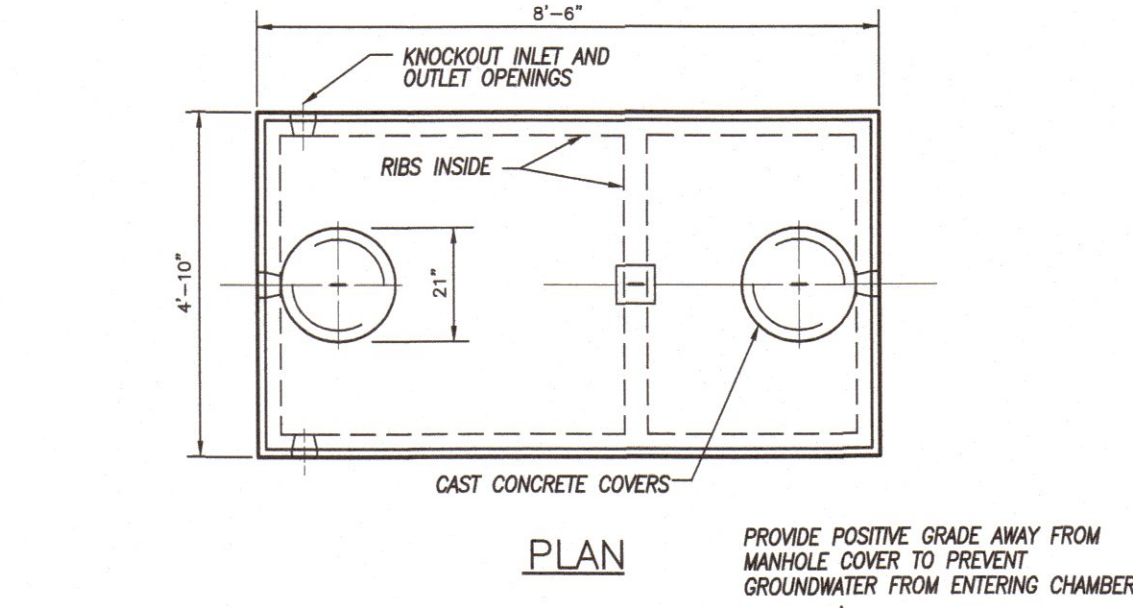
CONSTRUCTION ENTRANCE

NOT TO SCALE

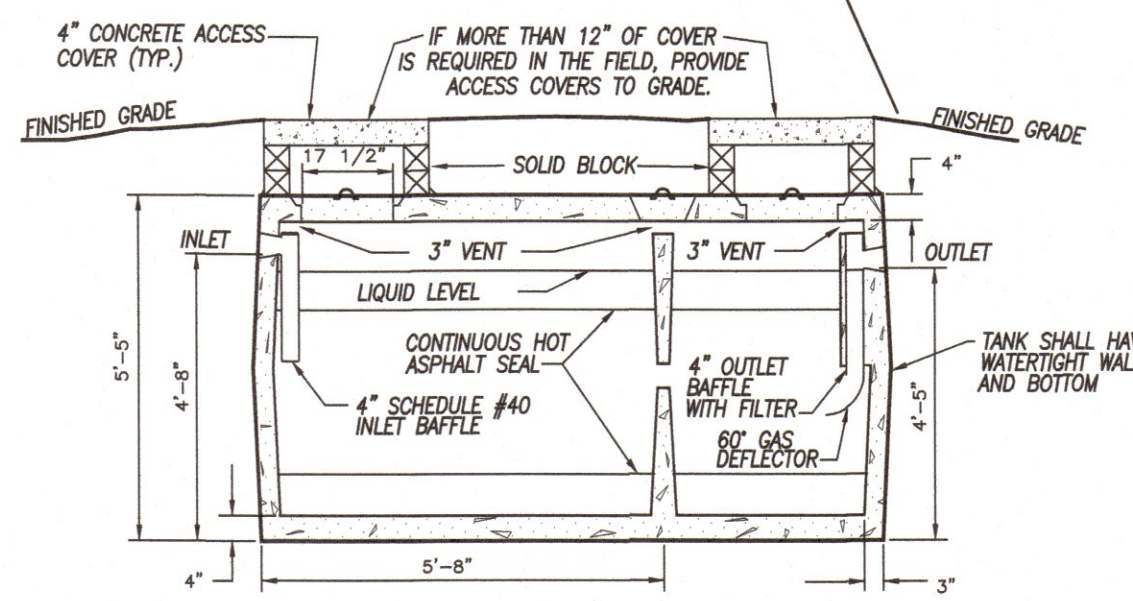


STANDARD D-BOX

NOT TO SCALE



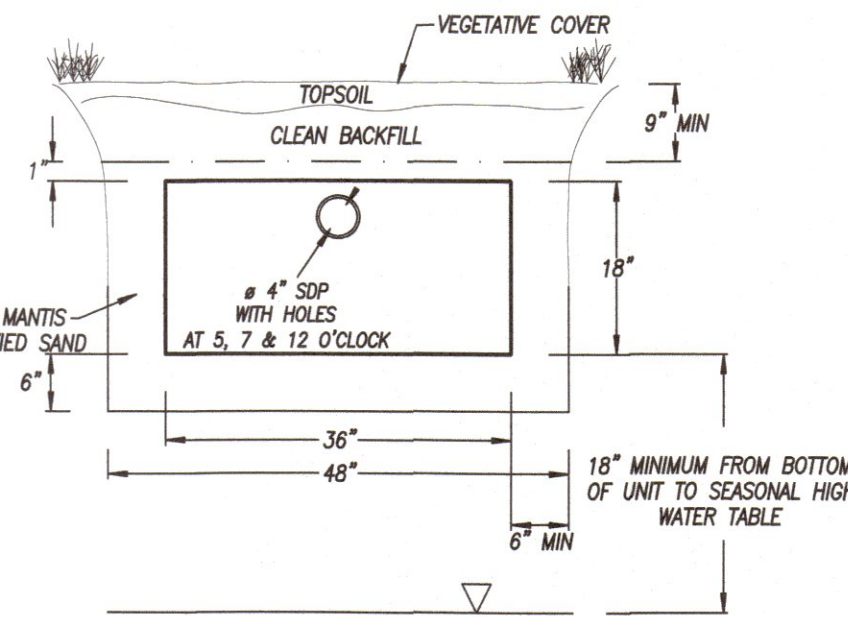
PLAN



CROSS SECTION

1000 GALLON
2 COMPARTMENT
SEPTIC TANK

NOT TO SCALE



NOTE: VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE

MANTIS 536-8 INSTALLATION

NOT TO SCALE

DETAIL SHEET
SEPTIC SYSTEM DESIGN - LOT 14
PREPARED FOR

HILLTOP CONTRACTORS LLC

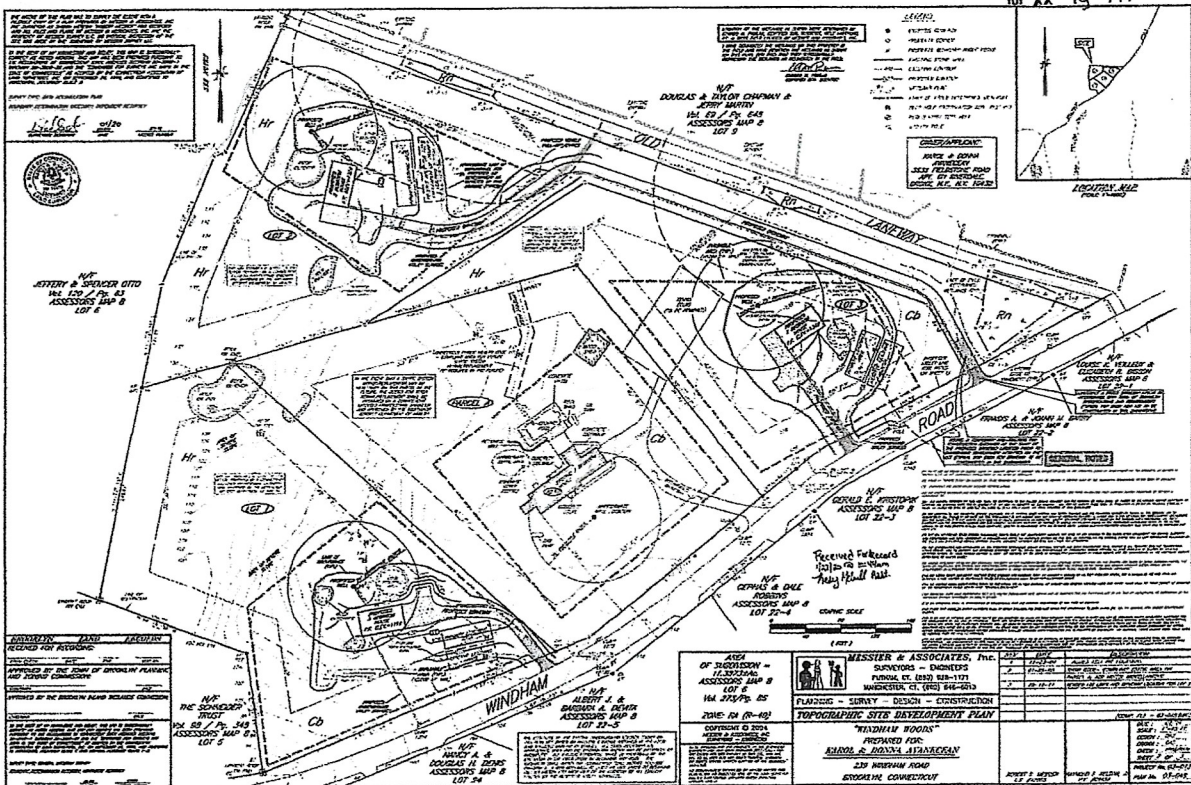
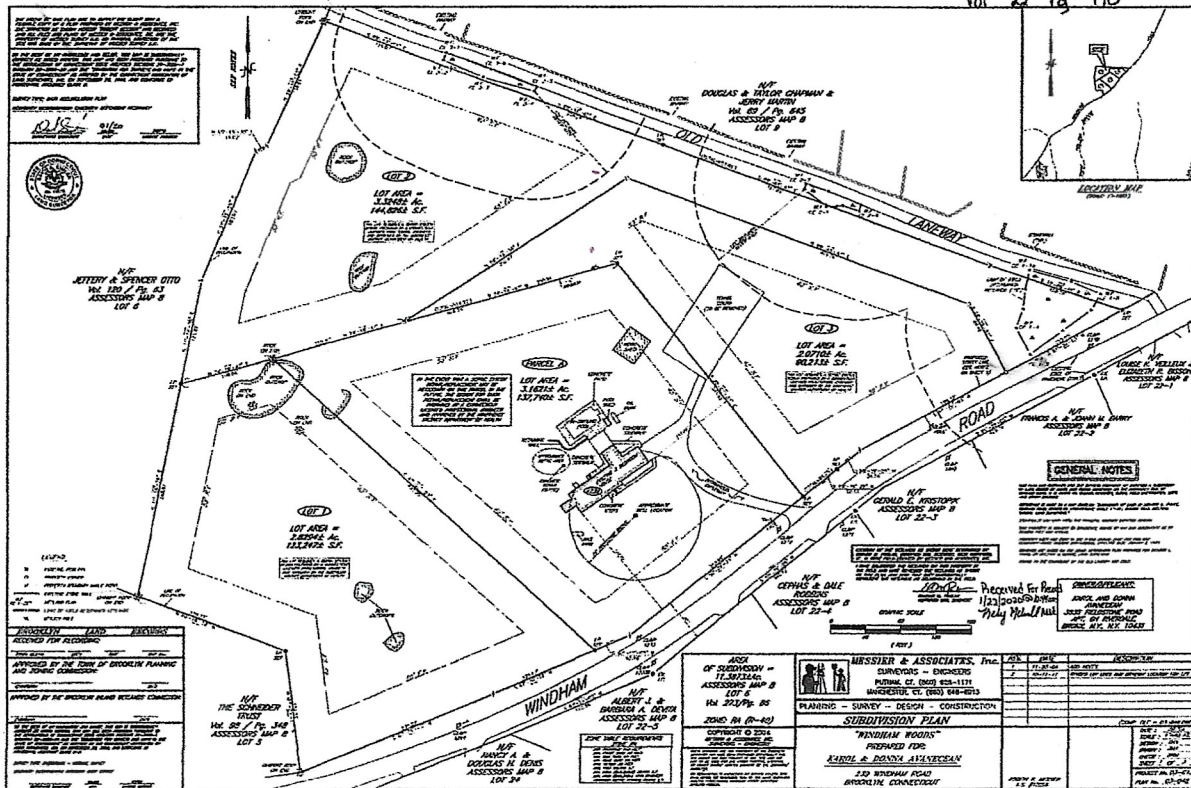
GORMAN ROAD
BROOKLYN, CONNECTICUT

**KA&G Technical
Services LLC**
Civil Engineering • Surveying • Site Planning

Voluntown, Connecticut
(860) 234-3183

REVISIONS	
DATE	DESCRIPTION
DATE: 2/13/2024	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 2 OF 2	CHK BY: ---
DWG. No: Client File	JOB No: ---

ENGINEER	DATE
----------	------





neccog

Neccog GIS Site



1: 4,514



0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- Town
- Buildings 2012
- Parcels

Notes

Windham Road
Map 8 Lot 6-2



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

MAIN STREET EXCHANGE • 136 MAIN STREET, SUITE 301 • DANIELSON, CT 06239
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

10/11/2006

KAROL & DONNA AVANECEAN
3635 JOHNSON AVENUE APT 3M
RIVERDALE, NY 10463

SUBJECT: File #7000941, WINDHAM ROAD, Map #8, Block #, Lot #6-2, BROOKLYN, CT

Dear Sir or Madam:

The subject plan (Project # 03-048-2, Date Drawn 8/06, Date Revised 9/14/06) submitted on 9/14/2006 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 4 bedroom house with the following exceptions and notations:

- 1 - CT licensed surveyor must stake house, well; benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
- 2 - Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
- 3 - A bottom of excavation inspection is required once the topsoil has been removed.
- 4 - A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
- 5 - Select fill is to be perced once in place.
- 6 - Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations OR an Engineer's As Built will be required.
- 7 - Fill Extended into reserve area to be suitable septic

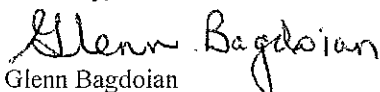
This letter is **NOT** to be construed as an **APPROVAL TO CONSTRUCT** the septic system and **DOES NOT** indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of floor plans of your home must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Monday thru Friday from 7AM - 4PM.

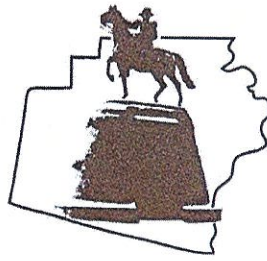
THE OWNER IS RESPONSIBLE TO SEEK PRIOR AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Please do not hesitate to contact us if you have any questions.

Sincerely,


Glenn Bagdoian

CC: Town of Brooklyn, Messier & Associates
GB/ib



Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands ☒

Zoning Enforcement ☐

Blight Enforcement ☐

SITE INSPECTION NUMBER

1 2 3 4 5

17 Greenway Dr.

Address

3/14/24

Date

I inspected and took photos with
Lisa Lindia. The entire area where
vegetation was removed and leaves were
raked has been stabilized with
seed and hay mulch.

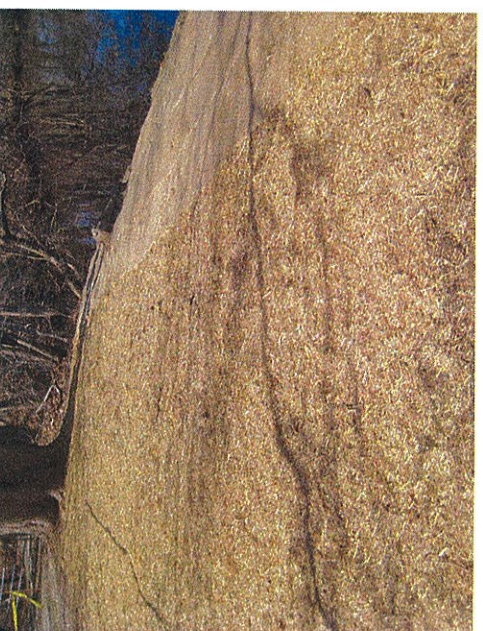
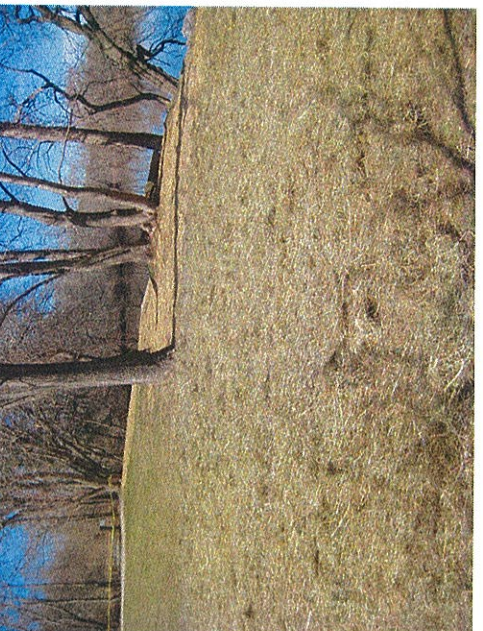
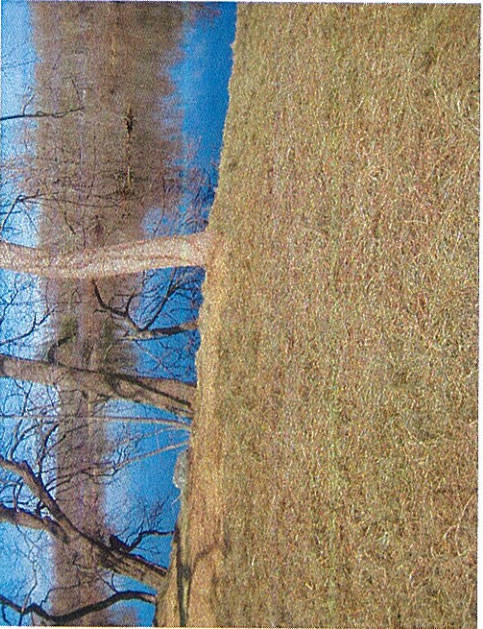
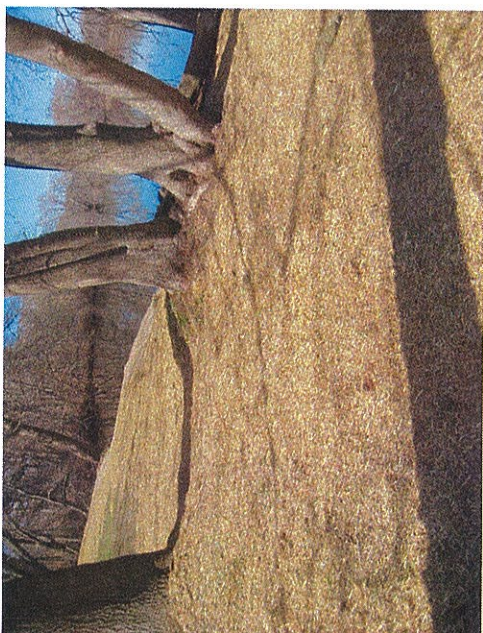
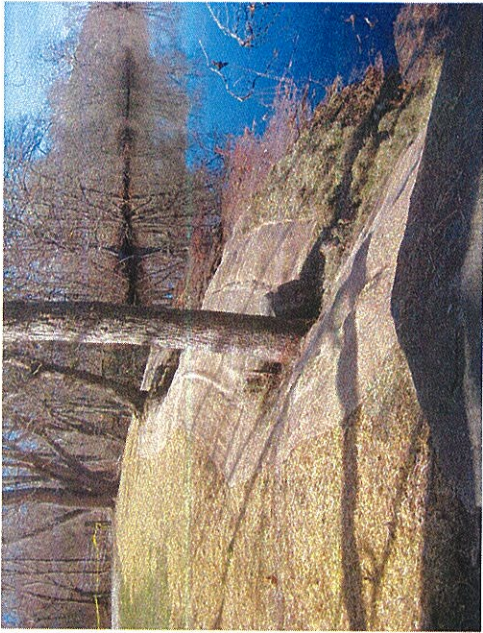
The steepest slopes were covered
with burlap in addition to seed and
hay mulch.

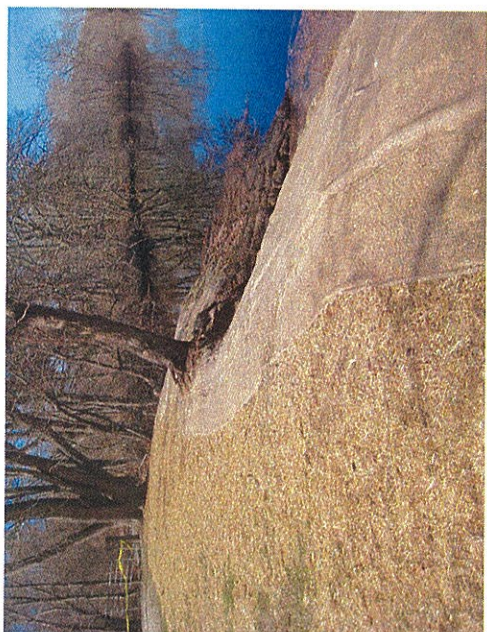
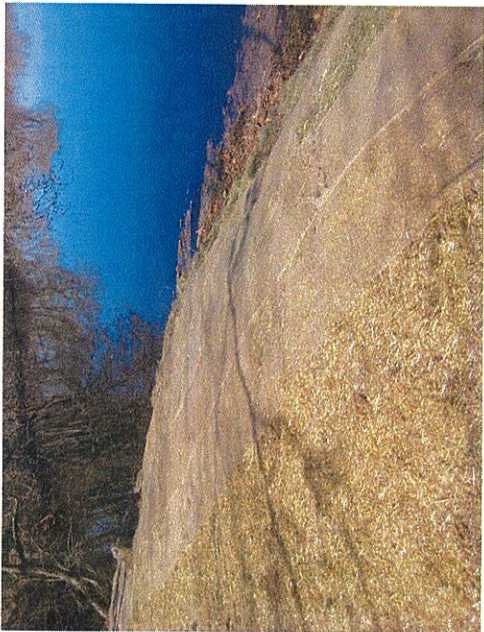
☐ Report to the IWWC.

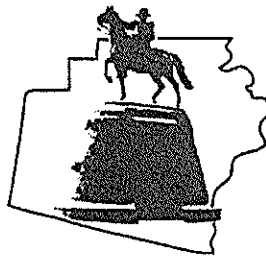
Commission Representative

M. Washburn

Owner or Authorized Signature







Brooklyn Land Use Department

69 South Main Street
Brooklyn CT 06234
(860) 779-3411 x 31

Inland Wetlands ☒

Zoning Enforcement ☐

Blight Enforcement ☐

SITE INSPECTION NUMBER

1 2 3 4 5

430 Allen Hill Rd

Address

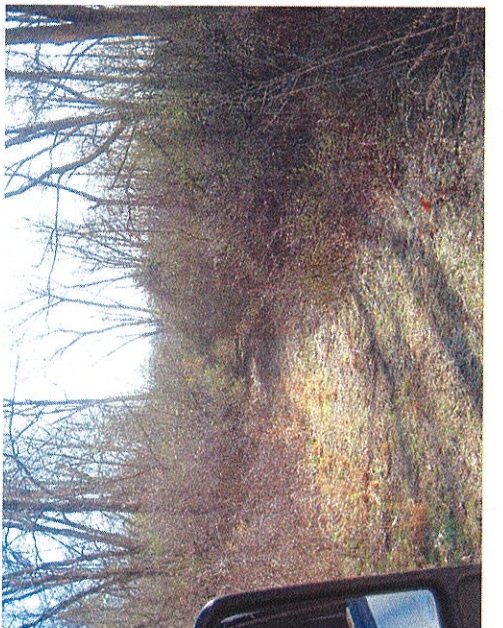
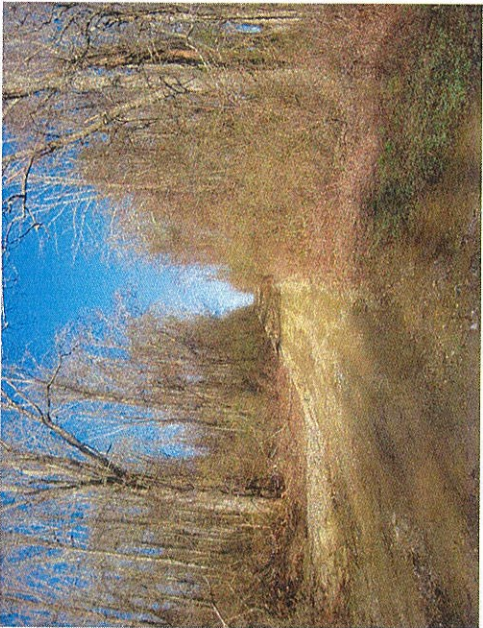
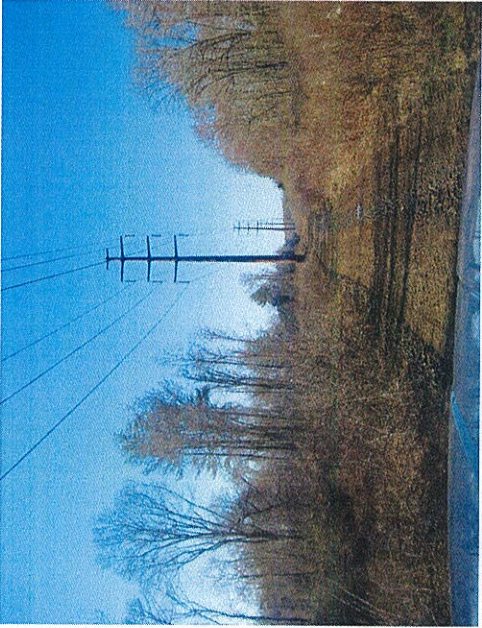
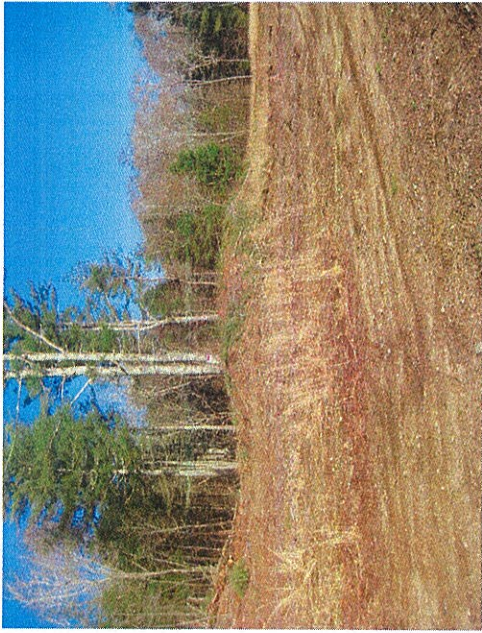
4-8-24

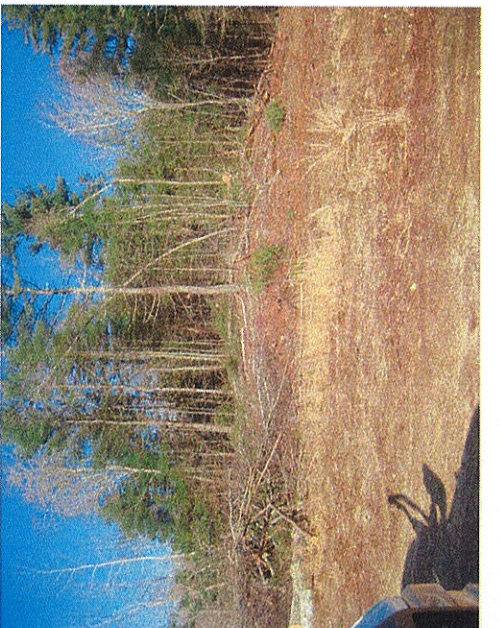
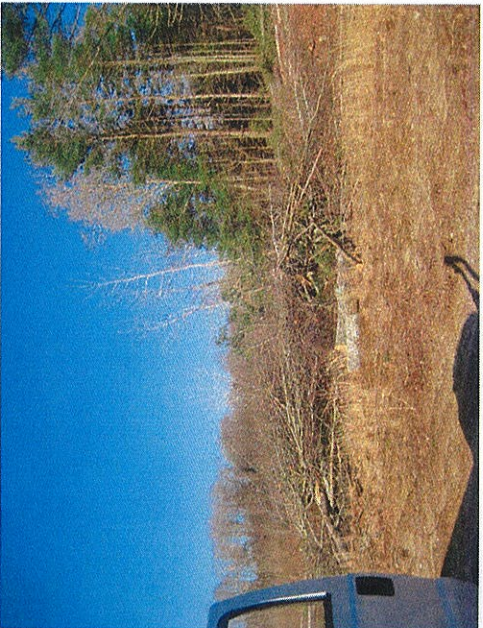
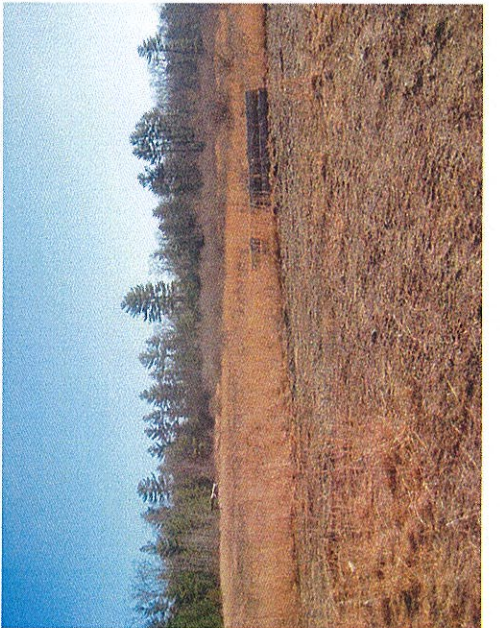
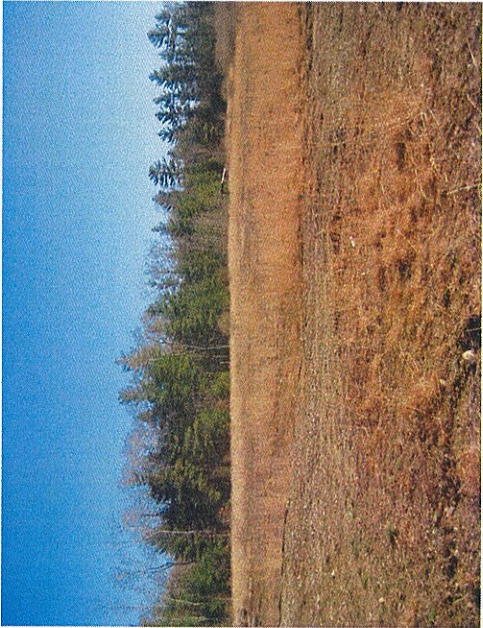
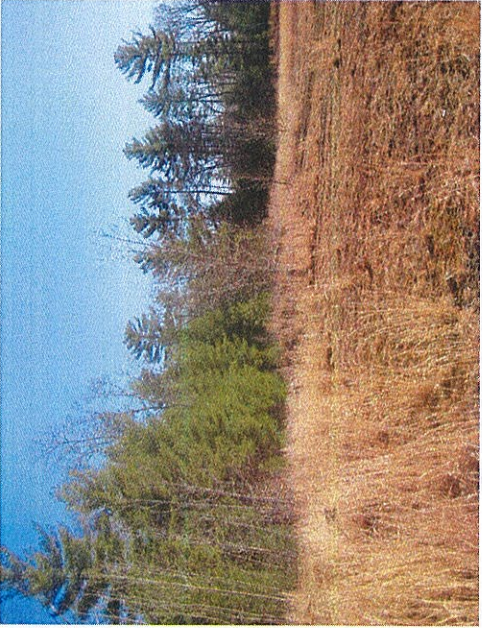
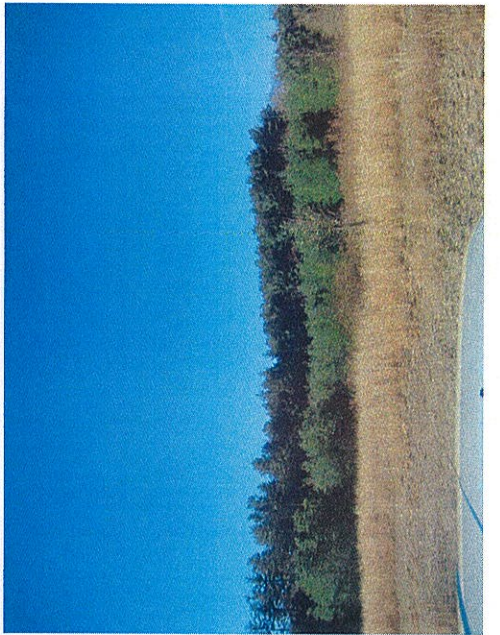
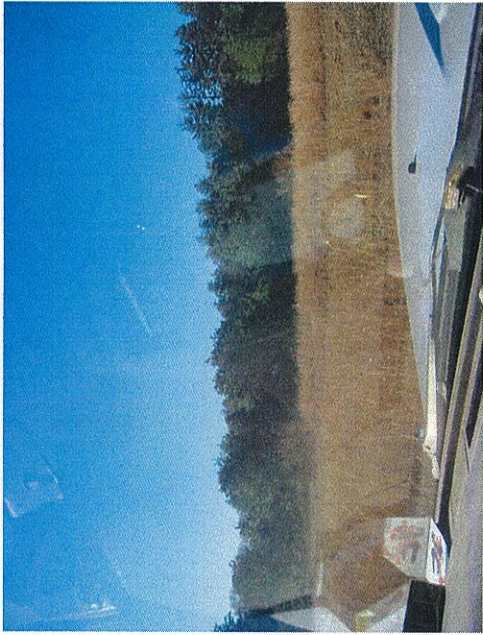
Date

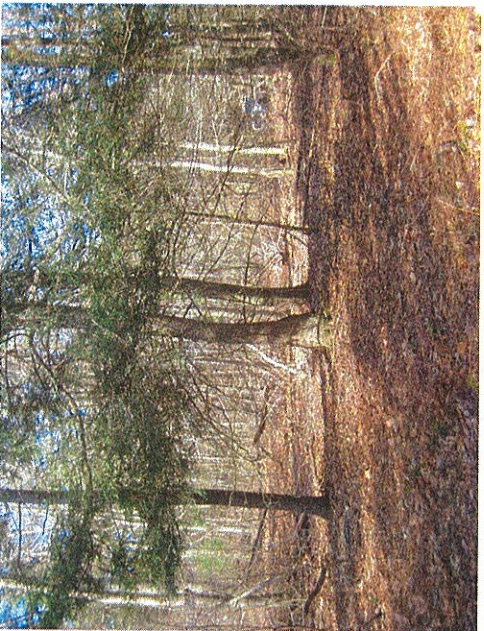
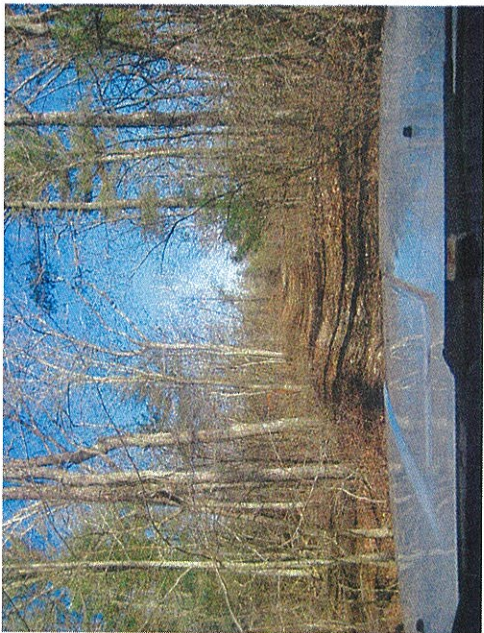
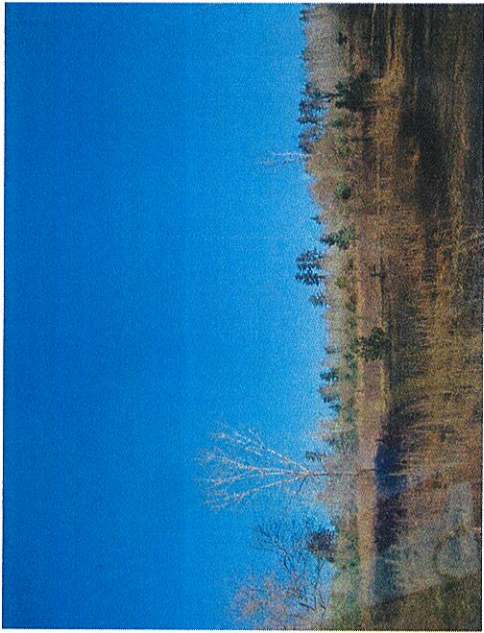
I met Moe LaPierre, inspected and took photos. The entire perimeter of the area proposed for clearing to create hay fields has been marked with orange surveyor's ribbon. We discussed that trying to make hay fields in the wetlands beside the stream would not be practical due to the high water table. Moe LaPierre is meeting Soil Scientist and Forester, Joe Theroux on Thursday, 4/11. Moe LaPierre has spoken to Paul Terwilliger of PC Survey regarding the plan showing wetlands flags. We viewed the proposed location for the bug-out shelter. Perhaps 5% of the area was logged before Moe LaPierre told workers to stop. M. Washburn
Commission Representative

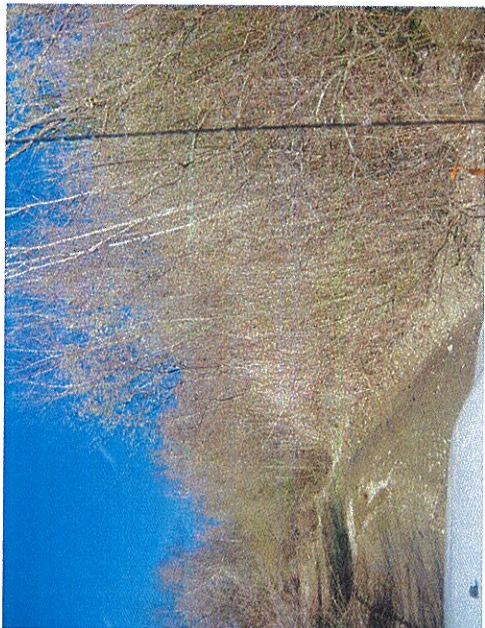
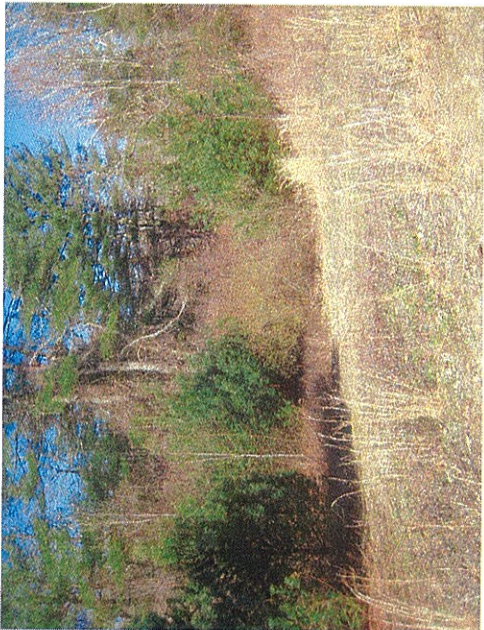
Owner or Authorized Signature

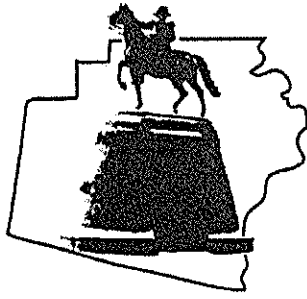
Moe LaPierre is trying to stay in compliance with what the IWWC deemed he needed to do at the March 12, 2024 meeting.











TOWN OF BROOKLYN
Land Use Department
69 South Main Street • Suite 22
BROOKLYN, CONNECTICUT 06234
860-779-3411 Ext. 12

DULY AUTHORIZED AGENT APPROVAL - DECISION LETTER
IWWC #24-001 – 113 Hartford Road

CERTIFIED # 7022 2410 0001 4699 3684

Paul Pagnozzi
3 Grove Street
North Providence RI.
02911

March 27, 2024

RE: Approval – IWWC Application #24-001
113 Hartford Road, Brooklyn, CT 06234
Map 24 Lot 74 – Paul Pagnozzi, owner
Proposed concrete slab for a 24' x 32' manufactured home

Dear Me. Pagnozzi,

On March 27, 2024, the Brooklyn Inland Wetlands and Watercourses Duly Authorized Agent approved IWWC application IWWC#24-001 Paul Pagnozzi, owner/applicant; 113 Hartford Road; Map 24, Lot 74, VC Zone; Proposed concrete slab for a 24' x 32' manufactured home. No work is proposed in the wetlands.

NOTE: This letter constitutes a report to the Brooklyn Inland Wetlands and Watercourses Commission.

Special Conditions of this approval are as follows:

- 1. Within ten days of the date of this approval, the applicant, Paul Pagnozzi, shall publish, at the applicant's expense, notice of the approval in a newspaper having a general circulation in Brooklyn, CT. Publication deadline: 4/6/2023.**
- 2. This approval shall not be considered in effect until proof of publication has been received by the duly authorized agent and the appeal period has expired. Any person may appeal this decision to the Brooklyn Inland Wetlands and Watercourses Commission within fifteen days after the publication date of the notice.**

As for all approvals, the standard conditions of wetlands approvals apply to this application:

IWWC Permit Document. A copy of the IWWC approval motion and the conditions stated herein shall constitute the IWWC permit for the approved activity when the permit document is signed and dated by the IWWC Agent.

Notice of Start and Finish. Permittee shall notify the IWWC agent at least 48 hours before the approved activity commences and within 72 hours after completion of the activity.

Permit Duration. This permit is valid for a period in accordance with Section 11.6 of the Brooklyn Inland Wetlands and Watercourses Regulations and the Connecticut General Statutes. Any request to renew or extend the expiration date of a permit can be granted only as authorized by the IWWC Regulations. Expired permits may not be renewed.

Erosion and Sedimentation Controls. Permittee is responsible for implementing the approved erosion and sediment control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan. The permittee shall inspect the erosion controls weekly and after rains and repair deficiencies within twenty-four hours. The IWWC and its staff may require additional erosion if needed to prevent erosion and sedimentation. Restabilization of the site shall take place as soon as possible.

Stockpile locations. During construction, piles of fill, erodible material and debris shall not be created within regulated areas. The locations of debris and other stockpiled materials shall be shown on the submitted plans. Any material excavated at the site shall be disposed of at upland or off-site locations reviewed and approved by staff.

Permit Transfer. The permittee shall not transfer this permit without the written permission of the IWWC.

Work in Watercourse to Occur During Low Flow. Work within a watercourse is limited to periods of low flow. Low flow periods normally occur between August and October. upon request of permittee, wetlands staff can determine if the activity can occur at other times following an on-site field investigation.

Scope of Permit. This permit is for the approved activity ONLY. Additional activity may require an additional permit. Note that if an approval or permit is granted by another agency and

(1) the approved activity will affect wetlands and/or watercourses; and/or

(2) the activity occurs within 125 feet of flagged boundaries and 175 feet from watercourses; and such activities have not been addressed by this permit, then the applicant shall resubmit the application for further consideration by the Inland Wetlands and Watercourses Commission before any work begins.

Ongoing Compliance with Permit. The permittee shall comply at all times with the permit.

Other Approvals May be Required. Other permits may be required from Town, state or federal agencies. An Army Corps of Engineers permit may be required: U.S. Army Corps of Engineers, 424 Trapelo Rd., Waltham, MA 02254
1-800-362-4367.

This approval will be valid for a five-year period, ending on March 27, 2029. Extension of this permit will be allowed by the IWWC in accordance with state statutes.

If you have any questions, please feel free to call me at 860-779-3411 Extension 31.

Issued by:

Margaret Washburn

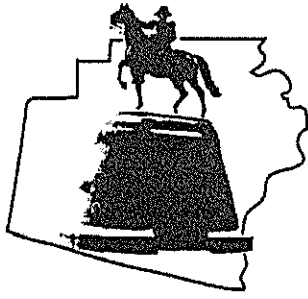
Margaret Washburn
Zoning/Wetlands/Blight Enforcement Officer
69 South Main Street, Suite 23
Brooklyn, CT 06234
(860) 779-3411 ext. 31
Mon. – Thurs. 8:00 am – 3:30 pm
m.washburn@brooklynct.org

File/MW CC: Paul Pagnozzi (via e-mail), Norm Thibeault (via e-mail), Manuel Medina, Town Planner (via e-mail)

Attached: Public Notice to be published by 4/6/23 at applicant's expense.

Town of Brooklyn
Public Notice

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TOWN OF BROOKLYN
Land Use Department
69 South Main Street • Suite 22
BROOKLYN, CONNECTICUT 06234
860-779-3411 Ext. 12

DULY AUTHORIZED AGENT APPROVAL - DECISION LETTER
IWWC #24-002 – 61 Beecher Road

CERTIFIED # 7022 2410 0001 4699 3677

VBL Properties LLC
8 Finn Lane
Plainfield, CT 06374

March 27, 2024

RE: Approval – IWWC Application #24-002
61 Beecher Road, Brooklyn, CT 06234
Map 22 Lot 38-5 – VBL Properties LLC, owner
Minor grading for a new single-family dwelling in the upland review area.

Dear VBL Properties LLC,

On March 27, 2024, the Brooklyn Inland Wetlands and Watercourses Duly Authorized Agent approved IWWC application IWWC#24-002 VBL Properties LLC, owner/applicant; 61 Beecher Road, Map 22, Lot 38-5; RA Zone; Minor grading for a new single-family dwelling in the upland review area. No work is proposed in the wetlands.

NOTE: This letter constitutes a report to the Brooklyn Inland Wetlands and Watercourses Commission.

Special Conditions of this approval are as follows:

- 1. Within ten days of the date of this approval, the applicant, VBL Properties LLC, shall publish, at the applicant's expense, notice of the approval in a newspaper having a general circulation in Brooklyn, CT. Publication deadline: 4/6/2023.**
- 2. This approval shall not be considered in effect until proof of publication has been received by the duly authorized agent and the appeal period has expired. Any person may appeal this decision to the Brooklyn Inland Wetlands and Watercourses Commission within fifteen days after the publication date of the notice.**

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1-800-362-4367.

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If you have any questions, please feel free to call me at 860-779-3411 Extension 31.

Issued by:

Margaret Washburn

Margaret Washburn
Zoning/Wetlands/Blight Enforcement Officer
69 South Main Street, Suite 23
Brooklyn, CT 06234
(860) 779-3411 ext. 31
Mon. – Thurs. 8:00 am – 3:30 pm
m.washburn@brooklynct.org

File/MW CC: Greg Lehto (via e-mail), Norm Thibeault (via e-mail), Manuel Medina, Town Planner (via e-mail)

Attached: Public Notice to be published by 4/6/23 at applicant's expense.

Town of Brooklyn
Public Notice

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Town of Brooklyn

Inland Wetlands Budget FY24

From Date: 3/1/2024

To Date: 3/31/2024

Fiscal Year: 2023-2024

☐ Subtotal by Collapse Mask

☐ Include pre encumbrance

☒ Print accounts with zero balance

☒ Filter Encumbrance Detail by Date Range

☐ Exclude Inactive Accounts with zero balance

Account Number	Description	GL Budget	Range To Date	YTD	Balance	Encumbrance	Budget Balance	% Bud
1005.41.4163.51900	Inland Wetlands-Wages-Recordin	\$1,000.00	\$187.50	\$1,075.00	(\$75.00)	\$0.00	(\$75.00)	-7.50%
1005.41.4163.53020	Inland Wetlands-Legal Fees	\$3,500.00	\$773.31	\$1,933.31	\$1,566.69	\$0.00	\$1,566.69	44.76%
1005.41.4163.53200	Inland Wetlands-Professional A	\$65.00	\$0.00	\$0.00	\$65.00	\$0.00	\$65.00	100.00%
1005.41.4163.53400	Inland Wetlands-Professional S	\$500.00	\$0.00	\$0.00	\$500.00	\$0.00	\$500.00	100.00%
1005.41.4163.55400	Inland Wetlands-Advertising &	\$500.00	\$0.00	\$0.00	\$500.00	\$0.00	\$500.00	100.00%
1005.41.4163.55500	Inland Wetlands-Printing & Pub	\$120.00	\$0.00	\$45.00	\$75.00	\$0.00	\$75.00	62.50%
1005.41.4163.56900	Inland Wetlands-Other Supplies	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Grand Total:		\$5,685.00	\$960.81	\$3,053.31	\$2,631.69	\$0.00	\$2,631.69	46.29%

End of Report