

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Regular Meeting Agenda  
Tuesday, August 16, 2022 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>Clifford B. Green Meeting Center, Suite 24, 69 South Main Street, Brooklyn, CT</b>	
<b>Click link below:</b> <a href="https://us06web.zoom.us/j/84765564828">https://us06web.zoom.us/j/84765564828</a>	<b>or</b> <b>Go to</b> <a href="https://www.zoom.us/join">https://www.zoom.us/join</a> <b>Enter meeting ID: 847 6556 4828</b>
<b>Dial: 1-646-558-8656</b>	
<b>Enter meeting number: 847 6556 4828, then press #, Press # again to enter meeting</b>	

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Regular Meeting August 3, 2022
- V. Public Commentary**
- VI. Unfinished Business:**
  - a. Reading of Legal Notices**
  - b. New Public Hearings: None.**
  - c. Continued Public Hearings:**
    - 1. **SPG 22-001:** Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material.
    - 2. **SP 22-002:** Special Permit Application for a 6,000 s.f. storage/maintenance building with associated driveway, septic, well, drainage, and grading at 170 South St., Applicant: Country View Restaurant, LLC, R-30/Golf Course Overlay Zone.
  - d. Other Unfinished Business:**
    - 1. **SPG 22-001:** Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material.
    - 2. **SP 22-002:** Special Permit Application for a 6,000 s.f. storage/maintenance building with associated driveway, septic, well, drainage, and grading at 170 South St., Applicant: Country View Restaurant, LLC, R-30/Golf Course Overlay Zone.
    - 3. **SD 22-002:** A proposal for a four-lot subdivision on Day St. (Map 43, Lot 6), Applicant: Jeffrey Weaver. **\*Awaiting appraisal\***
    - 4. **ZRC 22-006:** Revision to the Groundwater Protection Overlay Zone Sec. 5.F.4.1.1 to exempt uses that are determined by the Commission to present no threat to groundwater. **\*Awaiting September 7 Public Hearing\***
    - 5. Plan of Conservation and Development Update – Housing Chapter
- VII. New Business:**
  - a. Applications:**
    - 1. **ZC 22-001:** Proposal to rezone 5.5 acres from PC (Planned Commercial) to R-10 in the vicinity of 538 Providence Road (Map 41, Lot 16), Applicant: Townsend Development Associates, LLC.
  - b. Other New Business:**
    - 1. **SD 22-001:** Request for 90-day filing extension for record subdivision plans.
- VIII. Reports of Officers and Committees:**
- IX. Public Commentary**
- X. Adjourn**

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
Regular Meeting  
Wednesday, August 3, 2022 6:30 p.m.**

**3 WAYS TO ATTEND: IN-PERSON, ONLINE, AND BY PHONE**

<b>Clifford B. Green Community Center, 69 South Main Street, Brooklyn, CT</b>	
<b>Click link below:</b> <a href="https://us06web.zoom.us/j/87925438541">https://us06web.zoom.us/j/87925438541</a>	<b>or</b> <b>Go to</b> <a href="https://www.zoom.us/join">https://www.zoom.us/join</a> <b>Enter meeting ID: 879 2543 8541</b>
<b>Dial: 1-646-558-8656</b>	
<b>Enter meeting number: 879 2543 8541, then press #, Press # again to enter meeting</b>	

**MINUTES**

- I. Call to Order** – Michelle Sigfridson, Chair, called the meeting to order at 6:34 p.m.
- II. Roll Call** – Michelle Sigfridson, Carlene Kelleher, Allen Fitzgerald, Lisa Herring, Gill Maiato and Brian Simmons (all were present in person). Sara Deshaies was present via Zoom (left at 10:05 p.m. due to losing internet connection). John Haefele and Seth Pember were absent with notice. J.R. Thayer was absent.

**Staff Present (in person):** Jana Roberson, Director of Community Development; Austin Tanner, First Selectman.

**Also Present in Person:** David Held, Provost & Rovero; Wayne Jolley, Brooklyn Sand & Gravel; Paul Archer, Archer Surveying; Jeff Fountaine; J.S. Perreault, Recording Secretary. There were seven additional people in the audience.

**Present via Zoom:** Linda Trahan; Peter Rydel; “S”.

**III. Seating of Alternates**

Motion was made by C. Kelleher to seat Gill Maiato and Brian Simmons as Regular Members for this meeting (August 3, 2022).

Second by A. Fitzgerald. No discussion.

Motion carried unanimously by voice vote (5-0-0).

**IV. Adoption of Minutes:** Meeting July 19, 2022

Motion was made by A. Fitzgerald to accept the Minutes of the Regular Meeting of July 19, 2022, as presented.

Second by G. Maiato.

Discussion:

L. Herring noted a correction to page 7, third full paragraph, second sentence, to read as follows: “Ms. Herring feels that it should be discussed when more Members are present and it should be discussed further to get a better understanding of it, but she does not feel that we should do away with it altogether.”

Motion carried, with the noted correction, by voice vote (6-0-1). M. Sigfridson abstained.

**V. Public Commentary** – None.

Motion was made by A. Fitzgerald to add the following items to the agenda:

- Under Section VII.a. New Business- Applications, add Item 2. **ZRC 22-005:** Groundwater Protection Overlay Zone modification.
- Under Section VII.b. Other New Business, add Item 2. Discussion of Affordable Housing Plan/POCD (cont.)

Second by C. Kelleher. No discussion.

Motion carried unanimously by voice vote (7-0-0).

## **VI. Unfinished Business:**

### **a. Reading of Legal Notices:**

J. Roberson read the Legal Notice for **SPG 22-001** which will also include review/discussion of **GBR 22-003** (SPG 19-002). Published in the *Turnpike Buyer* on July 20<sup>th</sup> and 27<sup>th</sup>.

### **b. Continued Public Hearings:** None.

M. Sigfridson recused herself and turned the position of Chair over to C. Kelleher. Ms. Sigfridson took a seat in the audience.

### **c. New Public Hearings:**

1. **SPG 22-001:** Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material. (Hearing will additionally discuss **GBR 22-003:** Renewal of Gravel Special Permit SPG 19-002, Brooklyn Sand & Gravel, LLC, 64+- acres, 530 Wauregan Road, Removal of approximately 112,000 cubic yards of material.)

Ms. Kelleher opened the public hearing.

David Held, Professional Engineer and Land Surveyor with Provost & Rovero, represented the Applicant and gave a poster board presentation. Ms. Roberson displayed plans/maps as discussed. Wayne Jolley, Operator/Owner of the property, was present in the audience.

Because the two Applications are so co-mingled, Mr. Held requested that the record for the public hearing pertain to both Applications because it is impossible to discuss one without discussing the other. There were no objections expressed.

Regarding SPG 19-002 which was issued by a legal appeal (Ms. Roberson stated that it was an amended legal appeal), Mr. Held gave an overview:

- He orientated the area and he explained about the two excavation areas that had been approved and about the Phases.
- He explained that the entire excavation bond that was permitted in the first Phase area was completed as part of that special permit. There are 27,000 c.y. of material remaining as part of that proposed excavation area in Phase II. They are seeking approval to allow the completion of that 27,000 c.y.
- The previous approval included the provision that Brooklyn Sand & Gravel could import material to the site for processing on a one-to-one ratio of what they excavated on site. They are proposing that this ratio be continued. He explained that, based on the quarterly reporting that the Applicant provides, they would be allowed to import 22,555 c.y. which would match their permitted on-site excavation. Mr. Held stated that they

would amend their request to match the 22,555 c.y. for importing and processing on the site.

- All other conditions of the initial approval would remain in effect. The Bond amount is \$200,000.

There was discussion regarding who is responsible for tracking the quantities. Ms. Roberson explained that she tabulates the quarterly reports that are submitted by Brooklyn Sand & Gravel. There was discussion regarding restoration. Mr. Held explained that the first Phase has been completed in its entirety and they have started backfilling the excavation to restore it.

Mr. Held gave an overview for **SPG 22-001**:

- Mr. Held explained that the Zoning Enforcement Officer had issued a Notice of Exceedance because Brooklyn Sand & Gravel over-excavated in an area that was not permitted (adjacent the approved Phase I area). Mr. Held had discussions with Town Staff and the Applicant as to how to remedy the situation and it was concluded that they would need to apply for a new special permit that would cover it because it was not permitted. It cannot be included as an amendment to a renewal application because it was never permitted in the first place. The new special permit application includes that over-excavation volume and some new small areas of excavation.
- The plans show three excavation Phases:  
Phase 1 - Northerly side of the excavation area. This phase (71,000 c.y. total) includes the unpermitted excavation. New excavation proposed in this area is an additional 52,000 c.y.;  
Phase II – Renewal area (as discussed above). He explained that there is also a small area of new excavation (additional 51,000 c.y.) included due to the new Regulations having different dimensional standards than the Regulations that were in effect for the 2019 approval;  
Phase III (34,000 c.y.) – The area immediately adjacent to the scale which would be bringing that area back up to grade after it is excavated because it is used for stockpiling the raw and processed material. It would be taking the material out and backfilling it as soon as possible to bring in back to the surrounding grades and then, continue using that area for stockpiling activities. He explained that although this is not a convenient area to excavate, due to the stockpiling, it is to the advantage of the Applicant to take advantage of the material that is there.
- They are seeking approval for a total of 208,000 c.y. of new excavation which includes the 71,000 c.y. of after-the-fact volume. As of the date of application, it would be 137,000 c.y. of new material that would be excavated. He referred to the cover letter in which he said that it is explained that they are also seeking approval for processing under Section 6.P of the Regulations in addition to Section 6.O.
- He explained what would be processed.  
Ms. Roberson referred to page 4 of her Staff Guidance dated August 3, 2022, stating that she should have included a synopsis of the excavation material proposed to be excavated under a potential, new special permit:  
Phase I – 71,000 c.y. (already excavated) plus 52,000 c.y.;  
Phase II – An additional 51,000 c.y.;  
Phase III – 34,000 c.y. (new area).

- Mr. Held stated that they propose that the existing bond be carried forward. He stated that they would not object if the Commission wanted to increase the bond from \$10,000 per acre (original amount) to \$15,000 per acre (for a total of \$300,000) as suggested by the Town Engineer. There was discussion regarding that the total acreage may have changed slightly. Mr. Held explained that it may, potentially, change by 2.3 acres.
- He explained that traffic patterns would continue as it has for years under previous special permit approvals. He expects that there would be a reduction in truck traffic because there is no importation of material.
- The Applications have been approved by the IWWC.

**QUESTIONS/COMMENTS FROM THE COMMISSION/STAFF:**

- **L. Herring** asked about how the over excavation happened, how it happened in an area that had not been approved and she expressed concern regarding how to keep it from happening again.  
Mr. Held explained that he does not know how it happened, that it was discovered at the outset of the renewal application, and that they came to address it.  
Ms. Roberson referred to comments (dated July 12, 2022) from Syl Pauley, NECCOG Regional Engineer (included in packets to Commission Members). The following were suggested: require more frequent survey; ask for the actual scale receipts/print-outs from the scale; video monitoring of the three accesses; staking out the excavation limits and marking it with signage, or orange snow fence to be installed where a surveyor has staked it out to visually delineate where to stop. Ms. Roberson explained that these methods don't work all of the time and she suggested doing more than one.  
Ms. Roberson stated that she would like her Staff Guidance for this meeting, dated August 3, 2022, to be entered into the record. She stated that it was available on the website and that copies had been provided to the Applicant and his Agent. She read from her Staff Guidance and suggested that the Commission consider the following questions (some of which have been addressed):
  - Is any waste material being moved off-site? Is imported material for processing coming from permitted excavations in Brooklyn?
  - How will the site be monitored to ensure that the reported volume of material being imported is accurate?
  - Are there traffic impacts?
  - Is dust being effectively controlled?
  - Can portions of the site be remediated now?
- **C. Kelleher** commented that there needs to be a better way of ensuring that what is being reported is what is being extracted. She said that it is the responsibility of the Applicant to answer the questions raised by Ms. Roberson. She also commented that there is a need for a good way for keeping track of the processing to ensure it is not exceeded.
- **A. Fitzgerald** commented that he does not understand how you take out 71,000 c.y. by mistake and he expressed that there is a need to monitor what is going on.  
Mr. Held asked how often the ZEO visit site during a permit period.  
Ms. Roberson stated at least yearly and she feels that more frequent site inspections by Town Staff are needed. She commented that Mr. Pauley's suggestion for someone to be there all the time is not really possible. Ms.

Roberson said that she has been there once this year and she thinks that Ms. Washburn has been there at least three times this year.

### **QUESTIONS/COMMENTS FROM THE PUBLIC:**

- **Marcel Dessert**, abutter to the property, asked what type of material they are thinking about recycling (concrete).  
Mr. Held explained that they are recycling material and that there is concrete that is used to backfill the excavation.  
Ms. Roberson referred to four photos which she displayed (included in packets to Commission Members) She explained the contents of the photos: Scale; Phase I area viewed from the north side of the pit looking south (main material - ordinary cinderblock - concrete is considered clean fill by the DEEP). She said that there were probably some washings from a concrete truck. She said that she did not see any organic material in the photo, although, she saw some organic material at the top of the cliff and was concerned that the plan could be to push it over. Ms. Roberson stated that she would like it to be entered into the record that she had discussed the topic of the backfilling operations with Syl Pauley. Ms. Roberson read aloud, into the record, an e-mail from Mr. Pauley (dated August 2, 2022). Ms. Roberson, then, continued describing the photos that were included in packets to Commission Members. Ms. Roberson explained that Mr. Pauley's concern is more with the way it was being filled rather than what it was being filled with.
- **Mark Curreri**, 656 Wauregan Road, asked what it means that they are going to process imported material. He asked if the imported materials will be monitored for contamination. He asked if wells along the edge of the property will be tested/monitored as he is concerned about water and wells. He noted two situations in Plainfield where properties were backfilled with contaminated material.  
Mr. Held explained about processing imported materials and that the renewal would allow for it. Mr. Held stated that there are no plans for testing/monitoring.  
**Mr. Curreri** suggested two test wells at the edge of the property on the south side. Test wells and monitor water that could affect wells in the neighborhood.  
Mr. Held explained that only clean fill is required to backfill excavation areas. What is being brought in is bank-run sand and gravel. They are not bringing contaminants onto the site.  
Mr. Jolley spoke to the situation in Plainfield that Mr. Curreri mentioned. He explained that what they use to fill is the silt that comes from material that is already on the site.
- **James Flemming**, 567 Wauregan Road, asked if the permits would have an expiration date. He asked for clarification regarding whether there would be importation of additional materials for the Application that includes the over-excavation.  
Mr. Held explained that the imported material associated with the renewal would be a maximum of 22,550 c.y. coming in. He stated that, under the current regulations, the Commission grants a renewal for two years. He noted that the Staff Guidance states two years, however, the renewal would be based on the previous Regulations and would, therefore, be renewed for only one year. Ms. Roberson explained that the Regulations say "up to two years", but the Commission has chosen a shorter timeframe with some other applications.

Ms. Kelleher clarified that importation was allowed under the previous Regulations, but is not allowed under the current Regulations.

- **Mr. Dessert** asked if it is correct that **SPG 22-001** does not have a 1-1 ratio for import.

Ms. Kelleher stated that that is correct.

**Mr. Dessert** stated that the gravel bank is just being prolonged. He said that a mistake was made and that a nice, healthy fine would be in order.

Mr. Jolley explained that they did over-excavate, but did not know it at the time. There was the Court case, which they won after a year-and-a-half. Then, during COVID, the Governor had said that all special permits were in place. He said they had nowhere to go. He said that it was not intentional.

Ms. Kelleher commented that the Board has a responsibility to make sure that things are monitored effectively. There was discussion regarding the three entrances and different methods for monitoring were also discussed. Mr. Jolley explained that the other entrances do not belong to him (one is owned by Langevin and the one by the old Campground is the same as his main entrance). Ms. Roberson explained that if video monitoring is to be done, you would want it in all three locations and she explained that the scale is pretty central to the property. Discussion continued and Ms. Roberson suggested considering a schedule of quarterly visits. Mr. Tanner suggested snow fence marking the limits.

Mr. Fitzgerald agreed with Mr. Tanner, but feels that

surveying/layout/poles are needed. Ms. Roberson explained that it is not foolproof and that it had been marked for the 2019 renewal, but the fencing was ripped out by the operator. Discussion continued. Mr.

Tanner feels that the reporting is working and agrees that there should be more inspections.

- Linda Trahan, 26 Maynard Road (present via Zoom), had three questions:
  - How are they going to differentiate the material when the amount that is imported from the renewal is met? Different than the material that is on site to be processed under the new permit.
  - Is there a timeline?
  - She is concerned about dust control
  - Will cameras be installed at the entrance(s) to the sit?

Mr. Jolley explained that the Federal Government monitors for dust control and they have not explained that it would be a one-year timeframe for imported material because that permit is governed by the old Regulations' one-year renewal period.

Ms. Kelleher stated that, regarding Ms. Trahan's first question, it will need to be kept track of. There was discussion regarding slips for what comes in as well as for what goes out. Ms. Roberson explained that it is in the quarterly report (it is not otherwise verified).

Mr. Held suggested adding to the quarterly report if clean fill material is being brought into the site to bring it up to restoration grade.

Mr. Tanner explained that he doesn't feel that cameras will help. Mr. Fitzgerald and Ms. Kelleher agreed.

Mr. Fitzgerald asked if this is the final restoration plan. Mr. Held explained that it is, but there is flexibility built in and he stated that there is a narrative that goes along with it. The Restoration Plan was displayed and there was discussion. Mr. Held explained that the intent is not to bring in hundreds of thousands of yards to regrade the site. Mr. Held

explained it is close to a balance and will need a little bit of importation. He stated that, likely, it will be brought back up to grade, establish vegetation on it and it will be left to some purpose like that or an industrial use or storage units (although it is in a residential zone) that doesn't require wastewater treatment. He said that, unless you are backfilling it with clay, the material will compact itself.

There were no further comments from the public.

**ADDITIONAL QUESTIONS/COMMENTS FROM THE COMMISSION/STAFF:**

- **Mr. Fitzgerald** stated that there needs to be a way to differentiate between what is being brought in to process and what is being brought in to fill.
  - **Ms. Kelleher** feels that a monitoring system needs to be in place before moving forward.
  - **Mr. Tanner** feels that there should be more frequent Staff visits and we have the slips.
- Ms. Roberson** explained that she does not have the actual slips, what she gets a summary of the slips.
- **Mr. Fitzgerald** suggested that the slips would monitor the material brought in to be processed and what is brought in to backfill would be monitored by more frequent surveying.

Discussion continued.

Ms. Roberson explained that, regarding the bond amount, she does not feel uncomfortable with leaving it at \$200,000. She explained that she does not see an area that is capable of being restored to the point of being re-vegetated yet. The Phase I area going to require a lot of fill and all of the other areas are in use (stockpile area/excavation area). She suggested that the Commission could request that the come up with an expedited strategy for restoring certain areas. She said that it is a difficult site to do that.

Ms. Roberson reviewed the draft motion for SPG 22-001 from her Staff Guidance. She suggested that the Commission may want to add quarterly inspections and more frequent surveying to the list of conditions.

Regarding tracking material, Mr. Held suggested that the Applicant could report how many loads are leaving the site quarterly which should match up with the reality of what the grades show. There was discussion regarding the stockpiled material that is there.

Ms. Roberson suggested that the Phase II area may be the best place to start remediation. Mr. Held stated that, for the most part, it would be just re-grading the side slopes. Discussion continued.

Mr. Fitzgerald suggested that the Applications be separated, act on the renewal, and continue the public hearing. Discussion continued.

Mr. Held asked about the procedure: Does the Commission have to vote separately on the processing piece and the excavation piece for the new special permit. Ms. Roberson explained that she had consulted with Peter Alter and he was comfortable with the way we handled it. He reviewed the draft motions and he did not determine that there needed to be a separate vote. She offered that the draft motion could be revised to make it clear that the action would be on both.

Ms. Kelleher stated that she feels that the Regulation should be changed and asked that it be put on the list for a future agenda.

Ms. Kelleher stated agreement with Mr. Fitzgerald's suggestion to act on the renewal, continue the public hearing, and for Staff to work with Applicant to determine agreed-upon monitoring.

Motion was made by A. Fitzgerald to continue the public hearing for **SPG 22-001**: Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material, to the regular meeting of the Planning and Zoning Commission to be held on August 16, 2022 at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom. Second by L. Herring. No discussion.

Motion carried by voice vote (6-0-0). M. Sigfridson had recused herself.

d. **Other Unfinished Business:**

1. **GBR 22-003**: Renewal of Gravel Special Permit SPG 19-002, Brooklyn Sand & Gravel, LLC, 64+- acres, 530 Wauregan Road, Removal of approximately 112,000 cubic yards of material. – Continued to August 16, 2022 (see above).
2. **SPG 22-001**: Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material.

Motion was made by A. Fitzgerald to renew the Gravel Special Permit application of Brooklyn Sand and Gravel for the property located at 530 Wauregan Road, Assessor's Map 30, Lots 97, 97-1, 97-2, identified in the files of the Brooklyn Land Use Office as GBR 22-003, a renewal of SPG 19-002, and all associated Wetlands Permits, with the finding that 27,000 cubic yards of material remain to be excavated from Phase II and 22,555 cubic yards of materials remain to be imported, and such material may be processed on-site, in accordance with all final documents and testimony submitted with the renewal application and including the relevant conditions of the original approval, listed here:

- 1) The submitted performance bond in the amount of \$200,000 shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless modified by the Planning and Zoning Commission or its designated staff.
- 2) Excavation is limited to the area shown on the plans dated 3/5/19, last revised 6/17/19, prepared by Provost & Rovero.
- 3) Reporting on the importation of material shall be submitted by the permittee to the Brooklyn Zoning Enforcement Officer quarterly in March, June, September, and December.
- 4) The quantity of imported material may not exceed 22,555 cubic yards of material in accordance with the Brooklyn Zoning Regulations as measured by truckloads (not less than 15 cubic yards per truck) and converted to cubic yards. Material excavated on-site will be counted in the year that it is excavated. Imported material will be counted in the year that it is brought in site. Stockpiled material shall not be counted towards the excavation volume or the importation volume.
- 5) All truck traffic to and from the operation will remain off Maynard Road and travel on state highways to and from Brooklyn Sand and Gravel on Wauregan Road.
- 6) Dust shall be controlled throughout the year using water or calcium chloride as appropriate for conditions. All trucks exiting or entering the site must have their tarp covers closed. Sweeping of the entrance area shall occur regularly and as needed.
- 7) Restoration shall commence upon completion of each phase of excavation as provided in the Zoning Regulations and as noted in the Restoration Notes on page 6 of the approved plans. Restoration for the 21 acres of additional areas (including parking and driveways, processing plants and ponds, raw and finished material stockpiles) shall commence within the timeframe specified in the Restoration Notes on page 6 of the approved plans. Failure to do so will result in appropriate enforcement action including the use of bond funds to restore the site.
- 8) The permit shall be renewed for a one-year period from date of issue on August 3, 2022. The renewal date is August 3, 2023.

Second by G. Maiato.

Discussion: A. Tanner asked about the 1-to-1 ratio and that 27,000 c.y. doesn't match the 22,555 c.y. Ms. Roberson explained that they had imported more.

Motion carried by voice vote (6-0-0). M. Sigfridson had recused herself.

M. Sigfridson returned to the table and resumed the position of Chair.

3. **SP 22-002:** Special Permit Application for a 6,000 s.f. storage/maintenance building with associated driveway, septic, well, drainage, and grading at 170 South St., Applicant: Country View Restaurant, LLC, R-30/Golf Course Overlay Zone. **\*Awaiting approval from IWWC\*.**

## **VII. New Business:**

### **a. Applications:**

1. **SD 22-002:** A proposal for a four-lot subdivision on Day St. (Map 43, Lot 6), Applicant: Jeffrey Weaver.

Ms. Roberson explained that this Application was received at the last meeting. It has been issued a Wetlands permit. It has been reviewed by Syl Pauley, Town Engineer, who didn't have any major concerns. Ms. Roberson explained that she had not had the time to review it in detail herself, but that she had prepared a draft motion. She provided a copy of the plans to the Chair of the Conservation Commission last week to share with the rest of the Commission, but they have not yet reviewed them and, therefore, there is no recommendation.

Paul Archer, Archer Surveying, represented the Applicant and gave an overview:

- He explained that there were two previous subdivisions, both fee-in-lieu of open space. One of them (6-Lot) had an appraisal done by Platt Associates. He has not had an appraisal for this 4-Lot subdivision which is in the R-30 Zone.
- Mr. Archer explained that it is a simple 4-Lot subdivision and they have all of the approvals, including the Health Department.
- There is 25 feet to the centerline.
- No sightline issues.
- Mr. Weaver tries to save as many trees as possible.
- The only thing that needs to be determined is how to handle the open space.

There was discussion regarding that a zoning permit is required before clearing an area of more than ½ acre for development. Trees have been cut down on the site. Ms. Roberson stated that no permit had been issued. Ms. Sigfridson stated that fee-in-lieu seems appropriate.

Mr. Archer stated that for the 10-Lot subdivision, the fee-in-lieu for each lot was \$1,100 and for the 6-Lot subdivision, the fee-in-lieu for each lot was \$1,000. He said that they are developing 4.5 acres out of the 55 acres. So, he said that the appraisal would be done on only the 4.5 acres as undeveloped land, not as a building lot. Ms. Sigfridson expressed concern as to whether the Commission has the authority to forego an appraisal, as Mr. Archer suggested. Mr. Archer stated that the Vision Appraisal that was done last year for the revaluation can be used. The land valuation for the 55 acres was \$136,000. Mr. Archer stated that they could calculate it or they could get an appraiser. There was discussion regarding finding an appraiser. Ms. Sigfridson suggested Reisse and Associates in Norwich.

Ms. Kelleher asked if the Conservation Commission had seen this. Mr. Archer explained that they had seen the other two subdivisions, when it was 80 acres, and they wanted the fee-in-lieu of open space on both of them. Mr. Archer stated that they are just making an assumption. Ms. Roberson stated that they are

familiar with the property and they are meeting on Monday. There was discussion regarding whether the appraisal would be ready by the August 16th meeting. There was discussion regarding being consistent. Ms. Roberson suggested that the Commission could amend the Regulations to allow the Commission to be flexible when appropriate. Mr. Archer suggested that the Regulations be changed to be more consistent with other towns. Ms. Roberson explained the concept behind open space.

There were no objections voiced regarding using Reisse Associates or another licensed appraiser. Mr. Archer does not feel confident that the appraisal will be ready for the August 16<sup>th</sup> meeting.

2. **ZRC 22-005:** Groundwater Protection Overlay Zone modification.  
**Note:** Scrivener's error – Should be **ZRC 22-006**

Ms. Roberson explained that she wants to keep moving on the issue that the Commission had previously discussed. The current regulations for the Groundwater Protection Overlay Zone forbids storage of hazardous materials. However, there are hazardous materials that are not a threat to groundwater resources, such as liquid propane that vaporizes into the air. Ms. Roberson prepared the zone change application (included in the amended packets to Commission Members). Ms. Kelleher stated that it is a pretty simple change.

Motion was made by C. Kelleher (as read by J. Roberson) to schedule a public hearing for ZRC 22-006 Revision to the Ground Water Protection Overlay Zone, for the regular meeting of the Planning and Zoning Commission to be held on September 7, 2022 at 6:30 p.m. in the Clifford B. Green Memorial Building, 69 South Main Street, Brooklyn, CT and via Zoom.

Second by L. Herring. No discussion.

Motion carried unanimously by voice vote (7-0-0).

**b. Other New Business:**

1. Pre-Application Discussion re: 50 Tiffany St. (former mill property) Owner: DMP Palmer Associates, Agent: Tony Marcotte, PE Realtor.

Tony Marcotte, PE Realtor, represented the Owner and gave a poster board presentation:

- He explained about the history of the property:
  - Purchased in 2007; Zoned Industrial and R-30; 2011 – Mill Conversion Overlay District that restricted housing in the existing building to over 55 years of age;
  - It had been previously approved for 110 units in the existing large building, commercial in the adjacent 34,000 s.f. building, and 104 townhouses on the R-30. The Mill Overlay District was created for the rest of the lot;
  - Due to the economy, they did not develop the site at that time, however, are ready now to propose a new development.
- They would like to propose a 65-foot tall, five-story building, using the existing footprint. Rather than commercial, the 34,000 existing building would be utilized for housing and community rooms, etc. The entire property would have a maximum of 300 units (a combination of one, two and, possibly, three bedroom units).
  - He explained about how they would handle structural safety during development. They have a demo permit.
  - They had the site analyzed for asbestos-containing material and both buildings have been 100 percent mitigated.

- He explained about how FEMA is revising the 100-Year Flood Plain. He indicated and explained about the current and revised Flood Plains on the plan.
- They are interested in doing a PDZ Application for the entire 30 acres. They would use less of the area for parking. They would use low-impact development strategies. He explained how they would handle infiltration of storm water, so there would be cleaner water going to the River.
- He said that removing the restriction for elderly makes sense because it is all residential area.
- He explained about putting parking in the 100-Year Flood Plain and how there would be more open space than previously proposed.
- He provided a packet of photos and explained about some of the previous projects that they had completed.
- He asked what the Commission thinks about the project.

There was discussion regarding the building height and foundation. Mr. Marcotte provided some copies of additional information to Commission Members. Mr. Marcotte explained that these apartments would bring much-needed workforce housing to the area. He explained that it is a family business that self-manages and that there would be a property manager office on-site.

There was discussion regarding zones. Ms. Roberson commented that R-10 would most closely match the neighborhood zone. There was concern regarding whether the Fire Department would be able to handle a 65-foot tall building. Mr. Maiato explained that the height is not an issue and he gave Creamery Brook's peak height of 85 feet as an example. Mr. Marcotte spoke about fire safety. There was discussion regarding the need for 3-bedroom apartments and the dwindling number of students at the schools.

Mr. Marcotte spoke about how they have a security guard during construction, and they provide well-lit parking lots and cameras around the entire site so that the residents will feel safe.

There was discussion regarding commercial use of the 34,000 s.f. building. Mr. Marcotte offered that they could try commercial use in that building, but they would reserve the right to do residential if, after two years, commercial wasn't working out.

There was discussion regarding traffic and Mr. Marcotte explained that residential traffic is minimal. The road was re-paved and widened some. They have a secondary egress along the River and this easement is gated, but they could work something out regarding emergencies.

There was discussion regarding affordable housing. He explained that they allow Section 8, but are usually above their requirements. Ms. Sigfridson commented that a project that incorporates a portion of affordable housing, as defined by the Statutes, would be considered attractive. Discussion continued. Ms. Roberson explained that the Brooklyn Housing Plan identifies this location as one of the preferred locations for housing, based on the fact that it has water and sewer and it is already urbanized. Ms. Roberson commented that the Town has systematically, over the years, been trying to create public access along the water. Mr. Marcotte explained that they had done that for a project in Fitchburg and that it would be a prescriptive easement, not definitive. He said that it would be monitored and he noted that the Town may be asked for help if it became problematic. He mentioned possibly building a bridge had been discussed. There was discussion regarding a building where they may possibly put up a gazebo in its place.

Mr. Marcotte spoke about an issue of fill going down a slope that the hydro-electric people would need to address.

Mr. Marcotte explained that their own people would be doing the work, but that they would also hire a couple of local laborers. He said that it would go up pretty quick. He said that the next step is the design and the foundation depend on the height of the building. They would like to design during the winter and build during the next construction season (spring). Discussion continued regarding the height and fire safety. Mr. Maiato, who is also a member of the Fire Department, feels that the height wouldn't be an issue. Mr. Fitzgerald expressed trust in Mr. Maiato's opinion.

Paul Archer, who was present in the audience, asked about sewer capacity. Ms. Roberson stated that the unallocated sewer capacity was 77,500 gallons per day within the past year. Mr. Marcotte stated that it is typically 150 gallons per day per bedroom, which would use up that capacity. He said he would do this prior to the design and he asked what the Board would like him to come back with. Ms. Roberson explained that it would be a zone change and that it would make sense to communicate specifically on zone change options. Then, a draft zone change could be presented or they could just submit a zone change application. Ms. Kelleher commented that this could create a new zone. Planned Development Zone was mentioned. There was discussion regarding that the elderly component could be eliminated from the MMUD Zone. Discussion continued.

Mr. Marcotte will work with Ms. Roberson.

## 2. Discussion of Affordable Housing Plan/POCD (cont.)

Ms. Roberson suggested that the Commission consider adopting the Brooklyn Housing Plan as an intermediate amendment to the POCD as the Housing Chapter. She explained that this would make the POCD meet the update requirement. Discussion continued.

Motion was made by C. Kelleher to start the process to adopt the Brooklyn Housing Plan as an amendment to the POCD.

Second by L. Herring. No discussion.

Motion carried unanimously by voice vote (7-0-0).

## **VIII. Reports of Officers and Committees:**

- a. Staff Reports (ZBA actions and ZEO Report were included in packets).  
There was discussion regarding variances.

There was discussion regarding a one-lot subdivision on Woodward Road which was approved at the May 17<sup>th</sup> meeting of the PZC. Ms. Roberson explained that after the approval, she noticed that the flood zone was not depicted on the plan. However, it is mentioned in a note that the actual line of boundary was supposed to have been depicted on the plans. Ms. Roberson had consulted with the Land Use Attorney about a possible remedy: Put it on the plans and add a note about the Flood Protection Ordinance to the plans. The Attorney thought both were a good idea. She explained that, currently, you can put a house in the flood zone, but it has to be flood proofed and you would have to purchase flood insurance. We have not received any Mylars for filing before Ms. Sigfridson signs them. The new flood boundary, which will probably be adopted next year, shows that the house will be completely outside the flood zone. The current flood mapping, which is from 1985 and imprecise, is particularly bad in Windham County. She asked if any of the Commission Members have a problem with Ms. Sigfridson signing the plans as they are, containing language stating that the parcel is in the flood zone.

Ms. Sigfridson expressed concern about wanting to handle the mistake on the plans the correct way. Where does the responsibility for the mistake lie? Is it appropriate to ask the Applicant to add it to the plans before she signs them? She said that she would not ask that the note be put on the plans because there is nothing in the Subdivision Regulations referencing that.

Paul Archer provided copies of the old flood maps. He orientated the property on the new flood mapping that has not yet been adopted. Ms. Roberson explained about overlaying the maps. Mr. Archer explained that when someone comes in with a site plan, is when the Commission can ask the Applicant to show where the 100-year flood zone is. He said that it does not need to be on there now, it is on the note. He spoke in opposition to making these changes because he said that this has happened before this Commission twice before (Tripp Hollow Road) and he was not allowed to change the plans, they had to come back before the Commission with new revised plans to do it. He asked for consistency. He said it was an oversight, it was not intentional. He believes the plans should be put on file the way they were approved. Discussion continued. The decision was for Ms. Sigfridson to sign the plans as approved. Mr. Archer will print the mylars and will submit them this week.

b. Budget Update

Ms. Roberson stated that there were updates to the software and she will provide it to Commission Members.

At 10:10 p.m. Ms. Roberson reported that S. Deshaies was no longer present due to losing internet connection at 10:05 p.m.

c. Correspondence – None.

d. Chairman's Report

Ms. Sigfridson explained that she and Mr. Tanner are being deposed regarding the ongoing Jolley Court case.

New Alternate Member Brian Simmons was introduced.

**IX. Public Commentary – None.**

**X. Adjourn**

M. Sigfridson adjourned the meeting at 10:12 p.m.

Respectfully submitted,

J.S. Perreault  
Recording Secretary

## Margaret's Report 8/1/2022

### Zoning Permits issued:

**670 Wauregan Road – Ann Rochester.** New 24' round above-ground swimming pool with 30' x 30' deck; new 14' x 14' shed on concrete piers.

**118 Spaulding Road – Keith & Rebecca Kneeland.** New 10' x 14' shed on a gravel base.

**59 Lasalette Drive – Stephen Bellantone.** New 12' x 25' rear deck and new 28' x 28' attached garage on existing foundation.

**141 Laurel Hill Road – Gregory Weisenberger.** New 20' x 30' post and beam garage and loft for storage, with variance issued by the ZBA. The variance has been recorded in the Land Records.

**385 Tripp Hollow Road – Square One Builders.** New single-family dwelling with attached garage, side deck and rear porch.

**357 Church Street – Jeff Weaver.** New single-family dwelling.

**110 Creamer Brook Road – Robert Brandriff.** New 28' x 36' detached garage with storage above.

### Final Certificates of Zoning Compliance issued:

**118 Spaulding Road – Keith & Rebecca Kneeland.** New single-family dwelling, attached garage with suite above, rear deck and rear covered porch.

**Home Office Permits Issued:** None.

**Sign Permits issued:** None.

### Zoning Issues:

**67 Paradise Drive – Lisa Bessette.** Storage of a camping trailer and using a camping trailer as a dwelling unit on a lot with no approved dwelling unit. A Citation for Zoning Violations was issued on 7/13. A Citation Hearing has been scheduled for August 11.

**670 Wauregan Road – Ann Rochester.** Junkyard Conditions. A Cease & Desist Order was issued on July 27. A re-inspection has been scheduled for August 11.

### ZBA Variances Granted:

- 1. ZBA 22-001 Galliehue Blevins, 58 Juniper Way, Map 40, Lot 88-36, 1.24 Acres, RA Zone,** for a variance of the Zoning Regulations, Section 3.C.5.2.2, to reduce the minimum side yard setback from 40 ft to 10 ft to install an in-ground swimming pool, patio and pool shed. **Approved.**
- 2. ZBA 22-002 Gregory Weisenberger, 141 Laurel Hill Road, Map 17, Lot 1A, 1.5 Acres, RA Zone,** for a variance of the Zoning Regulations, Requesting variance of Section 3.C.5.2.1 to reduce the minimum front yard setback of 50 feet to 40 feet to construct 20-foot x 30-foot garage with loft for storage. **Approved. Variance has been recorded.**



# TOWN OF BROOKLYN

P.O. Box 356 - Route 6 and 169  
BROOKLYN, CONNECTICUT 06234

OFFICE OF SELECTMEN  
TELEPHONE: 779-3411  
TOWN CLERK  
TELEPHONE: 774-9543  
ASSESSOR  
TELEPHONE: 774-5611  
TAX COLLECTOR  
TELEPHONE: 774-4072  
JUDGE OF PROBATE  
TELEPHONE: 774-5973



Received Date \_\_\_\_\_  
Fee \$ 250  State Fee ( \$80.00 )

Application #SPG SPG22-001  
Check # 16090 \$310<sup>00</sup>  
10274 \$5100<sup>00</sup>  
16092 \$ 50<sup>00</sup>  
Remain  
5460<sup>00</sup>

## APPLICATION FOR GRAVEL BANK SPECIAL PERMIT

Name of Applicant Brooklyn Sand & Gravel, LLC Phone 860-774-5000  
Mailing Address 42 Junior Ave., Danielson, CT 06239  
Relation operator

Property Owner Wayne L. & Leslie A. Jolley Phone 860-774-5000  
Mailing Address 42 Junior Ave., Danielson, CT 06239

Name of Engineer/Surveyor Powrass & Rovero, Inc.  
Address P.O. Box 191, Plainfield, CT 06374  
Contact Person David Held Phone 860-234-3183 Fax \_\_\_\_\_

Name of Attorney N/A  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property address Wauvegan Rd (Rte 205)  
Property Location \_\_\_\_\_  
Map # 30 Lot # 97 Zone PA Total Acres 64 ±

Maximum Area : 97-1  
97-2  
Acres of Gravel Removal 7.0 acres Cubic Yards of Gravel Removal 208,000 cu

Is Application for Renewal? Yes \_\_\_\_\_ No X If Yes, Amount Removed Last Year \_\_\_\_\_  
Original Date of Issuance of Permit \_\_\_\_\_ Issued To: \_\_\_\_\_

Compliance with Article 13, Gravel Banks  
Compliance with Article 5, Special Permit Requirements

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Wayne Jolley Date 4/28/22  
Owner: Wayne Jolley Date 4/28/22

\*Note : All consulting fees shall be paid by the applicant

# Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

May 2, 2022

Jana Roberson, Director of Community Development & Town Planner  
69 South Main Street  
Suite 22  
Brooklyn, CT 06234

**RE: Brooklyn Sand & Gravel – Wauregan Road – Proposed Special Permit Application  
P&R Job No. 153082**

Dear Ms. Roberson:

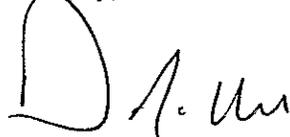
Attached hereto, is an application for approval of a special permit to allow excavation and processing of sand and gravel materials on the subject property. The applicant is requesting approval of these activities in accordance with sections 6.O and 6.P of the Brooklyn Zoning Regulations. A related application for renewal of the existing excavation special permit on the subject property has also been submitted. Because of the relationship of these two applications, the following summary is offered for clarity in the processing of both applications.

The current special permit approval allowed the excavation of 110,000 cubic yards of material in two phases. The importation of material for processing was also allowed provided that the quantity of material imported was no greater than the quantity of material excavated on site. The phase 1 area in the current permit has been fully excavated and is in the process of being backfilled (57,000 CY excavated). The phase 2 area in the current permit is partially excavated and of the 53,000 CY approved for excavation, 26,000 CY has been excavated and 27,000 CY remains to be excavated. The renewal application calls for the excavation of the remaining 27,000 CY and the importation of 27,000 CY of material for processing on site.

The proposed special permit application submitted herewith is for the excavation of 208,000 CY of material in three phases. 71,000 CY of this total has already been excavated from phase 1 and the instant application would be considered an “after the fact” approval of this excavation. 137,000 CY of this total is proposed new excavation. This application will also cover the processing of 137,000 CY of newly excavated material on the subject property.

If you have any questions or need additional information, please do not hesitate to contact me at your convenience.

Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.

# Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191  
57 East Main Street  
Plainfield, CT 06374

Telephone (860) 230-0856  
Fax (860) 230-0860  
www.prorovinc.com

July 1, 2022

Jana Roberson, Director of Community Development & Town Planner  
69 South Main Street  
Suite 22  
Brooklyn, CT 06234

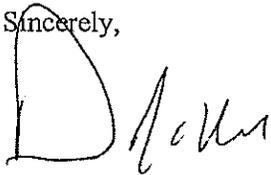
**RE: Brooklyn Sand & Gravel – Wauregan Road – Brooklyn, CT  
P&R Job No. 153082**

Dear Ms. Roberson:

This letter shall serve to grant a 65 day time extension for the processing of both the special permit application and excavation renewal application for the above referenced project.

If you have any questions or need additional information, please do not hesitate to contact me at your convenience.

Sincerely,



David J. Held, P.E., L.S.  
Provost & Rovero, Inc.



neccog

ashford brooklyn danbury dayton eastern hampton kingly planfield  
garden putnam sofield stamford thompson west hartford woodstock

## MEMORANDUM

TO: Jana Roberson, AICP  
Land Use Administrator  
Town of Brooklyn, CT

FROM: Syl Pauley, Jr., P.E.  
NECCOG Regional Engineer

SUBJECT: Proposed Gravel Excavation  
Special Permit Applications  
(GBR 22-003 & SPG 22-001)  
Brooklyn Sand & Gravel, LLC  
(Assessor's Maps 30, Lot Nos. 97, 97-1 & 97-2)  
Brooklyn, Connecticut

DATE: July 12, 2022

---

I have reviewed Provost & Rovero's plans dated April 28, 2022 and applications bearing the same date for Gravel Bank excavations, which that you sent to me via email for the above-captioned applications, and have no comments with respect to the engineering aspects of the plans for either application.

The over-excavation of 71,000 cubic yards of gravel at the Brooklyn Sand & Gravel site, which you brought to my attention, is in close proximity or adjacent to the previously approved original "Phase I" area, which is delineated on the current plan under review. This is not an infrequent issue and I believe this needs to be further examined by the Planning and Zoning Commission for any earth materials mining operation within the Town of Brooklyn. If this is not done and more exacting ways of determining what is mined on-site and what is brought in from off-site to be processed on the mine site are not put in place, there will always be questions as to whether or not removal/processing of material is in accordance with conditions of an issued earth excavation and/or materials processing permit (separate permits). Here are my thoughts of ways that may be able to accomplish this:

1. Daily manual counts by a town employee or third-party person to record haul vehicles, with certified water level haul capacity, both entering and leaving the site at all entrances to the site. Compensation of this person or persons should be the responsibility of the site operator, not the town.

2. Weighing haul vehicles, unloaded and loaded, on a certified calibrated truck scale, which can be owned and maintained by the operator of the earth products operation, and print out weigh tickets with one copy of the ticket delivered to the town, as required. For this type of monitoring, at least video cameras may be needed to record vehicles entering and leaving the site at all entrances and at the weigh scale(s) to ensure that loads are not missed. Also, copies of the daily video recordings should be delivered to the town by the site operations manager on a regular basis. The town should be compensated for the time to record the paper tickets and reviewing the matching video surveillance.

With respect to the application for the new permit, and possibly the renewal permit, I have the following comments:

1. The previously over-excavated 71,000 cu. yd. of material should be included in the “new” permit. However, it is my opinion that this quantity should be disclosed in the permit application as attributed to over-excavation in originally approved Phase I area so as not to over-excavate, again, by 71,000 cu. yd.
2. On the plans in Phase I, the “after the fact excavation volume” needs to be relabeled to indicate that it was excavation beyond what was approved in the original permit. Additionally, the over-excavated area should be highlighted within the Phase I area for further clarification of this matter so that the original Phase I area will stand out.
3. Mr. Held’s letters of May 2, 2022 state that the excavation permits applied for include processing of material mined on site and that which may be brought in from off-site sources. According to what I read under Zoning Regulation 6P, any processing of material on the subject site from either on-site or off-site sources requires a separate and distinct “earth materials processing permit.” A permit issued under Zoning Regulation 6O does not allow processing of any material on the site without a separate “earth materials processing permit.” Accordingly, the Applicant has not submitted an application for on-site materials processing and, therefore, needs to submit a separate and distinct application to the Commission for Materials Processing to be considered at a future meeting.

Please do not hesitate to contact me with any questions or comments you may have.

Respectfully,

*Syl Pauley, Jr., P.E.* (digitally signed)

Syl Pauley, Jr., P.E.  
NECCOG Regional Engineer

SP/s

Cc: File

JRMem\_BklynSandGravelCmts\_July2022.doc



# Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands \_\_\_\_\_ Zoning Enforcement  Blight Enforcement \_\_\_\_\_

SITE INSPECTION NUMBER

1 2 3 4 5

Brooklyn Sand + Gravel  
Address

7/14/22  
Date

I inspected and took photos of Phase 1 from the driveway on the south side. Cinderblocks with voids were stockpiled at the top of the slope of fill.

Wood chips were also stockpiled nearby at the top of the slope.

Concrete waste water appears to have been discharged onto the slope of Phase 1 where fill is being deposited.

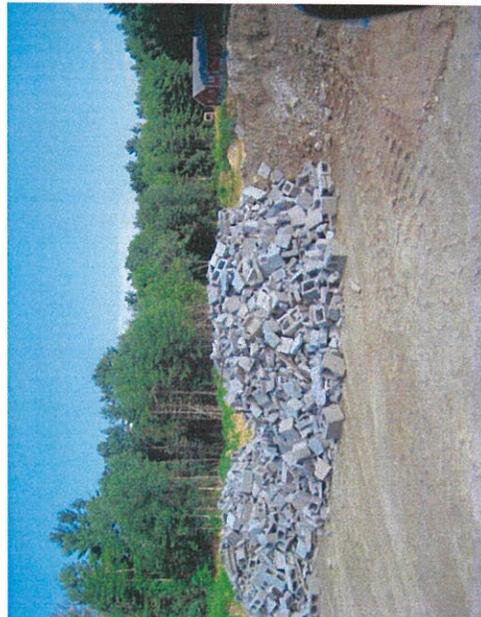
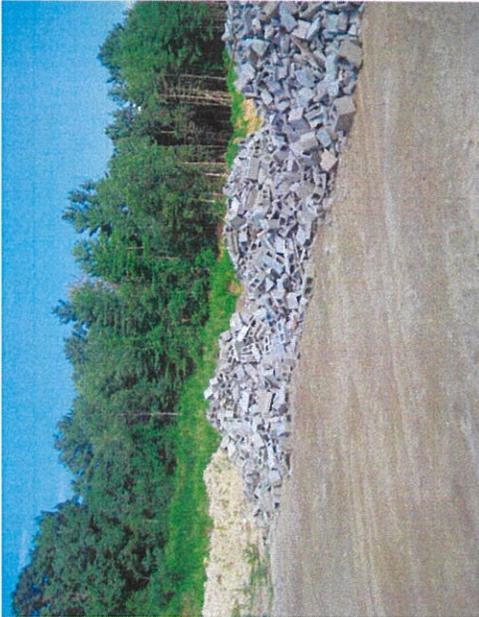
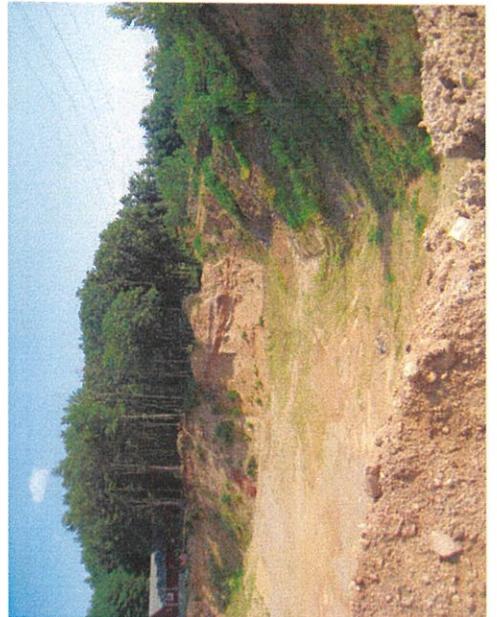
Commission Representative M Washburn

Owner or Authorized Signature \_\_\_\_\_

Brooklyn  
Sand + Gravel

Phase I

photos taken  
7/14/22



## Jana Roberson

---

**From:** Syl Pauley <Syl.pauley@necog.org>  
**Sent:** Tuesday, August 02, 2022 10:30 AM  
**To:** Jana Roberson  
**Subject:** Re: Cinder blocks and concrete waste

Jana,

I am not sure if CT DEEP would regulate unprocessed deposition of construction demolition debris on this property - including masonry blocks, bricks, waste Portland cement concrete, etc. - as your photograph demonstrates. However, I did find on their site that they have an extensive listing of companies licensed to receive, treat and dispose of construction debris, which includes masonry blocks, brick, etc.

Large boulders and masonry blocks are of a size and shape that when buried in a homogeneous mass will create voids between the material that, over time, may cause depressions on the surface of land above them. This would be due to granular material gradually migrating downward and filling the voids. To minimize this, the material creating the voids should be spread out and buried as deep as possible. Furthermore, masonry blocks should be crushed as much as possible to reduce the creation of large voids.

One more thing. This photograph indicates that the material is being end-dumped and not compacted in lifts. If this site is to be repurposed in the future, for example as a residential subdivision, it is important that the material be compacted in lifts. If it is not, settlement will be ongoing for many years after the filling is completed, which could eventually impact the stability of a house foundation or a roadway.

Syl

---

**From:** Jana Roberson <J.Roberson@Brooklynct.org>  
**Sent:** Monday, August 1, 2022 5:03 PM  
**To:** Syl Pauley <Syl.pauley@necog.org>  
**Subject:** Cinder blocks and concrete waste

Syl,

Did you want to comment on the fill in the pit? You have made comments before about the need to avoid voids.

Jana Butts Roberson, AICP  
Director of Community Development/Town Planner  
69 South Main Street, Suite 22  
Brooklyn, CT 06234  
(860) 779-3411 x.14  
Mon/Tues 8-5, Thurs 8-6  
[j.roberson@brooklynct.org](mailto:j.roberson@brooklynct.org)



TOWN OF BROOKLYN  
Land Use Department  
69 South Main Street • Suite 22  
BROOKLYN, CONNECTICUT 06234  
860-779-3411 Ext. 12

**WETLANDS PERMIT 051022A**

CERTIFIED# 7021 2720 0001 3206 1392

---

Brooklyn Sand & Gravel LLC  
42 Junior Avenue  
Danielson, CT 06239

June 15, 2022

RE: 051022A – Map 30 Lot 97 - Brooklyn Sand and Gravel. Continuation and expansion of gravel excavation and processing operations.

Dear Brooklyn Sand & Gravel LLC,

At the regularly scheduled June 14, 2022 meeting of the Brooklyn Inland Wetlands and Watercourses Commission, your application, 051022A – Map 30 Lot 97 - Brooklyn Sand and Gravel. Continuation and expansion of gravel excavation and processing operations, was approved with standard conditions and the following Special Condition:

Maintain the vegetated berm between the work area and the Quinebaug River; maintain the signage and snow fencing at the site.

The site plan approved under this permit is titled “Proposed Gravel Excavation & Processing Operation Wauregan Road (Route 205)”, signed and stamped by David Held of Provost & Rovero, Inc., and dated April 28, 2022.

A legal notice of this approval will be published in the Turnpike Buyer on June 22, 2022. Please note that this action of the Brooklyn Inland Wetlands and Watercourses Commission may be appealed for fifteen-day period following the publication of the legal notice.

If you have any questions, please contact me.

Issued by:

*Margaret Washburn*

Margaret Washburn  
ZEO/WEO/Blight Enforcement Officer  
69 South Main Street, Suite 23  
Brooklyn, CT 06234  
(860) 779-3411 ext. 31  
Mon. – Thurs. 8:00 am – 3:30 pm  
[m.washburn@brooklynct.org](mailto:m.washburn@brooklynct.org)

file/MW

CC: David Held

BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION  
STANDARD CONDITIONS FOR IWWC PERMITS 12/13/16

**APPLICANT: READ CAREFULLY**

IWWC Permit Document. A copy of the IWWC approval motion and the conditions stated herein shall constitute the IWWC permit for the approved activity when the permit document is signed and dated by the IWWC Agent.

Notice of Start and Finish. Permittee shall notify the IWWC agent at least 48 hours before the approved activity commences and within 72 hours after completion of the activity.

Permit Duration. This permit is valid for a period in accordance with Section 11.6 of the Brooklyn Inland Wetlands and Watercourses Regulations and the Connecticut General Statutes. Any request to renew or extend the expiration date of a permit can be granted only as authorized by the IWWC Regulations. Expired permits may not be renewed.

Erosion and Sedimentation Controls. Permittee is responsible for implementing the approved erosion and sediment control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan. The permittee shall inspect the erosion controls weekly and after rains and repair deficiencies within twenty-four hours. The IWWC and its staff may require additional erosion if needed to prevent erosion and sedimentation. Restabilization of the site shall take place as soon as possible.

Stockpile locations. During construction, piles of fill, erodible material and debris shall not be created within regulated areas. The locations of debris and other stockpiled materials shall be shown on the submitted plans. Any material excavated at the site shall be disposed of at upland or off-site locations reviewed and approved by staff.

Permit Transfer. The permittee shall not transfer this permit without the written permission of the IWWC.

Work in Watercourse to Occur During Low Flow. Work within a watercourse is limited to periods of low flow. Low flow periods normally occur between August and October. Upon request of permittee, wetlands staff can determine if the activity can occur at other times following an on-site field investigation.

Scope of Permit. This permit is for the approved activity ONLY. Additional activity may require an additional permit. Note that if an approval or permit is granted by another agency and

(1) the approved activity will affect wetlands and/or watercourses; and/or

(2) the activity occurs within 125 feet of flagged boundaries and 175 feet from watercourses;

and such activities have not been addressed by this permit, then the applicant shall resubmit the application for further consideration by the Inland Wetlands and Watercourses Commission before any work begins.

Ongoing Compliance with Permit. The permittee shall comply at all times with the permit.

Other Approvals May be Required. Other permits may be required from Town, state or federal agencies. An Army Corps of Engineers permit may be required: U.S. Army Corps of Engineers, 424 Trapelo Rd., Waltham, MA 02254 1-800-362-4367.

# MOBILE HOME FOR SALE

Also, Rentals Available  
Rent \$700 No Sec.

In Quiet Country Park  
2 Bedroom

\$20,000

860-963-9562

ROOM FOR RENT: 472 Norwich Rd., Plainfield, CT. Heat, electric, wifi, 15x18ft room, access front porch. Kitchen & bathroom privileges included. 1st & last months \$650. Text 1-860-208-7707 Must Have Steady Job. ¥T@07-20©

## TOWN • OF • BROOKLYN

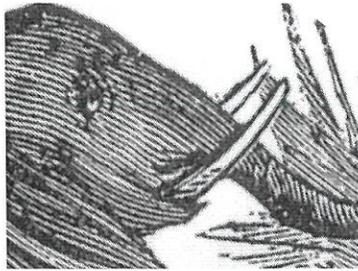
### PLANNING AND ZONING COMMISSION NOTICE OF RESCHEDULED PUBLIC HEARING

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A copy of these applications will be available for review on the Town of Brooklyn website and at the Land Use office. All interested parties may attend the meeting, be heard and written correspondence received. Written correspondence may be submitted in advance of the meeting to the Town Planner at j.roberson@brooklynct.org or at 69 South Main Street, Brooklyn, CT 06234.

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- Meet time and schedule standards for assigned task
- Identify issues and opportunities in meeting cost requirements of assigned work
- Identify set-up reduction opportunities and lean process opportunities and communicate to proper 6S team leads

### QUALIFICATIONS and EXPERIENCE REQUIRED:

- A genuine belief in continuous improvement and disciplined processes and a willingness to analyze, challenge and change processes, if needed, to create a more efficient environment and culture
- Self starter with ability to multi-task and prioritize work day/projects independently
- Knowledge and use of precision measuring instruments and the application of such instruments; Instruments should include but not limited to calipers, ID and OD micrometers, depth gauges, indicators and scales
- Valid driver's license required

### TO APPLY FOR POSITION:

Submit letter of interest detailing qualifications or a resume online to [andreww@erwinc.com](mailto:andreww@erwinc.com)

ERW will not discriminate against any job seeker based on gender, race, veteran status, disability or any other protected status.

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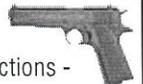
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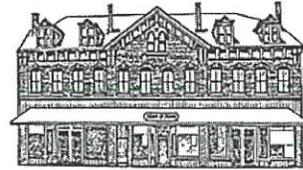
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## TOWN • OF • BROOKLYN

### PLANNING AND ZONING COMMISSION NOTICE OF RESCHEDULED PUBLIC HEARING

The Planning and Zoning Commission will hold a rescheduled public hearing on Wednesday, August 3, 2022, at 6:30 p.m. via Zoom and in-person at the Clifford B. Green Memorial Center, 69 South Main Street Brooklyn, CT on the following:

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T

**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLIC HEARING**

The Planning and Zoning Commission will hold a public hearing on Wednesday, July 6, 2022, at 6:30 p.m. via Zoom and in-person at the Clifford B. Green Memorial Center, 69 South Main Street Brooklyn, CT on the following:

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See link for full application materials:

[https://www.brooklynct.org/sites/g/files/vyhlf4201/f/agendas/ph\\_07-06-22\\_merged\\_compressed.pdf](https://www.brooklynct.org/sites/g/files/vyhlf4201/f/agendas/ph_07-06-22_merged_compressed.pdf)

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7021 2720 0001 3206 1354

KILLINGLY + PLAINFIELD  
TOWN CLERKS

A PUBLIC HEARING DEALING WITH  
THESE PREMISES IS TO BE HELD AT THE  
CLIFFORD B. GREEN MEETING CENTER  
ON WEDNESDAY, 8/3/2022 AT 6:30PM  
DEALING WITH AN APPLICATION FOR  
GRAVEL EXCAVATION & PROCESSING



Abutting Property Owners & Across the Street as of 6/20/2022

Brooklyn Sand & Gravel, LLC  
Wauregan Road  
Brooklyn, CT  
Map 30, Lot 97, 97-1, 97-2

Brooklyn

<u>Map/Lot</u>	<u>Owner</u>
✓ 30/68-2	Kenneth M. Harris & Bonnie L. Marson 619 Wauregan Road Brooklyn, CT 06234
✓ 30/68-3	Michael McMerriman, Trustee 122 Flat Rock Road Plainfield, CT 06374
✓ 30/68-4	Heather Vaillencourt & Christopher M. Vaillencourt 613 Wauregan Road Brooklyn, CT 06234
✓ 30/68-5	Laurie A. Cassada P.O. Box 434 Brooklyn, CT 06234
✓ 30/68, 68-6	Phillip W. Curry & Mary Ellen Curry 607 Wauregan Road Brooklyn, CT 06234
✓ 30/69	Marcel V. Dessert 601 Wauregan Road Brooklyn, CT 06234
✓ 30/70	Donald McCollum, Administrator 589 Wauregan Road Brooklyn, CT 06234
✓ 30/72	Gerard A. Rondeau 311 Providence Pike Hampton, CT 06247
✓ 30/73	Kenneth C. Niemann, Jr. & Michelle B. Nieman 573 Wauregan Road Brooklyn, CT 06234

- ✓ 30/73A  
Jean Fleming & Terry A. Fleming  
567 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/75  
Mary Jane Richardson  
533 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/76  
Stephen McGann & Khela McGann  
527 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/95  
My Community Bible Church, Inc.  
40 Marie Street  
Plainfield, CT 06374
- ✓ 30/96A  
Sheila J. Butters & Paul S. Butters  
594 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/96  
Michael Galloway  
588 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/97-1, 97-2, 97-8, 97-9  
Wayne L. Jolley & Leslie A. Jolley  
524 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/97C  
Lori A. Pike  
3 Pleasantview Drive  
Brooklyn, CT 06234
- ✓ 30/97-3  
Shellie J. Ogden & Joseph P. Ogden  
564 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/97-4  
Frank J. Houlse, Jr. & Lynda M. Layman  
558 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/97-5  
Terri Carpenter  
554 Wauregan Road  
Brooklyn, CT 06234
- ✓ 30/97-6  
Kim Valade  
50 Laperle Avenue  
Plainfield, CT 06374
- ✓ 30/97-7  
Dawn Sanchas  
540 Wauregan Road  
Brooklyn, CT 06234

✓ 31/28C

Langevin Limited Partnership  
542 Allen Hill Road  
Brooklyn, CT 06234

**Plainfield**

<u>Map/Block/Lot</u>	<u>Owner</u>
12/225/56	State of Connecticut 79 Elm Street Hartford, CT 06106
12/125B/18	Pauline T. Sleboda 313 Green Hollow Road Danielson, CT 06239

589 WAUREGAN RD BROOKLYN	CT	06234	527 WAUREGAN RD BROOKLYN	CT	06234	524 WAUREGAN RD BROOKLYN	CT	06234-2540
540 WAUREGAN RD BROOKLYN	CT	06234	50 LAPERLE AVE PLAINFIELD	CT	06374-1906	PO BOX 434 WAUREGAN	CT	06387-0434
594 WAUREGAN RD BROOKLYN	CT	06234-2540	533 WAUREGAN RD BROOKLYN	CT	06234-2535	588 WAUREGAN RD BROOKLYN	CT	06234-1530
524 WAUREGAN RD BROOKLYN	CT	06234-2540	558 WAUREGAN RD BROOKLYN	CT	06234	607 WAUREGAN RD BROOKLYN	CT	06234-2028
613 WAUREGAN RD BROOKLYN	CT	06234-2547	122 FLAT ROCK RD PLAINFIELD	CT	06374	564 WAUREGAN RD BROOKLYN	CT	06234-2540
601 WAUREGAN RD BROOKLYN	CT	06234-2547	554 WAUREGAN RD BROOKLYN	CT	06234	619 WAUREGAN RD BROOKLYN	CT	06234
524 WAUREGAN RD BROOKLYN	CT	06234-2540	40 MARIE ST PLAINFIELD	CT	06374	524 WAUREGAN RD BROOKLYN	CT	06234-2540
524 WAUREGAN RD BROOKLYN	CT	06234-2403	524 WAUREGAN RD BROOKLYN	CT	06234-2540	542 ALLEN HILL RD BROOKLYN	CT	06234
607 WAUREGAN RD BROOKLYN	CT	06234-0137						



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	Michael McMerriman, Trustee 122 Flat Rock Road Plainfield CT 06374				
	Heather Vaillencourt & Christopher M. Vaillencourt 613 Wauregan Road Brooklyn CT 06234-				
	Laurie A. Cassada P.O. Box 434 Brooklyn CT 06234-				
	Phillip W. Curry & Mary Ellen Curry 607 Wauregan Road Brooklyn CT 06234-				
	Marcel V. Dessert 601 Wauregan Road Brooklyn CT 06234-				



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	Gerard A. Rondeau 311 Providence Pike Hampton CT 06247-				
	Kenneth C. Niemann, Jr. & Michelle B. Niemann 573 Wauregan Road Brooklyn CT 06234-				
	Jean Fleming & Terry A. Fleming 567 Wauregan Road Brooklyn CT 06234-				
	Mary Jane Richardson 533 Wauregan Road Brooklyn CT 06234-				
	Stephen McGann & Khela McGann 527 Wauregan Road Brooklyn CT 06234-				



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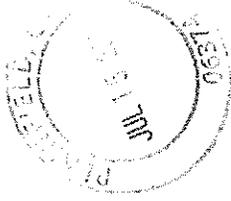
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	Wayne L. Jolley & Leslie A. Jolley 524 Wauregan Road Brooklyn CT 06234-				
	Lori A. Pike 3 Pleasantview Drive Brooklyn CT 06234-				
	Shellie J. Ogdén & Joseph P. Ogdén 564 Wauregan Road Brooklyn CT 06234-				



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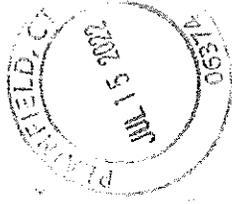
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558 Wauregan Road

Brooklyn CT 06234-

Terri Carpenter

554 Wauregan Road

Brooklyn CT 06234-

Kim Valade

50 Laperle Avenue

Plainfield CT 06374-

Dawn Sanchas

540 Wauregan Road

Brooklyn CT 06234-

Langevin Limited Partnership

542 Allen Hill Road

Brooklyn CT 06234-

State of Connecticut

79 Elm Street

Hartford CT 06106-

Parcel Airift

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Fee

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(Name, Street, City, State, and ZIP Code™)

Pauline T. Sleboda  
313 Green Hollow Road

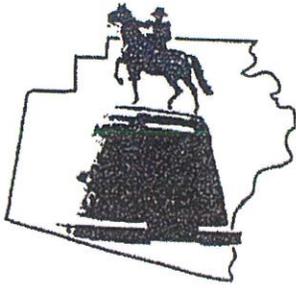
Danielson CT 06239-

Postage

Fee

Special Handling

Parcel Airlift



TOWN OF BROOKLYN  
Land Use Department  
69 South Main Street • Suite 22  
BROOKLYN, CONNECTICUT 06234  
860-779-3411 Ext. 12

**CLOSED 6-28-2022**  
**NOTICE OF EXCEEDANCE**

CERTIFIED # 7021 2720 0001 3206 2221

Brooklyn Sand and Gravel, LLC  
42 Junior Avenue  
Danielson, CT 06239

March 21, 2022

Brooklyn Sand and Gravel, LLC:

Today, I inspected and took photographs at your property at 530 Wauregan Road (Map 30, Lots 97, 97-1 and 97-2). Please refer to the attached photographs. In accordance with Section 6.O.7.3.b of the Brooklyn Zoning Regulations, based on today's on-site inspection, I have determined that Brooklyn Sand and Gravel, LLC, the holder of Gravel Special Permit SPG 19-002, appears to have exceeded the approved limits of the Phase 1 Excavation Area, as shown on the approved plans.

I hereby require an updated as-built plan to be submitted, showing the area that has been mined beyond the approved limits of the excavation. The plan shall be stamped by a land surveyor and a professional engineer.

In addition, I hereby require an estimate to be submitted, prepared by professional engineer, of the number of cubic yards of material removed from the area that has been mined beyond the approved limits of the excavation.

In accordance with Section 6.O.7.3.b of the Brooklyn Zoning Regulations, such information shall be provided by the holder of the Special Permit within 30 days of written notice of the information required by the Zoning Enforcement Officer.

If it is determined that the excavation does exceed that authorized by the Special Permit issued by the Commission, the holder of the Special Permit shall apply for a new Special Permit for such work within 30 days of written notice of the exceedance issued by the ZEO. In the event that the holder of the Special Permit does not apply for a new Special Permit within 30 days from the date of the notice from the ZEO, the ZEO may issue a cease and desist order and/or may pursue enforcement penalties as provided by the Connecticut General statutes.

As we discussed at the March 17, 2022 meeting at the Clifford B. Green Memorial Center, work can proceed while an application for a new Gravel Special Permit is being prepared and processed. Please refer to the enclosed memo prepared by Jana Roberson, to that effect.

Also, as discussed at the March 17, 2022 meeting, a new Inland Wetlands permit application is required in order for the new Gravel Special Permit Application to be approved.

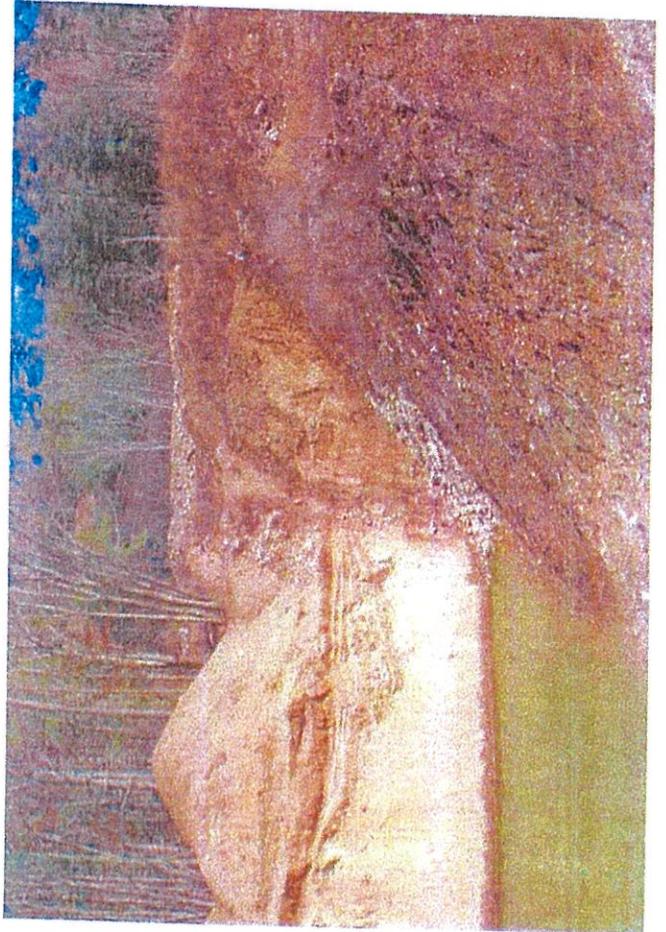
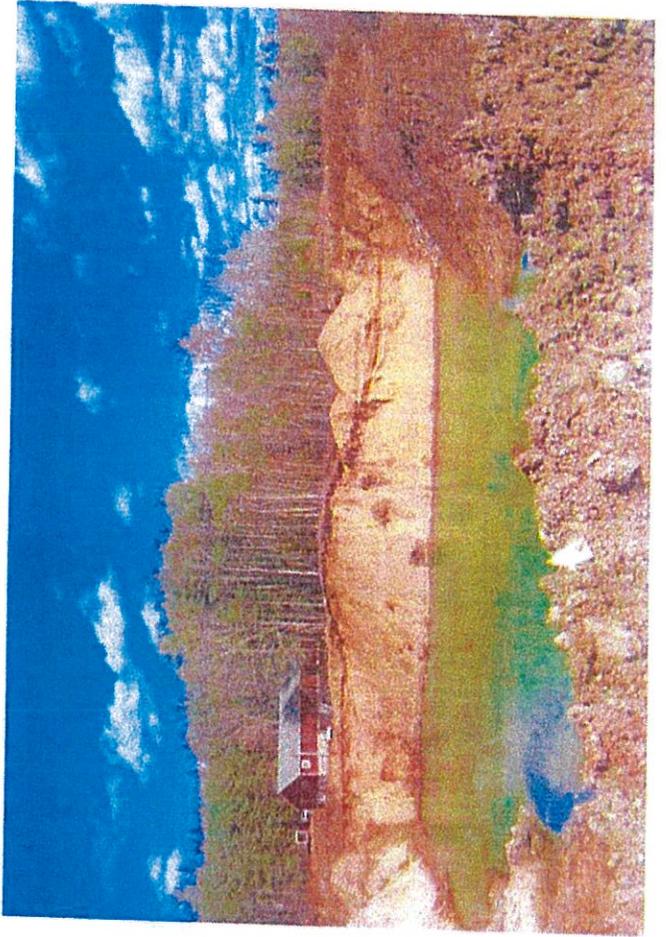
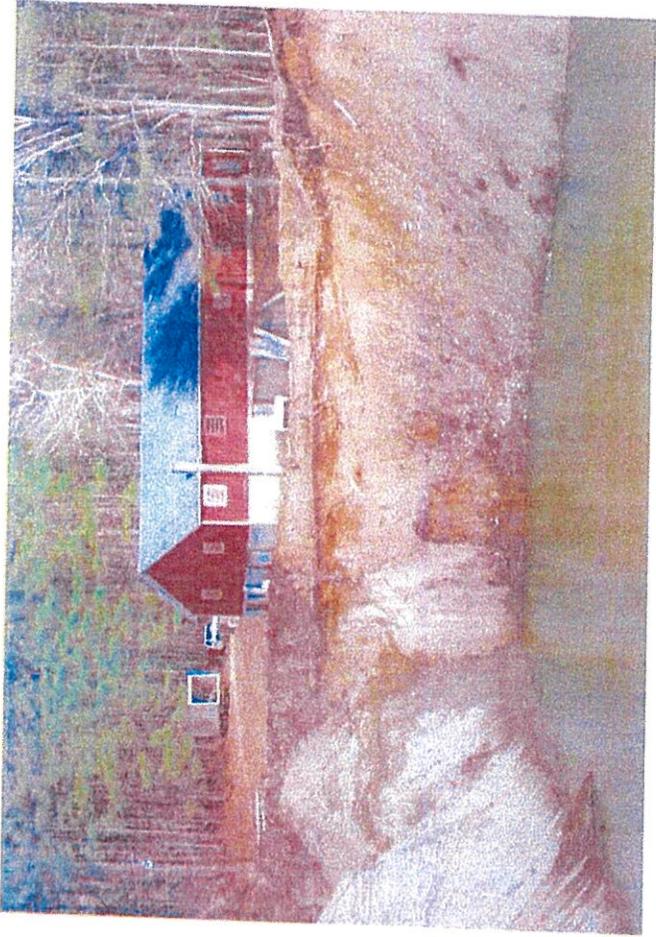
Please feel free to contact me if you have any questions.

Sincerely,

*Margaret Washburn*

Margaret Washburn  
ZEO/WEO/Blight Enforcement Officer  
69 South Main Street, Suite 23  
Brooklyn, CT 06234  
(860) 779-3411 ext. 31  
Mon. – Thurs. 8:00 am – 3:30 pm  
[m.washburn@brooklynct.org](mailto:m.washburn@brooklynct.org)

CC: Austin Tanner, First Selectman; Jana Roberson, Town Planner; Peter Alter, Town Counsel; David Held at Provost & Rovero, Inc.



TOWN OF BROOKLYN  
69 South Main Street  
BROOKLYN, CONNECTICUT 06234



MEMO

Date: March 21, 2022

Re: Brooklyn Sand and Gravel Meeting March 17, 2022

From: Jana Roberson, AICP, Director of Community Development/Town Planner

As discussed at the March 17, 2022 meeting at the Clifford B. Green Memorial Center, this memorandum is intended to confirm that, even though a zoning violation has been identified, the permittee is cooperative and has agreed in good faith to apply for the necessary permit(s); therefore, while such permit is actively being sought, no Cease and Desist Orders shall be issued and work in conformance with the original Gravel Special Permit will be allowed to continue on the site while the new Gravel Special Permit application is being prepared and processed.

At such point when the new Gravel Special Permit has been issued and recorded on the Land Records, the new Gravel Special Permit will supersede the current Gravel Special Permit.

XXX

### 6.0.7. FOLLOWING APPROVAL

1. **Financial Guarantee Required—**
  - a. Before excavation operations commence, the owner shall post a financial guarantee with the Treasurer of the Town of Brooklyn in a manner and form consistent with CT General statutes Sec. 8-3, as amended. The amount of such financial guarantee shall be calculated by the applicant's engineer so as not to exceed the anticipated actual costs the implementation of erosion and sediment controls including final erosion and sedimentation measures plus a contingency amount not to exceed ten per cent of such costs. The amount of such financial guarantee shall be approved by the Town Engineer. Such financial guarantee shall be accompanied by a written agreement of terms and conditions that shall be approved by the Commission's legal counsel.
  - b. The applicant may request a release of all or a portion of the financial guarantee as provided in CT General statutes Sec. 8-3 (g)(3), as amended. Any request shall be accompanied by an estimate of the cost of all remaining restoration prepared by the permittee's engineer. At all times, the amount of the bond retained shall be sufficient to restore the site.
  - c. The Town of Brooklyn shall be authorized to withdraw funds or otherwise call the bond whenever the owner or operator fails to perform restorative work required to prevent environmental and neighborhood degradation following notice to the permittee. Such circumstances may include, but are not limited to, abandonment of the excavation operation by the owner or operator or failure to satisfactorily perform restoration work following revocation or termination of the permit by the Planning and Zoning Commission.
2. **Inspection** - The Commission or the Zoning Enforcement Official may inspect the permit premises for compliance with these Regulations, the approved plans, and any conditions of the permit upon notice to the landowner.
3. **Enforcement** -
  - a. Any permit issued hereunder shall be enforced in accordance with the provisions of these Regulations.
  - b. Should the Zoning Enforcement Official ("ZEO"), based on an on-site inspection, determine that the holder of the Special Permit may have exceeded the approved limits of the excavation, the ZEO may require field staking of reference points by a licensed surveyor and/or submission of an updated plan by a professional engineer at the ZEO's determination as to what information is required. Such information shall be provided by the holder of the Special Permit within 30 days of written notice of the requirement of the field staking or an updated plan, or both. In the event that the holder of the Special Permit shall fail, neglect or refuse to provide the required information, then the ZEO may contract separately for such work and use the financial guarantee as provided by the holder of the Special Permit to pay for it. If it is determined that the excavation does exceed that authorized by the Special Permit issued by the Commission, the holder of the Special Permit shall apply for a new Special Permit for such work within 30 days of written notice of the exceedance issued by the ZEO. In the event that the holder of the Special Permit does not apply for a new Special Permit within 30 days from the date of the notice from the ZEO, the ZEO may issue a cease and desist order and/or may pursue enforcement penalties as provided by the Connecticut General statutes.
4. **Permit Expiration and Renewal** –
  - a. The permit holder shall apply for such renewal no less than forty-five (45) days, nor more than ninety (90) days, prior to the expiration of the current permit.
  - b. A renewal fee shall be submitted in accordance with Brooklyn Town Ordinance 20-1.
  - c. Permit renewals shall be received and processed in accordance with CGS 8-7d (b).
  - d. Renewal applications shall include evidence of compliance herewith, including, but not limited to, an updated survey depicting the existing contours, as compared to the proposed contours; recent publicly available aerial photographs or orthophotos of the excavation area (such as Google, Pictometry, USDA, and State of CT flyovers) taken during the permit period; water quality or noise test data; and the like.

## 6.0

### USE-RELATED PROVISIONS EXCAVATION OPERATIONS

BROOKLYN ZONING REGULATIONS  
Effective July 30, 2020

- The burden is on the applicant to provide a complete and timely renewal application.
- e. The Commission may require additional information if the renewal will involve changes from the original permit.
  - f. The Commission may also impose additional conditions on, or modifications to, the original permit which appear necessary or desirable in light of the history of the operation.
  - g. Any permit or renewal thereof shall expire two years following its date of issuance.
  - h. The Commission may authorize renewal of any permit for additional periods of not more than two (2) years, without an additional public hearing, if the excavation operation is proceeding in accordance with all these Regulations and any permit issued hereunder.
5. **Conformance** - All aspects of the excavation operation shall strictly comply with the plans and other supporting information submitted, as the same may be modified by the Commission, and shall comply at all times with the provisions of these Regulations.
6. **Revisions to Approved Plan** - Nothing herein shall prevent the Commission from approving a revised plan, without a public hearing, depicting minor modifications, or depicting reductions to the scope of work originally approved (but not expanding or extending it), provided that the financial guarantee required in Section 6.0.7.1 shall not be released until all required provisions of these Regulations have been met, and provided further that any significant modification, or any expansion or extension of the operation shall require a public hearing prior to approval.

# PROPOSED GRAVEL EXCAVATION & PROCESSING OPERATION

WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

APPLICANT:

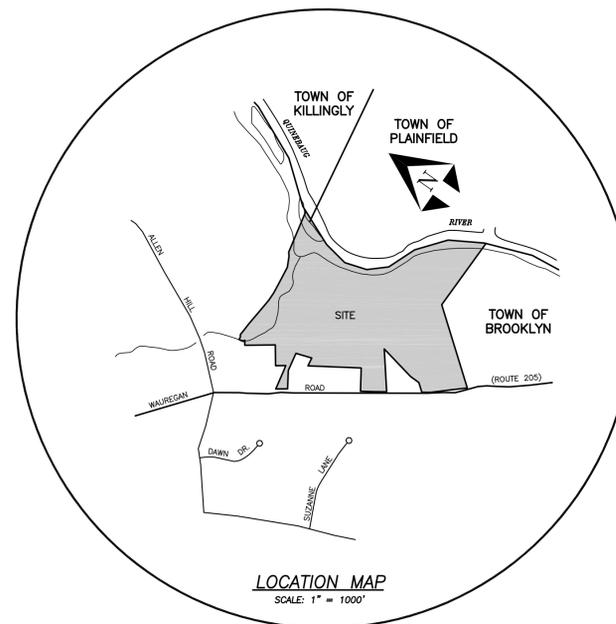
## BROOKLYN SAND & GRAVEL, LLC

### INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
OVERALL SITE PLAN	2 OF 7
PROPOSED EXCAVATION PLAN No. 1	3 OF 7
PROPOSED EXCAVATION PLAN No. 2	4 OF 7
PROPOSED EXCAVATION PLAN No. 3	5 OF 7
SITE RESTORATION PLAN	6 OF 7
DETAIL SHEET	7 OF 7

### LEGEND

#	WETLAND FLAG
○	IRON PIN RECOVERED
⊗	TEST PIT
~~~~~	EXISTING TREE LINE
-----	EXISTING CONTOUR
-----	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
.....	PROPOSED EXCAVATION PHASE LIMITS
~~~~~	PROPOSED CLEARING LIMITS



PREPARED BY:

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www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION

APRIL 28, 2022

APPROVED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE BROOKLYN PLANNING  
& ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

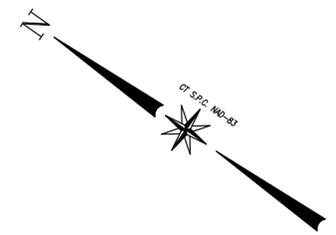
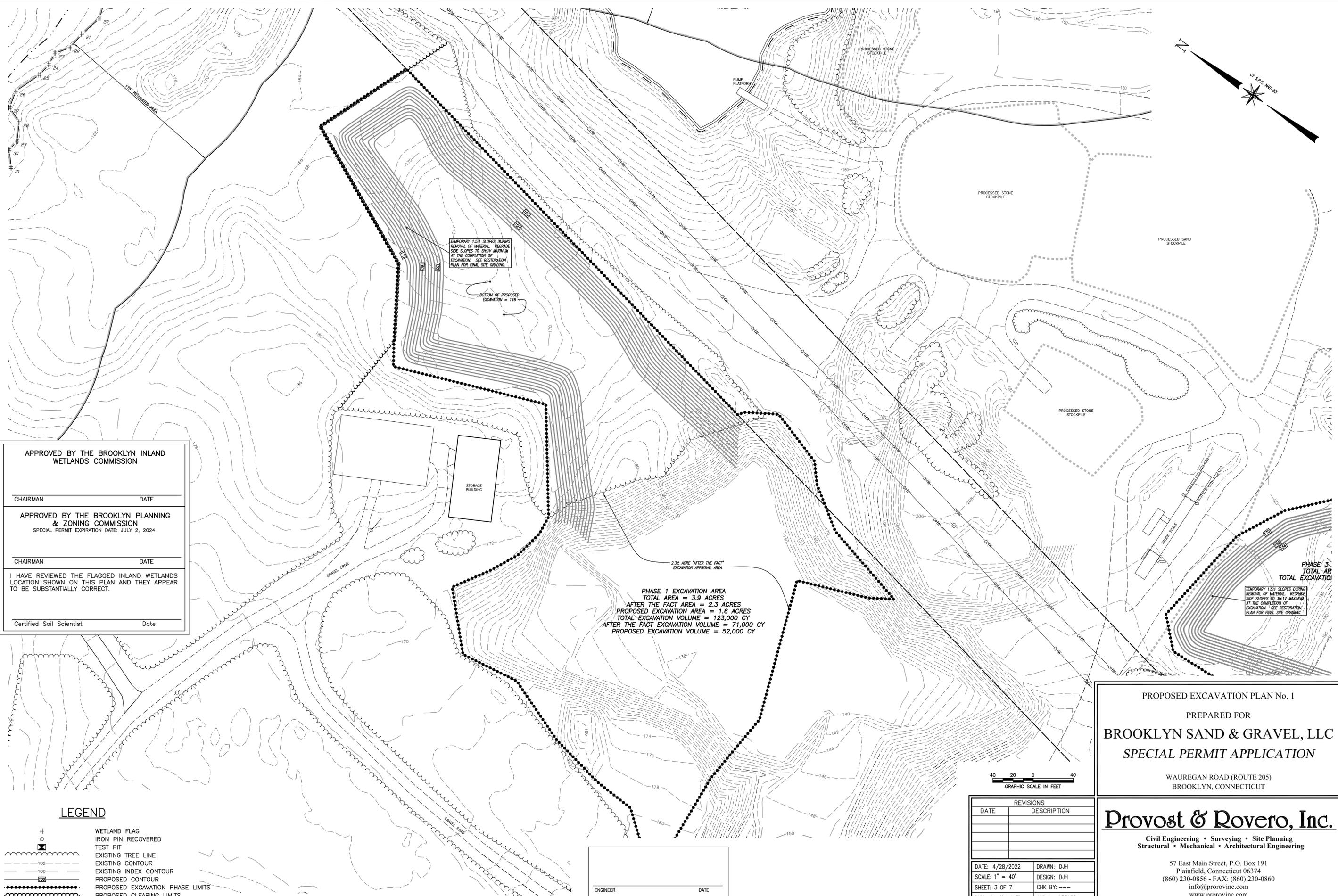
I HAVE REVIEWED THE FLAGGED INLAND WETLANDS  
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR  
TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist \_\_\_\_\_ Date \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

SHEET 1 OF 7  
JOB NO: 153062  
DWG NO: Client File





APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN	DATE

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION  
SPECIAL PERMIT EXPIRATION DATE: JULY 2, 2024

CHAIRMAN	DATE

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS LOCATION SHOWN ON THIS PLAN AND THEY APPEAR TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist	Date

TEMPORARY 1:5:1 SLOPES DURING REMOVAL OF MATERIAL. REGRADE SIDE SLOPES TO 3:1:1 MINIMUM AT THE COMPLETION OF EXCAVATION. SEE RESTORATION PLAN FOR FINAL SITE GRADING.

BOTTOM OF PROPOSED EXCAVATION = 146

2.32 ACRE "AFTER THE FACT" EXCAVATION APPROVAL AREA

PHASE 1 EXCAVATION AREA  
TOTAL AREA = 3.9 ACRES  
AFTER THE FACT AREA = 2.3 ACRES  
PROPOSED EXCAVATION AREA = 1.6 ACRES  
TOTAL EXCAVATION VOLUME = 123,000 CY  
AFTER THE FACT EXCAVATION VOLUME = 71,000 CY  
PROPOSED EXCAVATION VOLUME = 52,000 CY

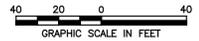
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PHASE 3: TOTAL AREA TOTAL EXCAVATION

**LEGEND**

- # WETLAND FLAG
- IRON PIN RECOVERED
- ⊠ TEST PIT
- EXISTING TREE LINE
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED EXCAVATION PHASE LIMITS
- PROPOSED CLEARING LIMITS

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



REVISIONS	
DATE	DESCRIPTION

DATE: 4/28/2022	DRAWN: DJH
SCALE: 1" = 40'	DESIGN: DJH
SHEET: 3 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 153082

PROPOSED EXCAVATION PLAN No. 1

PREPARED FOR  
**BROOKLYN SAND & GRAVEL, LLC**  
SPECIAL PERMIT APPLICATION

WAUREGAN ROAD (ROUTE 205)  
BROOKLYN, CONNECTICUT

**Provost & Rovero, Inc.**

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C:\Users\Draw\Desktop\153082\Drawings\2022\PLAN\153082.SP.dwg May 02, 2022 8:10 AM











PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date \_\_\_\_\_

Application #SP 22-002  
Check # 1035

APPLICATION FOR SPECIAL PERMIT

Name of Applicant BROOKLYNS COUNTRYVIEW RESTAURANT, LLC Phone 860 230 6848  
Mailing Address 170 SOUTH STREET, BROOKLYN, CT 06234 Phone \_\_\_\_\_

Name of Engineer/Surveyor PC SUREVY ASSOCIATES, LLC , (KILLINGLY ENGINEERING ASSOCIATES)  
Address 63 SNAKE MEADOW ROAD, KILLINGLY, CT 06239  
Contact Person PAUL TERWILLIGER, LS Phone 860 774 6230 Fax \_\_\_\_\_  
NORMAND THIBEAULT, PE 860 779 7299

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/address 170 SOUTH STREET, BROOKLYN, CT 06234  
Map# 40 Lot# 11 Zone R30 GCO Total Acres 11.58  
Sewage Disposal: Private X Public \_\_\_\_\_ Existing X Proposed X  
Water: Private X Public \_\_\_\_\_ Existing X Proposed X

Proposed Activity CONSTRUCTION OF 6000 S.F. STORAGE/MAINTENANCE BUILDING WITH ASSOCIATED DRIVEWAY,  
SEPTIC SYSTEM, WELL, DRAINAGE AND SITE GRADING (EXPANSION OF EXISTING USE)

Compliance with Article 4, Site Plan Requirements

Is parcel located within 500 feet of an adjoining Town? NO

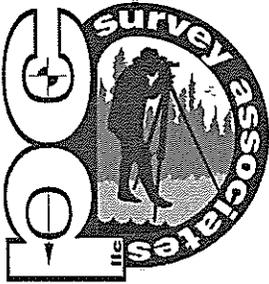
The following shall accompany the application when required:

Fee \$445 State Fee (\$60.00) \$60 +150 3 copies of plans 3 Sanitary Report \_\_\_\_\_  
4.5.5 Application/ Report of Decision from the Inland Wetlands Commission  
4.5.5 Applications filed with other Agencies  
12.1 Erosion and Sediment Control Plans

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: X  Date 6/6/22  
Owner: X  Date 6/6/22

\*Note: All consulting fees shall be paid by the applicant



**PC survey associates, llc**  
63 Snake Meadow Road, Killingly, CT 06239

June 8, 2022

Brooklyn Planning & Zoning Commission  
69 South Main Street Suite 2  
Brooklyn, CT 06234

Dear Chairman,

Attached please find an application for a special permit for my client's property located at 170 South Street. This is the site of the Countryview Restaurant and driving range, which is situated in the Golf Course Overlay Zone within the R-30 zone. The current uses on the property are a 75 seat restaurant and a golf driving range, which were existing at the time of the creation of the Golf Course Overlay Zone, and were actually the reason that the zone was created in the first place.

My client, Jeff Fontaine, is looking to expand the current use by building a 6000 square foot storage and maintenance building at the rear of the property. This building will be used primarily for the storage of various tractors and equipment used in the upkeep of the driving range and will give them a place to perform any routine maintenance this equipment may need. It will also allow for storage space for the various groundskeeping items needed to maintain the driving range as well as supplies for its use (golf balls, clubs, etc.). Some storage of restaurant equipment or supplies may also take place within the building, as needed. Any proposed use will be in connection with the existing uses on the property, no additional separate commercial use is proposed.

The building will be a steel structure on slab with vehicular entrance doors located to the rear and right side. It will have the appearance of a large barn-like structure. The location of the building is such that it should not be obvious from the road. The adjacent properties are currently undeveloped in the area adjacent to this proposal, with the property to the west being owned by a trust in the R-30 zone and the property to rear being zoned Industrial. Visual impacts to neighboring properties should be minimal. Note that we are proposing planting arborvitae along the boundary with the R-30 zone.

We do not anticipate any substantial increase in traffic as a result of this proposal. The building is not open to the public and no new employees will be added. There may be an increase in traffic activity during construction, but that will be temporary and on site traffic patterns will be altered if necessary to minimize impact to the existing businesses.

This application has been submitted to the Brooklyn Inland Wetlands and Watercourses Commission and the Northeast District Department of Health for their review and approval. Results are pending as of the date of this writing.

Thank You,

Paul A. Terwilliger, LS

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## TOWN OF BROOKLYN

PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARING

The Planning and Zoning Commission will hold a public hearing on Tuesday July 19, 2022, at 6:30 p.m. via Zoom and in-person at the Clifford B. Green Memorial Center, 69 South Main Street Brooklyn, CT on the following:

1. **SP 22-002:** Special Permit Application for a 6,000 sq ft storage/maintenance building with associated driveway, septic, well, drainage, and grading at 170 South St., Applicant: Country View Restaurant, LLC, R-30/Golf Course Overlay Zone.
2. **ZRC 22-005:** Proposal to add Zoning Regulations Sec. 4.D.2.3.18 and 6.S to require a 6,000 linear foot separating distance between retail cannabis establishments.
3. **SPG 22-001:** Gravel Special Permit, Brooklyn Sand & Gravel, LLC, 64+- Acres, 530 Wauregan Road, Removal of approximately 208,000 cubic yards of material. (Hearing will additionally discuss **GBR 22-003:** Renewal of Gravel Special Permit SPG 19-002, Brooklyn Sand & Gravel, LLC, 64+- acres, 530 Wauregan Road, Removal of approximately 112,000 cubic yards of material.)

A copy of these applications will be available for review on the Town of Brooklyn website, Town Clerk office and at the Land Use office. All interested parties may attend the meeting, be heard and written correspondence received. Written correspondence may be submitted in advance of the meeting to the Town Planner at j.roberson@brooklynct.org or at 69 South Main Street Brooklyn, CT 06234.

Killingly Youth Substance Prevention Coalition and the Local Interagency Service Team (L.I.S.T.) Present

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**Thursday, July 14, 2022**

**5:00 – 6:30 p.m.**

**United Services, Inc.**

**303 Putnam Road, Wauregan**

Presenter: Kelsey Hust, LMSW

Community and Worksite Wellness Program Manager,  
United Services, Inc.

Registration is required. Space is limited. Snack provided.  
To Register: contact Lori Bergstrom at 860.412.8665 or email  
[lbergstrom@usmhs.org](mailto:lbergstrom@usmhs.org)

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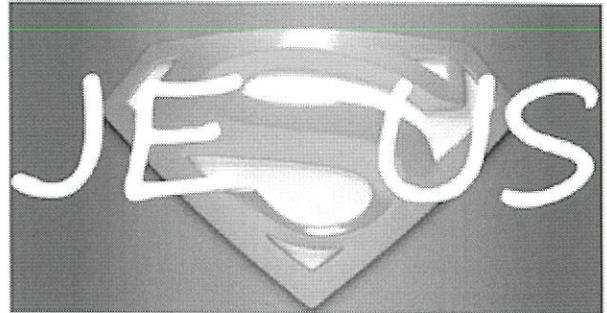
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**TOWN OF BROOKLYN  
PLANNING AND ZONING COMMISSION  
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**ABUTTERS LIST – MAP 40 , LOT 11 - 170 SOUTH STREET, BROOKLYN, CT**

MAP 40 , LOT 9

PETER WOLAK, TRUSTEE – EVERGREEN WILDLIFE FOUNDATION LAND TRUST  
134 SOUTH STREET, BROOKLYN, CT 06234

MAP 40 , LOT 12

KA&G DEVELOPMENT, LLC  
15 WOODLAND AVENUE, BALTIC, CT 06330

MAP 40 , LOT 12-1

ADVANTA IRA SERVICES, LLC  
15 WOODLAND AVENUE, BALTIC, CT 06330

MAP 40 , LOT 13

ROBERT HARRY PERRY, SR.  
202 SOUTH STREET, BROOKLYN, CT 06234

MAP 40 , LOT 14

RACHEL MARIE FORTIN  
23 FORTIN DRIVE, BROOKLYN, CT 06234

MAP 41 , LOT 129

PINEDALE FARM, LLP  
278 SPERRY ROAD, BETHANY, CT 06524



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JUN 30, 22  
AMOUNT  
**\$1.65**  
R2304M114760-6



0000



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From: PC Survey Associates, LLC  
63 Snake Meadow Road  
Killingly, CT 06239

To: \_\_\_\_\_  
- ROBERT HARRY PERRY, SR.  
- 202 SOUTH STREET  
- BROOKLYN, CT 06234

PS Form 3817, April 2007 PSN 7530-02-000-9065

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**PUBLIC HEARING NOTICE**

**BROOKLYN PLANNING & ZONING**

**JULY 19, 2022 AT 6:30 PM**

**69 SO. MAIN ST., BROOKLYN**

**SP22-002 MEETING INFO AT**

**WWW.BROOKLYNCT.ORG**



TOWN OF BROOKLYN  
Land Use Department  
69 South Main Street • Suite 22  
BROOKLYN, CONNECTICUT 06234  
860-779-3411 Ext. 12

**WETLANDS PERMIT 061422B**

CERTIFIED# 7021 2720 0001 3206 1729

Brooklyn's Countryview Restaurant LLC  
170 South Street  
Brooklyn, CT 06234

August 11, 2022

RE: 061422B – 170 South Street – Map 40 Lot 11 – Jeff Fontaine. Construction of 6,000 sq ft storage/maintenance building with septic system, well, driveway, utility service, drainage, and site grading.

Dear Brooklyn's Countryview Restaurant LLC,

At the regularly scheduled August 8, 2022 meeting of the Brooklyn Inland Wetlands and Watercourses Commission, your application, 061422B – 170 South Street – Map 40 Lot 11 – Jeff Fontaine. Construction of 6,000 sq ft storage/maintenance building with septic system, well, driveway, utility service, drainage, and site grading, was approved with standard conditions.

The site plan approved under this permit is titled "Site Plan of Proposed Building Prepared for Brooklyn's Countryview Restaurant LLC Brooklyn, Connecticut", signed and stamped by Normand Thibeault, Jr., P.E., of Killingly Engineering Associates, and signed and stamped by Paul A. Terwilliger, L.S., of PC Survey Associates, with last revision date 7/20/2022.

A legal notice of this approval will be published in the Turnpike Buyer on August 17, 2022. Please note that this action of the Brooklyn Inland Wetlands and Watercourses Commission may be appealed for fifteen-day period following the publication of the legal notice.

If you have any questions, please contact me.

Issued by:

*Margaret Washburn*

Margaret Washburn  
ZEO/WEO/Blight Enforcement Officer  
69 South Main Street, Suite 23  
Brooklyn, CT 06234  
(860) 779-3411 ext. 31  
Mon. – Thurs. 8:00 am – 3:30 pm  
[m.washburn@brooklynct.org](mailto:m.washburn@brooklynct.org)

file/MW  
CC: PC Survey Associates  
Attached: Standard Conditions

BROOKLYN INLAND WETLANDS AND WATERCOURSES COMMISSION  
STANDARD CONDITIONS FOR IWWC PERMITS 12/13/16

**APPLICANT: READ CAREFULLY**

IWWC Permit Document. A copy of the IWWC approval motion and the conditions stated herein shall constitute the IWWC permit for the approved activity when the permit document is signed and dated by the IWWC Agent.

Notice of Start and Finish. Permittee shall notify the IWWC agent at least 48 hours before the approved activity commences and within 72 hours after completion of the activity.

Permit Duration. This permit is valid for a period in accordance with Section 11.6 of the Brooklyn Inland Wetlands and Watercourses Regulations and the Connecticut General Statutes. Any request to renew or extend the expiration date of a permit can be granted only as authorized by the IWWC Regulations. Expired permits may not be renewed.

Erosion and Sedimentation Controls. Permittee is responsible for implementing the approved erosion and sediment control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan. The permittee shall inspect the erosion controls weekly and after rains and repair deficiencies within twenty-four hours. The IWWC and its staff may require additional erosion if needed to prevent erosion and sedimentation. Restabilization of the site shall take place as soon as possible.

Stockpile locations. During construction, piles of fill, erodible material and debris shall not be created within regulated areas. The locations of debris and other stockpiled materials shall be shown on the submitted plans. Any material excavated at the site shall be disposed of at upland or off-site locations reviewed and approved by staff.

Permit Transfer. The permittee shall not transfer this permit without the written permission of the IWWC.

Work in Watercourse to Occur During Low Flow. Work within a watercourse is limited to periods of low flow. Low flow periods normally occur between August and October. Upon request of permittee, wetlands staff can determine if the activity can occur at other times following an on-site field investigation.

Scope of Permit. This permit is for the approved activity ONLY. Additional activity may require an additional permit. Note that if an approval or permit is granted by another agency and

- (1) the approved activity will affect wetlands and/or watercourses; and/or
- (2) the activity occurs within 125 feet of flagged boundaries and 175 feet from watercourses;

and such activities have not been addressed by this permit, then the applicant shall resubmit the application for further consideration by the Inland Wetlands and Watercourses Commission before any work begins.

Ongoing Compliance with Permit. The permittee shall comply at all times with the permit.

Other Approvals May be Required. Other permits may be required from Town, state or federal agencies. An Army Corps of Engineers permit may be required: U.S. Army Corps of Engineers, 424 Trapelo Rd., Waltham, MA 02254 1-800-362-4367.

# **NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS**

## **ENGINEERING PLAN REVIEW PERTAINING TO A PROPOSED MAINTENANCE/STORAGE BUILDING SITE PLAN AT THE COUNTRYVIEW RESTAURANT (ASSESSOR'S MAP 40, LOT 11) 170 SOUTH STREET BROOKLYN, CT (July 29, 2022)**

The comments contained herein pertain to my review of plans, consisting of two (2) sheets, entitled "Site Plan of Proposed Building, Prepared for Brooklyn's Countryview Restaurant, LLC, 170 South Street, Brooklyn, Connecticut," prepared by PC Survey Associates, LLC and Killingly Engineering Associates, dated May 2022 with Revision Date of July 20, 2022. The purpose of the zoning permit is for the construction of a 6,000 square foot maintenance/storage building to the rear of an existing 75-seat restaurant and 15 tee box golf driving range.

### **Sheet 1 of 2 – General Location Survey**

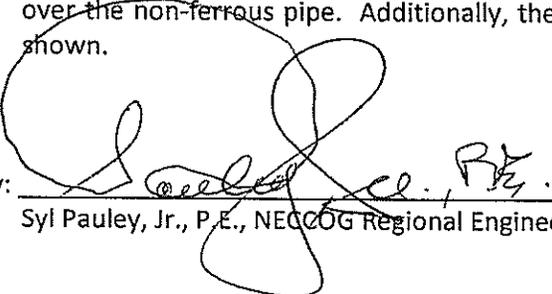
1. Only one dimension from a stone wall on the parcels north property line to the northeast corner of the proposed building is shown. Additional dimensions are needed from the stone wall on the parcel's north property line to the building's northwest corner and from the west property line to the building's northwest and southwest corners, in order to accurately locate the placement of the building.
2. Dimensions are missing for the "concrete apron" on the north side of the building. The same goes for the concrete slab on the east side of the building. A construction detail for the slab needs to be included on Sheet 2 of 2 showing dimensions, thickness, concrete mix design, reinforcement, sub-base, etc.
3. Geometry is missing (length, radii, offsets, etc.) for the proposed "driveway" and is needed to accurately replicate what is shown on the site plan to actual construction.
4. Proposed slope grading needs to be specified on the plan as 3:1 (max).
5. The proposed evergreen plantings shown to the west and south of the building need to be described in more detail. It is suggested in order to provide additional screening to the building that suitable shrubs/trees be added to the unpaved lobe on the north side of the slab located on the east end of the building.

6. The proposed well needs to be described in more detail, i.e. bollard protection, housing, pollution protection, etc. Also, has any thought been given to placement of trees/shrubs so close to the well and whether or not roots would infiltrate the well column? Enough area around the wellhead for maintenance activity needs to be evaluated, too.
7. It appears that the existing parking area used for the restaurant and golf driving range is going to be reduced in size by about 35% with the construction of the new building and its appurtenances. A statement about parking under the heading "Zone: R-30 Golf Course Overlay District" indicates that there are 50 required spaces for the existing and proposed uses and that 50 are provided. Accordingly, at least 50 parking spaces with adequate access aisles need to be included on the plan. Presently, the only parking space the plan shows is for three (3) handicap accessible spaces adjacent to the west side of the restaurant.
8. Overall dimensions are missing for the "stormwater collection trench" and need to be indicated on the plan.
9. The "temporary stockpile area" needs to be moved out of the Upland Review Area even though it is temporary and to be surrounded by a silt fence. There is no need to disturb more land than necessary within this area, as there is adequate space elsewhere on the property for a temporary stockpile.
10. Overall dimensions are needed for the "proposed level spreader."
11. The 6" PVC pipe running from the northeast corner of the building to the level spreader needs more information, i.e., slope, pipe material, gaskets or not, pipe strength, bedding, etc. This is needed too for the 4" PVC pipe running from the building's southeast corner to the northeast corner. It appears that the 6" pipe is connected to roof gutter drainage, the stormwater collection trench pipe at the 4"x 6" Wye? Should this be further specified as a "double wye?" A detail of the wye connection is needed on Sheet 2 of 2 and hydraulic calculations are needed to evaluate the adequacy of the 6" pipe to carry all this water. Also, a rodent screen should be installed at the discharge end of the 6" pipe and a detail included on Sheet 2 of 2.
12. It is assumed that the proposed utility line located along the west property line is an underground installation. A construction detail of what will be located there needs to be included on Sheet 2 of 2. Furthermore, if the electric company will require a ground mounted transformer pad exterior of the proposed building, the location of it with protective bollards must be shown on this plan and a detail included on Sheet 2 of 2.
13. There is a note stating that an existing "privy" is to be relocated. The existing privy is only about 30' from the proposed water well. Has there been any soil testing around it to see if it has any impact on soil under and around it that may impact the well (chemicals, pathogens, etc.)? Has the CT Department of Health approved construction of the new privy (original use/location will cease)? A construction detail of the proposed privy is needed on Sheet 2 of 2. Considering the plan shows the new privy being constructed over proposed utility lines, it appears that this is a questionable location since, at this time, it is unknown how deep the watertight vault of the privy will extend into the ground and what the depth of bury is of the utility lines.

14. If outdoor lighting will be installed in the parking areas or along the proposed driveway, it should be shown on the plan and a foundation detail included on Sheet 2 of 2. All lighting, whether mounted on or off the building, shall be specified as utilizing full cutoff lighting fixtures.

**Sheet 2 of 2 – E&S Control & Detail Sheet**

1. In the “Stormwater Collection Trench” detail there needs to be shown a “detectable warning tape” over the non-ferrous pipe. Additionally, the type of pipe material and strength rating needs to be shown.

By:  P.E.

Syl Pauley, Jr., P.E., NECCOG Regional Engineer

PIPE CAPACITY - 6" PVC ROOF DRAIN  
ASSUME 2% SLOPE

$$Q = \frac{1.49}{n} S^{1/2} A R^{2/3}$$
$$= \frac{0.463}{n} S^{1/2} D^{8/3}$$

$$n = 0.012$$

$$S = 0.02$$

$$D = 0.5$$

$$Q = \frac{0.463}{0.012} (0.02)^{1/2} (0.5)^{8/3}$$

$$= \underline{0.86 \text{ CFS}} \quad \text{Capacity}$$

FOR A 6,000 SF ROOF, PEAK RUNOFF

2-YEAR                      0.5 CFS

5-YEAR                     0.64 CFS

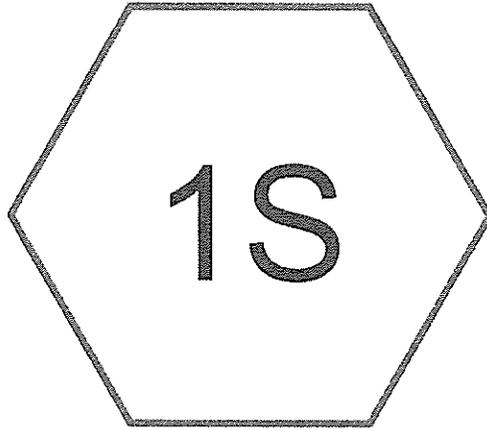
10-YEAR                    0.76 CFS

25-YEAR                    0.92 CFS

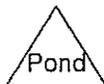
6" PVC IS CAPABLE OF CONVEYING UP TO  
A 10-YEAR STORM  
(SEE ATTACHED HYDROLOGIC CALCS)



Norman Thibault  
6/9/2022



# Roof Drainage



**Drainage**

Prepared by Killingly Engineering Associates, LLC  
HydroCAD® 10.00-26 s/n 07240 © 2020 HydroCAD Software Solutions LLC

Brooklyn Country View  
Type III 24-hr 2-year Rainfall=3.37"  
Printed 8/8/2022  
Page 2

**Summary for Subcatchment 1S: Roof Drainage**

Runoff = 0.50 cfs @ 12.01 hrs, Volume= 0.034 af, Depth> 2.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Type III 24-hr 2-year Rainfall=3.37"

Area (sf)	CN	Description
* 6,000	98	Roofs
6,000		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry, Tc-roof

**Drainage**

Prepared by Killingly Engineering Associates, LLC  
HydroCAD® 10.00-26 s/n 07240 © 2020 HydroCAD Software Solutions LLC

Brooklyn Country View  
Type III 24-hr 5-year Rainfall=4.28"  
Printed 8/8/2022  
Page 3

**Summary for Subcatchment 1S: Roof Drainage**

Runoff = 0.64 cfs @ 12.01 hrs, Volume= 0.043 af, Depth> 3.76"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Type III 24-hr 5-year Rainfall=4.28"

	Area (sf)	CN	Description
*	6,000	98	Roofs
	6,000		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry, Tc-roof

**Drainage**

Prepared by Killingly Engineering Associates, LLC  
HydroCAD® 10.00-26 s/n 07240 © 2020 HydroCAD Software Solutions LLC

Brooklyn Country View  
Type III 24-hr 10-year Rainfall=5.04"

Printed 8/8/2022

Page 4

**Summary for Subcatchment 1S: Roof Drainage**

Runoff = 0.76 cfs @ 12.01 hrs, Volume= 0.051 af, Depth> 4.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-year Rainfall=5.04"

	Area (sf)	CN	Description
*	6,000	98	Roofs
	6,000		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry, Tc-roof

**Drainage**

Prepared by Killingly Engineering Associates, LLC  
HydroCAD® 10.00-26 s/n 07240 © 2020 HydroCAD Software Solutions LLC

Brooklyn Country View  
Type III 24-hr 25-year Rainfall=6.08"

Printed 8/8/2022  
Page 5

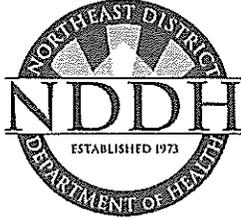
**Summary for Subcatchment 1S: Roof Drainage**

Runoff = 0.92 cfs @ 12.01 hrs, Volume= 0.062 af, Depth> 5.40"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Type III 24-hr 25-year Rainfall=6.08"

Area (sf)	CN	Description
* 6,000	98	Roofs
6,000		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry, Tc-roof



# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

August 01, 2022

Brooklyn's Countryview Restaurant LLC  
170 South Street  
Brooklyn, CT 06234

**SUBJECT: FILE #91002068 -- SOUTH STREET #170, MAP #40, LOT #11, BROOKLYN, CT**

Dear Brooklyn's Countryview Restaurant LLC:

The subject plan (PC SURVEY ASSOCIATES, BROOKLYN'S COUNTRYVIEW RESTAURANT, JOB#22016, DRAWN MAY 2022) submitted on 06/06/2022 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 600-GPD building based on the following:

1. CT licensed surveyor must stake well, house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
5. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations OR an Engineer's As Built will be required.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

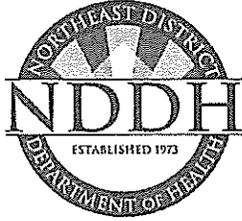
**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, ES  
Environmental Health Specialist

cc: Brooklyn Building Official; PC Survey Associates



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

August 01, 2022

Brooklyn's Countryview Restaurant LLC  
170 South Street  
Brooklyn, CT 06234

**B100/APPLICATION**

**SUBJECT: FILE #91002068 -- SOUTH STREET #170, MAP #40, LOT #11, BROOKLYN, CT**

Dear Brooklyn's Countryview Restaurant LLC:

On July 07, 2022, this department received an application proposing the addition of a 60' x 100' storage building with office and bathroom on slab to your property.

Based on the information provided and paperwork in our files this request has been approved under the following conditions:

1. Maintain a minimum of 10 feet from the proposed septic system with the proposed storage building.
2. Owner to verify exact location of septic.
3. Once addition is completed, a water analysis must be submitted to this office. The water sample is to be taken from the new faucet in the bathroom. This is to ensure that the new plumbing has been properly disinfected prior to use of the water for drinking purposes.
4. Septic system to be taped off during construction to ensure proper separating distance is maintained and to protect from heavy traffic or storage of building materials in this area.

Approval is being granted under Section 19-13-B100a of the CT Public Health Code. This approval is given with the understanding that you will provide proper care and maintenance of the existing system (the septic tank is to be pumped every 3 years).

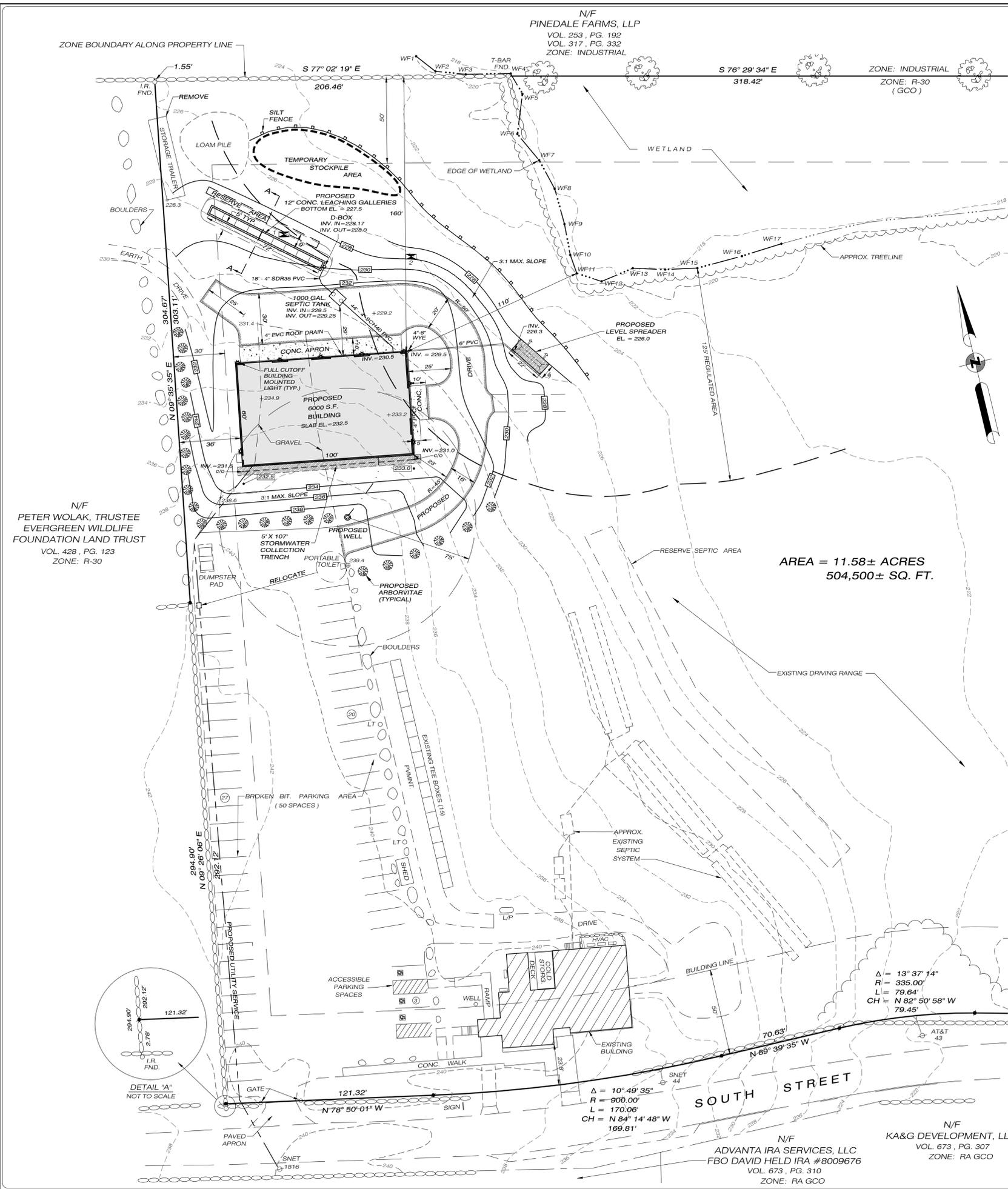
**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Donovan Moe, EHS  
Environmental Health Specialist ~ NDDH

cc: Brooklyn Building Official; PC Survey Associates



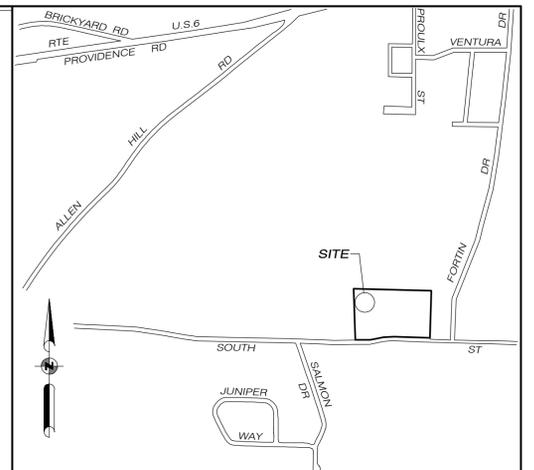
ZONE: R-30 GOLF COURSE OVERLAY DISTRICT

	REQUIRED	EXISTING	PROPOSED
AREA	30,000 S.F.	504,500± S.F.	504,500± S.F.
FRONTAGE	110'	881±	881±
FRONT SETBACK	50'	23.8' *	369.5±
SIDE SETBACK	30'	150±	36'
REAR SETBACK	50'	>500'	160'

\* EXISTING NON-CONFORMING SETBACK

EXISTING USE: RESTAURANT / DRIVING RANGE  
 PROPOSED ADDITIONAL USE: EQUIPMENT STORAGE AND MAINTENANCE (NOT FOR PUBLIC USE)

PARKING:  
 RESTAURANT: 1 SPACE / 3 SEATS = 75 SEATS / 3 = 25 SPACES  
 DRIVING RANGE: 1 SPACE / TEE BOX = 15 TEEBOXES = 15 SPACES  
 EMPLOYEE SPACES: 10  
 ACCESSIBLE SPACES: 3  
 TOTAL SPACES PROVIDED: 50  
 NOTE: PROPOSED ADDITIONAL USE REQUIRES NO ADDITIONAL SPACES



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "B". TOPOGRAPHIC FEATURES WITHIN THE AREA OF DEVELOPMENT WERE DERIVED FROM FIELD SURVEY AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS "T-2". TOPOGRAPHIC FEATURES OUTSIDE THE AREA OF DEVELOPMENT WERE TAKEN FROM NOAA LIDAR DATA AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS "T-D". CONTOUR INTERVAL = 2 FEET, VERTICAL DATUM = APPROX. NAVD88. THE PURPOSE OF THIS MAP AND SURVEY IS FOR USE IN THE PERMITTING PROCESS FOR THE PROPOSED IMPROVEMENTS DEPICTED.
  - REFERENCE MAPS:
    - PROPERTY SURVEY PLAN PREPARED FOR JOHN M. BOYLE - ALLEN HILL ROAD & SOUTH STREET, BROOKLYN, CONNECTICUT - SCALE: 1"=150' - DATE: 6/15/1999 - REVISED 10/25/2001 - BY: KWP ASSOCIATES
    - PERIMETER SURVEY PREPARED FOR ROLAND FORTIN - FORTIN DRIVE, BROOKLYN, CONNECTICUT - DATE: JULY 2003 - SCALE: 1"=80' - BY: ARCHER SURVEYING, LLC
    - PERIMETER SURVEY PREPARED FOR 170 SOUTH STREET, LLC - SOUTH STREET, BROOKLYN, CONNECTICUT - DATE: NOVEMBER 2017 - SCALE: 1"=40' - BY: PC SURVEY ASSOCIATES, LLC
  - REFERENCE IS MADE TO A DEED TO FONTAINE REAL ESTATE, LLC FROM BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC RECORDED IN VOL. 696, PG. 60 OF THE BROOKLYN LAND RECORDS.
  - AREA FROM THE STREET LINE DEPICTED TO THE CENTERLINE OF SOUTH STREET WAS GRANTED TO THE TOWN OF BROOKLYN FOR ROADWAY PURPOSES. AS OF THE DATE OF THIS SURVEY, THE DEED OF CONVEYANCE HAS NOT BEEN RECORDED IN THE BROOKLYN LAND RECORDS AND IS IN THE POSSESSION OF THE TOWN OF BROOKLYN LAND USE OFFICE.
  - SUBJECT PROPERTY IS SHOWN AS MAP 40, LOT 11 OF THE BROOKLYN ASSESSOR'S RECORDS.
  - INLAND WETLANDS WERE FIELD DELINEATED BY JOSEPH R. THEROUX IN APRIL 2022.
- OWNER: FONTAINE REAL ESTATE, LLC  
170 SOUTH STREET, BROOKLYN, CT 06234
- APPLICANT: BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC  
170 SOUTH STREET, BROOKLYN, CT 06234

**Killingly Engineering Associates**  
 114 Westcott Road, Dayville, Connecticut 06241  
 P.O. Box 421, 860 779 7299

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

GENERAL LOCATION SURVEY  
 SURVEYING • MAPPING • PLOT PLANS

**SITE PLAN OF PROPOSED BUILDING**  
 PREPARED FOR  
**BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC**

170 SOUTH STREET  
 BROOKLYN, CONNECTICUT

DATE: MAY 2022  
 SCALE: 1" = 30'

63 SNAKE MEADOW RD  
 KILLINGLY, CT 06239  
 860 774 6230

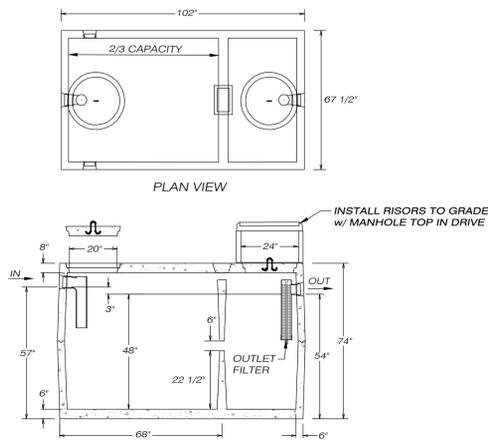
SHEET NO: 1 OF 2  
 REVISED: 7/20/2022  
 8/10/2022 - TOWN ENG. COMMENTS

JOB NO: 22016 F.B. NO: 229 DRAWN BY: P.A.T. MAP NO:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

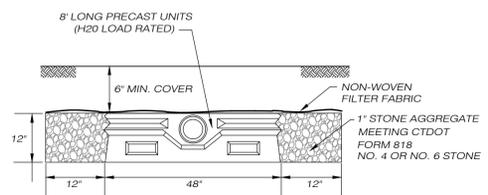
PAUL A. TERWILLIGER, L.S. NO. 70155 DATE: 8/10/2022

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

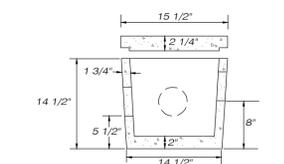


- DESIGN NOTES**
- 1) JOINTS TO BE SEALED WITH BUTYL RUBBER SEALANT
  - 2) INLETS AND OUTLETS TO HAVE STATE-APPROVED SEALS
  - 3) MEETS H20 WHEEL LOAD REQUIREMENTS
  - 4) MUST MEET ASTM 1227
  - 5) CONCRETE STRENGTH SHALL BE 5000 PSI, MIN. 28 DAYS

**1000 GALLON - H20  
TWO-COMPARTMENT SEPTIC TANK**  
N.T.S.



**FLOWDIFFUSOR TRENCH SECTION**  
N.T.S.



**DISTRIBUTION BOX**  
N.T.S.

**SEPTIC SYSTEM NOTES**

PERC RATE: 1.33 MIN./INCH

DESIGN FLOW: 600 GPD (0.1 GPD/S.F. x 6000 S.F.)

MAX. NO. PEOPLE SERVED: 24

SEPTIC TANK: 1000 GALLON (H20)

LEACHING AREA REQUIRED: 600 GPD/1.5 = 400 SQ. FT. ELA

LEACHING AREA PROVIDED: 72' OF 12" CONC. LEACHING GALLERIES @ 5.9 S.F./L.F. = 424.8 SQUARE FEET.

MOTTLING: 32", LEDGE: 88", WATER: N/A

MLSS CALCULATION: HF = 26 (6.1-8% SLOPE, 32" TO RESTRICTIVE)  
FF = 600/300 = 2.0  
PF = 1.0 (UP TO 10 MIN./INCH)  
MLSS = HFxFFxPF = 26 x 2.0 x 1.0 = 52 L.F. MLSS

MLSS PROVIDED: 72 L.F.

MAXIMUM DEPTH INTO EXISTING GRADE: 8"

**SPECIFICATIONS**

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT H20 LOAD RATED TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOX: JOLLEY OR EQUAL 4 HOLE D-BOX

HOUSE AND EFFLUENT SEWER PIPE: 4" PVC ASTM D 1785 OR ASTM D 2665 SCHEDULE 40 WITH RUBBER COMPRESSION GASKETS OR PVC AWWA C-900 WITH RUBBER COMPRESSION GASKETS.

DISTRIBUTION: 12" HIGH FLOWDIFFUSOR CONCRETE LEACHING GALLERIES

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

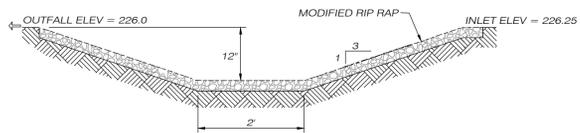
BOTTOM OF TRENCHES TO BE LEVEL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH.:  
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%  
GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.



**LEVEL SPREADER**  
NOT TO SCALE

**TEMPORARY VEGETATIVE COVER**

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS IT SHALL BE LOOSENE TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. SHALL BE USED. RYE GRASS APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVIDE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND COARSE MATTER SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. AS A TEMPORARY MULCH. APPLY A JUTE NETTING COVER TO SLOPES OF 3:1 OR GREATER SLOPE.

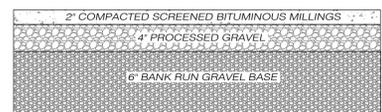
**PERMANENT VEGETATIVE COVER**

TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION AND FILL PLACEMENT HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS, APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

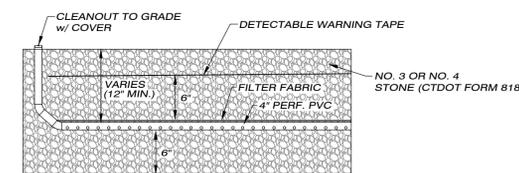
SEED MIXTURE	LBS./ACRE	LBS./1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

THE RECOMMENDED SEEDING DATES ARE: APRIL 1 - JUNE 15 AND AUGUST 30 - OCTOBER 1

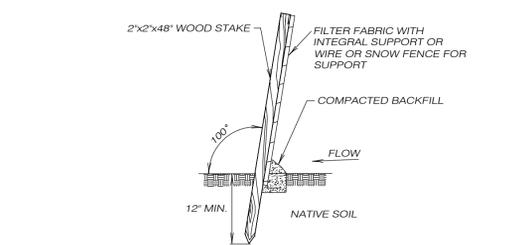
FOLLOWING SEEDING MULCH WITH WEED FREE STRAW AND APPLY A JUTE NETTING COVER TO AREAS OF 3:1 OR GREATER SLOPE



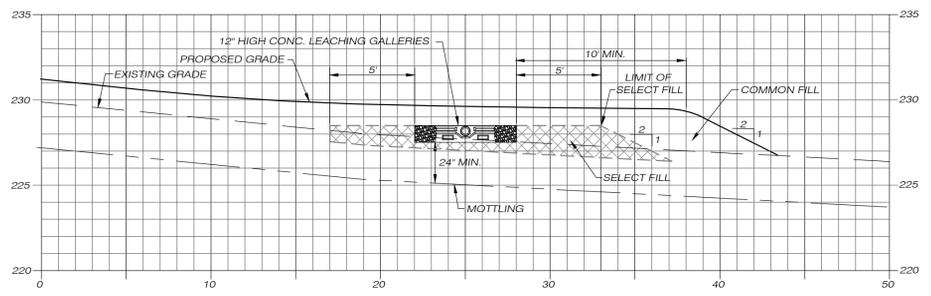
**DRIVEWAY SECTION**  
NOT TO SCALE



**STORMWATER COLLECTION TRENCH**  
NOT TO SCALE



**SILT FENCE INSTALLATION**  
NOT TO SCALE



**LEACHFIELD CROSS-SECTION A-A**  
SCALE: 1"=5'

**SOIL TEST DATA - 4/26/2022 BY N.D.D.H.**

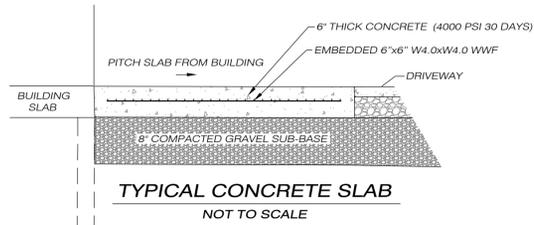
TP1  
0-8" TOPSOIL  
8-32" REDDISH BROWN FINE LOAMY SAND  
32-88" GRAY COMPACT FINE LOAMY SAND, PAN  
MOTTLING AT 32"  
NO WATER  
NO LEDGE

TP2  
0-12" TOPSOIL  
12-32" REDDISH BROWN FINE LOAMY SAND  
32-52" MOTTLLED TAN FINE LOAMY SAND  
52-88" GRAY COMPACT LOAMY SAND w/ ROCKS  
MOTTLING AT 32"  
LEDGE AT 88"

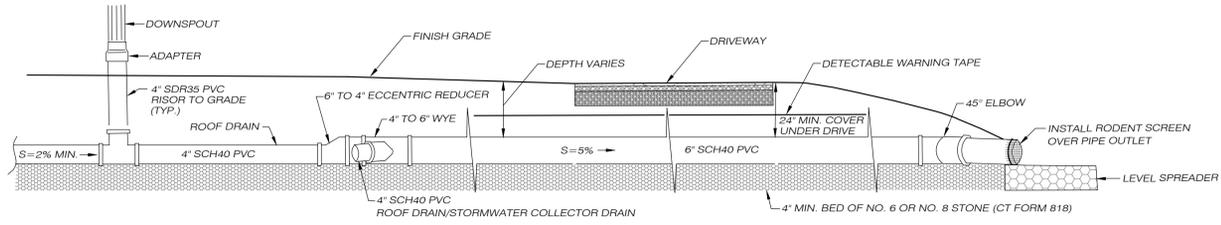
**PERCOLATION TEST B:**

TIME	READING
10:33	3"
10:40	6"
10:42	9"
10:44	11"
10:46	12.5"
10:48	DRY

PERCOLATION RATE: 1.33 MIN./INCH @ 32" DEPTH



**TYPICAL CONCRETE SLAB**  
NOT TO SCALE



**PVC DRAIN DETAIL**  
NOT TO SCALE

**EROSION & SEDIMENT CONTROL PLAN**

**REFERENCE IS MADE TO:**

1. CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.
2. SOIL SURVEY OF WINDHAM COUNTY CONNECTICUT, U.S.D.A. SOIL CONSERVATION SERVICE 1983.

**DEVELOPMENT**

PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A 6000 S.F. MAINTENANCE/STORAGE BUILDING WITH APPURTENANT SEPTIC SYSTEM, WELL, DRIVEWAY, UTILITIES AND SITE GRADING.

**CONSTRUCTION SEQUENCE:**

1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES ALONG THE PROPOSED LIMITS OF DISTURBANCE.
2. REMOVE AND STOCKPILE TOPSOIL AND INSTALL SEDIMENT BARRIER.
3. ROUGH GRADING AND DRIVEWAY INSTALLATION.
4. EXCAVATE FOUNDATION SITE AND BEGIN BUILDING CONSTRUCTION.
5. INSTALL SEPTIC SYSTEM AND WELL.
6. INSTALL UTILITIES TO THE BUILDING.
7. FINAL DRIVEWAY GRADING AND SURFACING.
8. LOAM, SEED & MULCH DISTURBED AREAS AND LANDSCAPING.
9. REMOVE EROSION AND SEDIMENT CONTROL.

**GENERAL DEVELOPMENT PLAN**

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN OF BROOKLYN, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER OR WETLANDS AGENT TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON APPROVAL WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE 'SILT FENCE INSTALLATION & MAINTENANCE' SECTION OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 2 TO 1. THERE SHALL BE NO BURIAL OF STUMPS. A SILT FENCE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDED AND RE-ESTABLISHED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITHIN ONE SEASON (SPRING OR FALL) OF THE COMPLETION OF THE PROJECT.

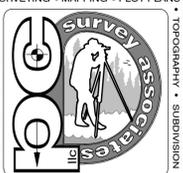
ONCE STABILIZATION HAS BEEN COMPLETED AND APPROVED BY THE TOWN OF BROOKLYN ZONING ENFORCEMENT OFFICER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

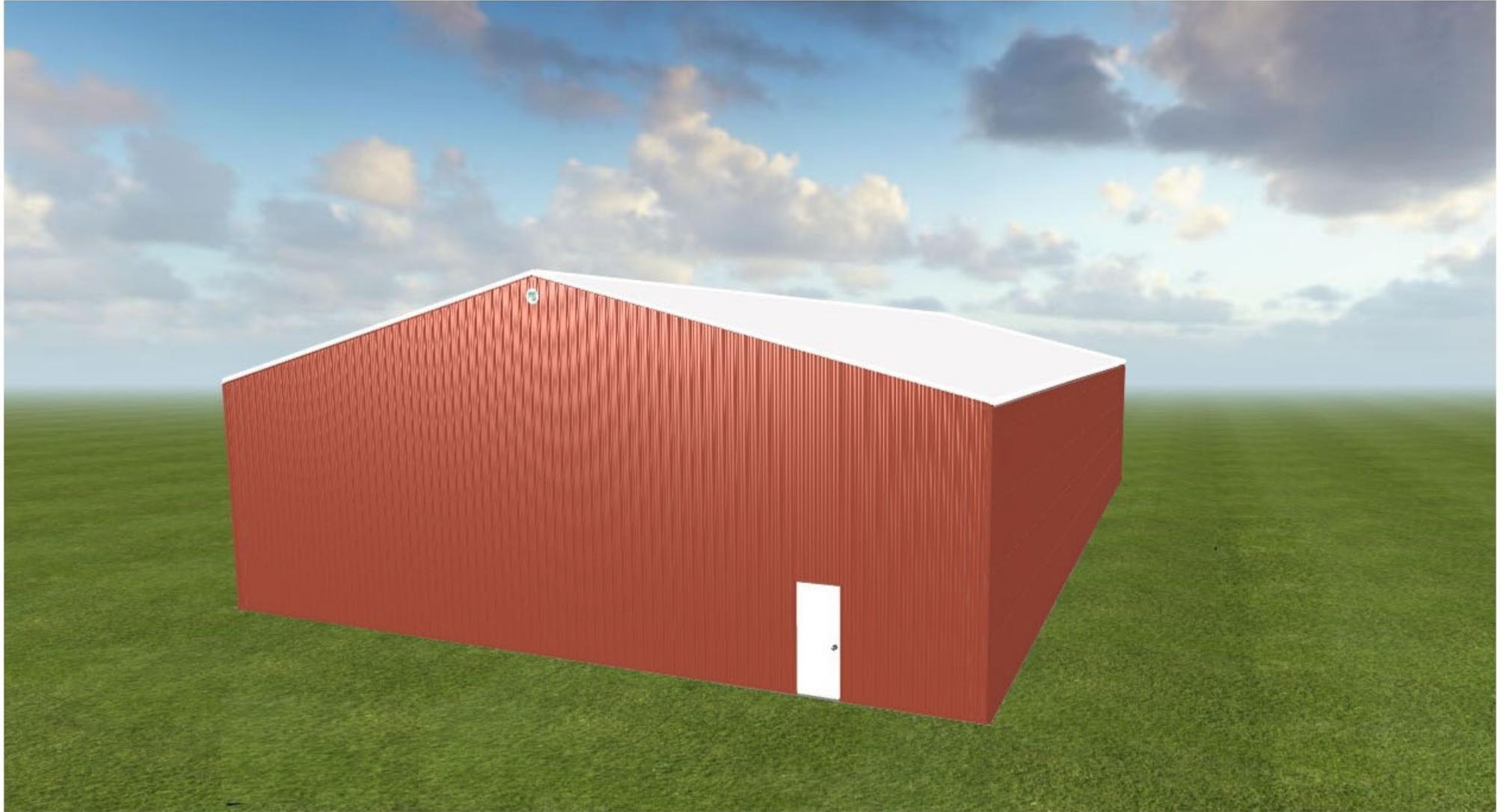
1. DIG A 6" DEEP TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POSTS 1 FOOT INTO THE GROUND.
3. LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. INSPECTIONS WILL BE MADE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS.
6. SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHT OF 1 FOOT BEHIND THE BARRIER OR HALF THE HEIGHT OF THE BARRIER AND ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
7. REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
  - THE FENCE HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
  - THE FENCE HAS BEEN MOVED OUT OF POSITION, OR
  - THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

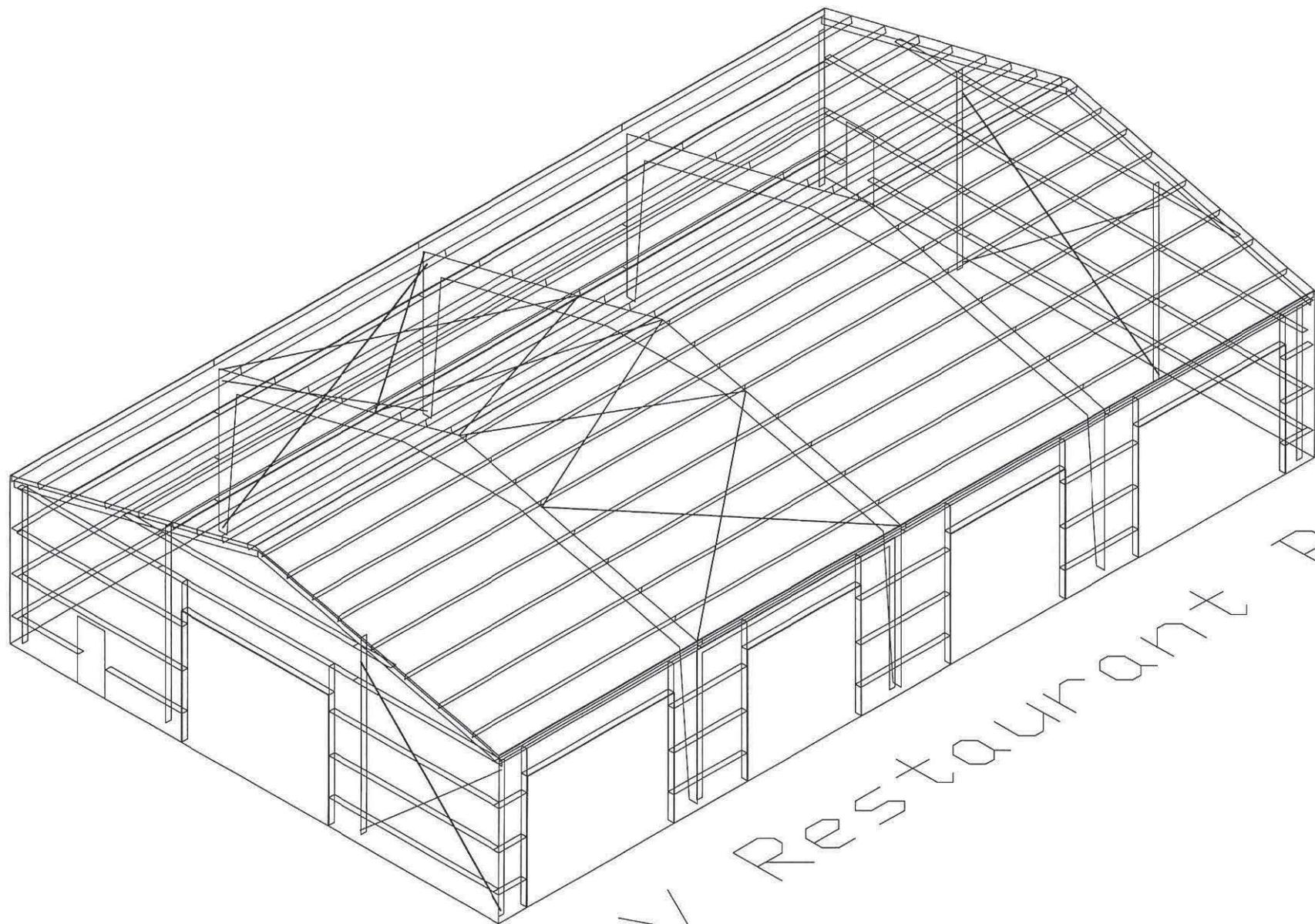
**Killingly Engineering Associates**  
114 Westcott Road  
P.O. Box 421  
Dayville, Connecticut 06241  
860 779 7299

<b>E&amp;S CONTROL &amp; DETAIL SHEET</b>		SURVEYING • MAPPING • PLOT PLANS	
FOR SITE PLAN OF PROPOSED BUILDING PREPARED FOR <b>BROOKLYN'S COUNTRYVIEW RESTAURANT, LLC</b>			
170 SOUTH STREET BROOKLYN, CONNECTICUT		63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230	
DATE: MAY 2022		SHEET NO: 2 OF 2	
SCALE: 1" = AS NOTED		REVISED: 7/20/2022	
0 0.5 1 2 3		8/10/2022 - TOWN ENG. COMMENTS	
JOB NO: 22016	F.B. NO: N/A	DRAWN BY: P.A.T.	MAP NO:

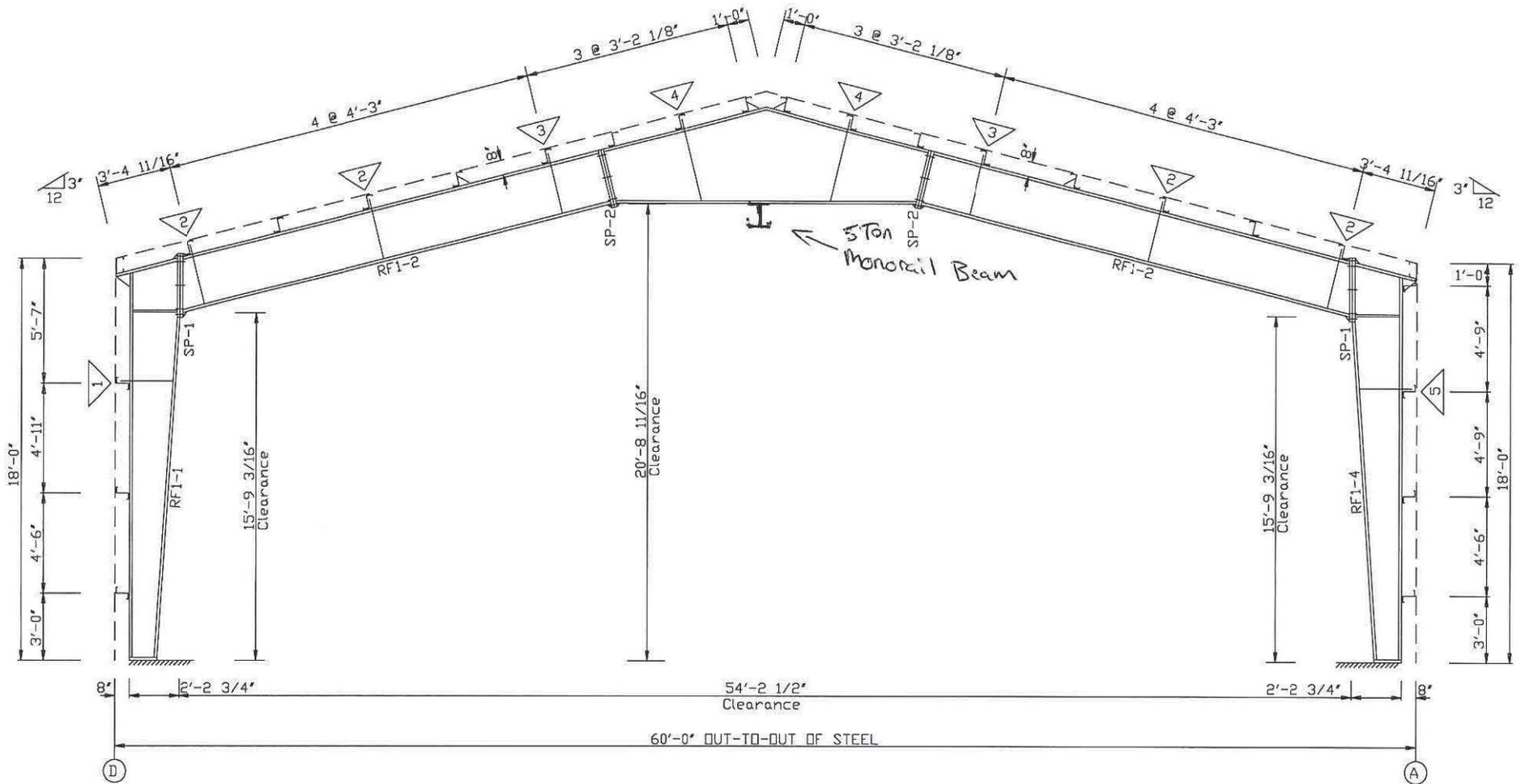








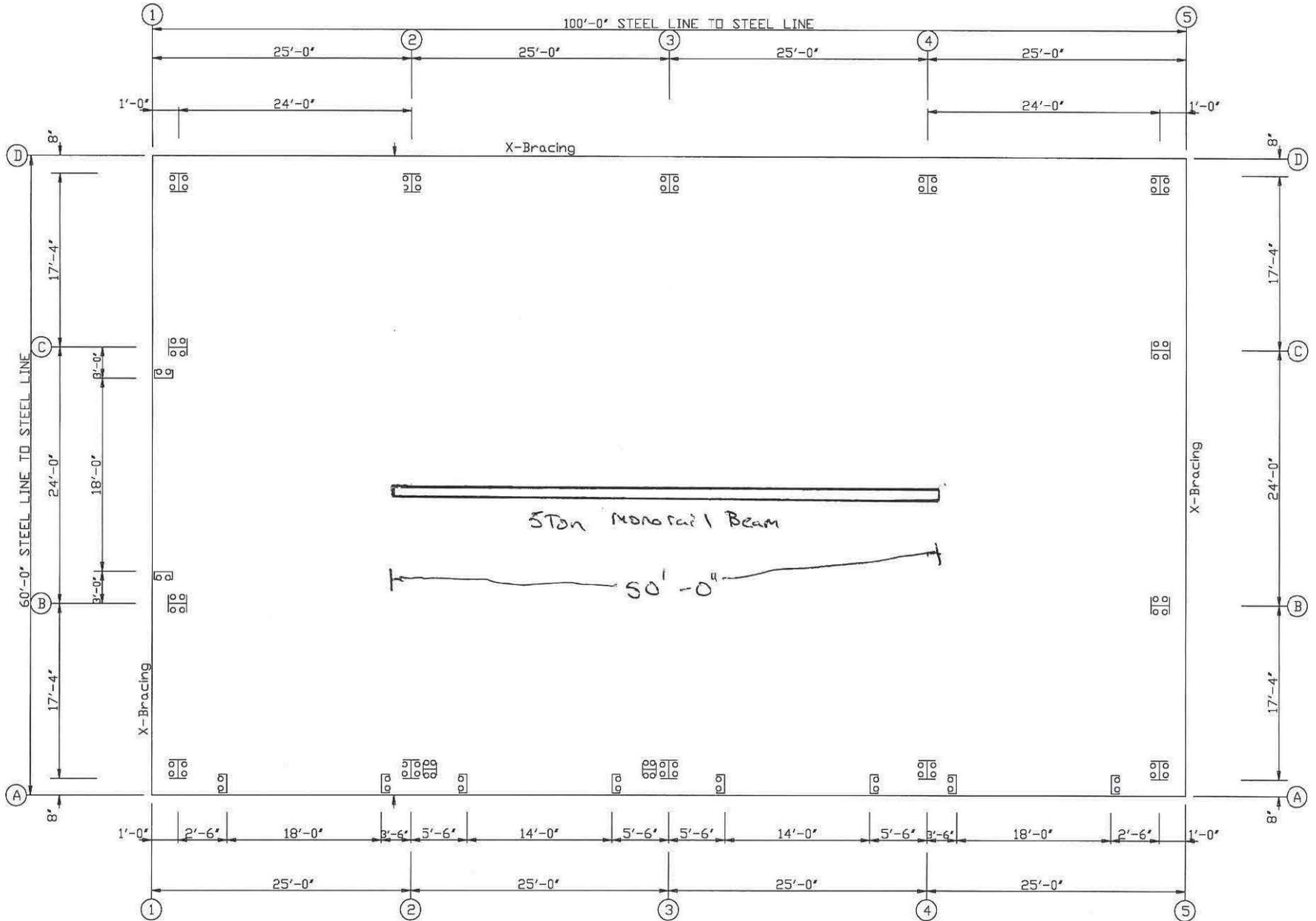
BCV RESTAURANT BLDG



RIGID FRAME ELEVATION: FRAME LINE 2 3 4

NORTHERN BUILDING SYSTEMS		Fontaine Real Estate LLC	
PROJECT	BCV Restaurant Bldg	FRAME CROSS SECTION	
ID	2205-003	PRELIM. - NOT FOR CONSTRUCTION	
PROJECT	170 South Street	CSR:TMZ	
ADDRESS	Brooklyn, CT 06351	DATE: 5/17/22	DRAWING: FRXS-1

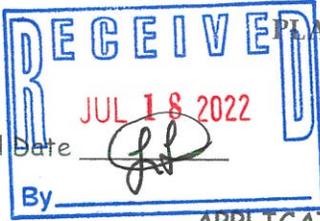




ANCHOR BOLT PLAN  
 NOTE: All Base Plates @ 100'-0" (U.N.)

NORTHERN BUILDING SYSTEMS		Fontaine Real Estate LLC
PROJECT	BCV Restaurant Bldg	ANCHOR BOLT PLAN
ID	2205-033	PRELIM. - NOT FOR CONSTRUCTION
PROJECT	170 South Street	CSR:TMZ
ADDRESS	Brooklyn, CT 06351	DATE: 5/17/22    DRAWING: ABLT-1





PLANNING AND ZONING COMMISSION  
TOWN OF BROOKLYN  
CONNECTICUT

Received Date JUL 18 2022  
By [Signature]

Application # ST SD 22-007  
Check # 6026  
\$1360<sup>00</sup>

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant Jeffrey Weaver Phone 860-450-9432  
Mailing Address PO BOX 9 Brooklyn, CT 06234  
Applicants Interest in the Property \_\_\_\_\_

Property Owner Jeffrey Weaver Phone 860-450-9432  
Mailing Address \_\_\_\_\_

Name of Engineer/Surveyor Archer Surveying LLC  
Address 18 Providence Rd Brooklyn CT 06234  
Contact Person Paul Archer Phone 860-779-2240 Fax \_\_\_\_\_

Name of Attorney \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Subdivision \_\_\_\_\_ Re subdivision   
Property location Day Street  
Map # 43 Lot # 6 Zone \_\_\_\_\_ Total Acres 52.37 Acres to be Divided 3.16  
Number of Proposed Lots \_\_\_\_\_ Length of New Road Proposed N/A  
Sewage Disposal: Private  Public \_\_\_\_\_

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary \_\_\_\_\_ Storm \_\_\_\_\_  
Water: Private \_\_\_\_\_ Public \_\_\_\_\_

Is parcel located within 500 feet of an adjoining Town? NO

The following shall accompany the application when required:

- 4.2.2 Fee \$ 1,250<sup>00</sup> State (\$60.00) 60<sup>00</sup> 4.2.3 Sanitary Report \_\_\_\_\_ 4.2.5, 3 copies of 50<sup>00</sup> publication plans \_\_\_\_\_
- 4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.
- 4.2.6 Erosion & Sediment Control Plans
- 4.2.7 Certificate of Public Convenience and Necessity
- 4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Jeffrey A Weaver Date Aug 5, 21  
Owner: Jeffrey A Weaver Date Aug 5, 21

\*Note: All consulting fees shall be paid by the applicant



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

July 28, 2021

Jeffrey A. Weaver  
PO Box 9  
Brooklyn, CT 06234

**SUBJECT: FILE #21000368 -- DAY STREET SUBDIVISION (PART 3), MAP #43, LOT #6, BROOKLYN, CT**

Dear Jeffrey A. Weaver:

Upon review of the subdivision plan 4-LOT SUBDIVISION (ARCHER SURVEYING, WEAVER, PROJ#1917, DRAWN 07/08/2021 PART 3) submitted to this office on 07/15/2021 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots: 1, 2, 3, and 4 require that a Professional Engineer design and submit individual plot plan(s) for review and approval prior to construction.
2. Proposed lots are based on 3 bedroom homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
3. If the proposed septic area is moved, additional testing may be required

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

*Donovan Moe*  
Donovan Moe, EHS  
Environmental Health Specialist, NDDH

cc: Town of Brooklyn; Archer Surveying

Brooklyn Inland Wetlands  
Commission

P.O. Box 356  
Brooklyn, Connecticut 06234



Jeffrey Weaver  
P.O. Box 9  
Brooklyn, CT 06234

July 15, 2021

RE: Notice of Decision -- Declaratory Ruling - 4-Lot Subdivision prepared for Jeffrey Weaver, Day Street, Map 43, Lot 6.

Dear Mr. Weaver:

At the July 13, 2021 meeting of the Inland Wetlands and Watercourse Commission, your application for a Declaratory Ruling 4-Lot Subdivision prepared for Jeffrey Weaver, Day Street, Map 43, Lot 6 was approved by the Commission.

If you have any questions, please feel free to call me at 860-779-3411 Ext 31.

Sincerely,

*Margaret Washburn, M.S.*

Margaret Washburn, M.S., R.P.S.S  
Enforcement Officer for the Brooklyn Inland Wetlands and Watercourses Commission

MW/acl  
CC: File

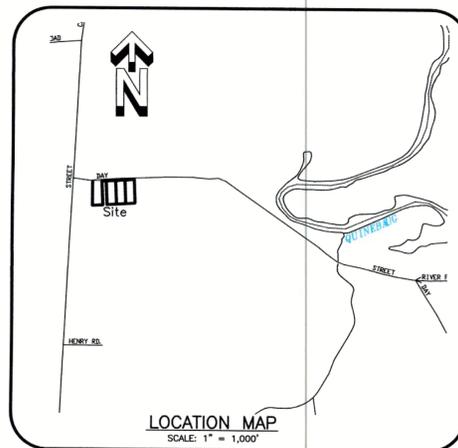
# 4 LOT SUBDIVISION

PREPARED FOR

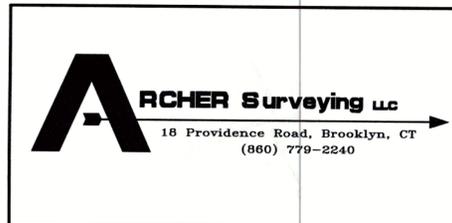
## Jeffrey Weaver

Day Street  
Brooklyn, Connecticut

July 8, 2021



PREPARED BY



### INDEX OF DRAWINGS

COVER SHEET	SHEET 1 OF 8
EXISTING CONDITION	SHEET 2 OF 8
SUBDIVISION	SHEET 3 OF 8
SITE DEVELOPMENT PLAN	SHEET 4 OF 8
DETAIL SHEET #1	SHEET 5 OF 8
DETAIL SHEET #2	SHEET 6 OF 8
HISTORY & PARCEL MAP	SHEET 7 OF 8
SITE ANALYSIS PLAN	SHEET 8 OF 8

APPROVED BY THE BROOKLYN  
INLAND WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
Expiration date per section 22A-42A of the Connecticut  
General Statutes, Date: \_\_\_\_\_

APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
Expiration date per section B.26C of the Connecticut  
General Statutes, Date: \_\_\_\_\_

I have reviewed the inland-wetlands shown on this plan  
and they appear to be substantially the same as those  
which I delineated in the field.

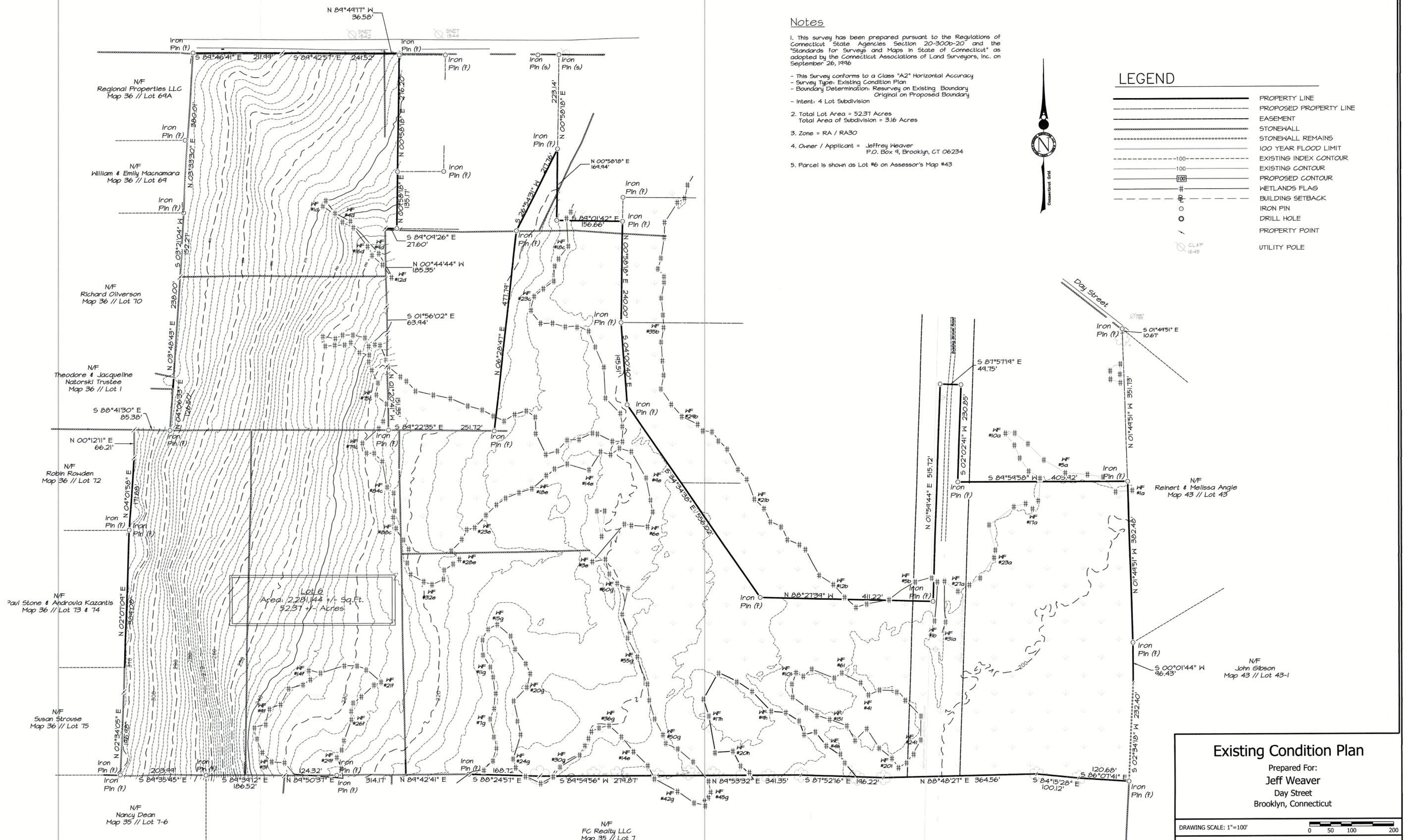
\_\_\_\_\_  
Certified Soil Scientist

**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - This Survey conforms to a Class "A2" Horizontal Accuracy
  - Survey Type: Existing Condition Plan
  - Boundary Determination: Resurvey on Existing Boundary
  - Intent: 4 Lot Subdivision
- Total Lot Area = 52.37 Acres  
Total Area of Subdivision = 3.16 Acres
- Zone = RA / RA30
- Owner / Applicant = Jeffrey Weaver  
P.O. Box 9, Brooklyn, CT 06234
- Parcel is shown as Lot #6 on Assessor's Map #43

**LEGEND**

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT
- STONEWALL
- STONEWALL REMAINS
- 100 YEAR FLOOD LIMIT
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- PROPERTY POINT
- UTILITY POLE



**MAP REFERENCE:**

- Division of Property - First Time Split, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1"=100', Prepared by Archer Surveying LLC
- 10 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
- 6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC

I do hereby certify that this Map is substantially correct as noted hereon.

*Paul H. Archer*  
Paul H. Archer LLC #1003

7-16-22 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

**Existing Condition Plan**

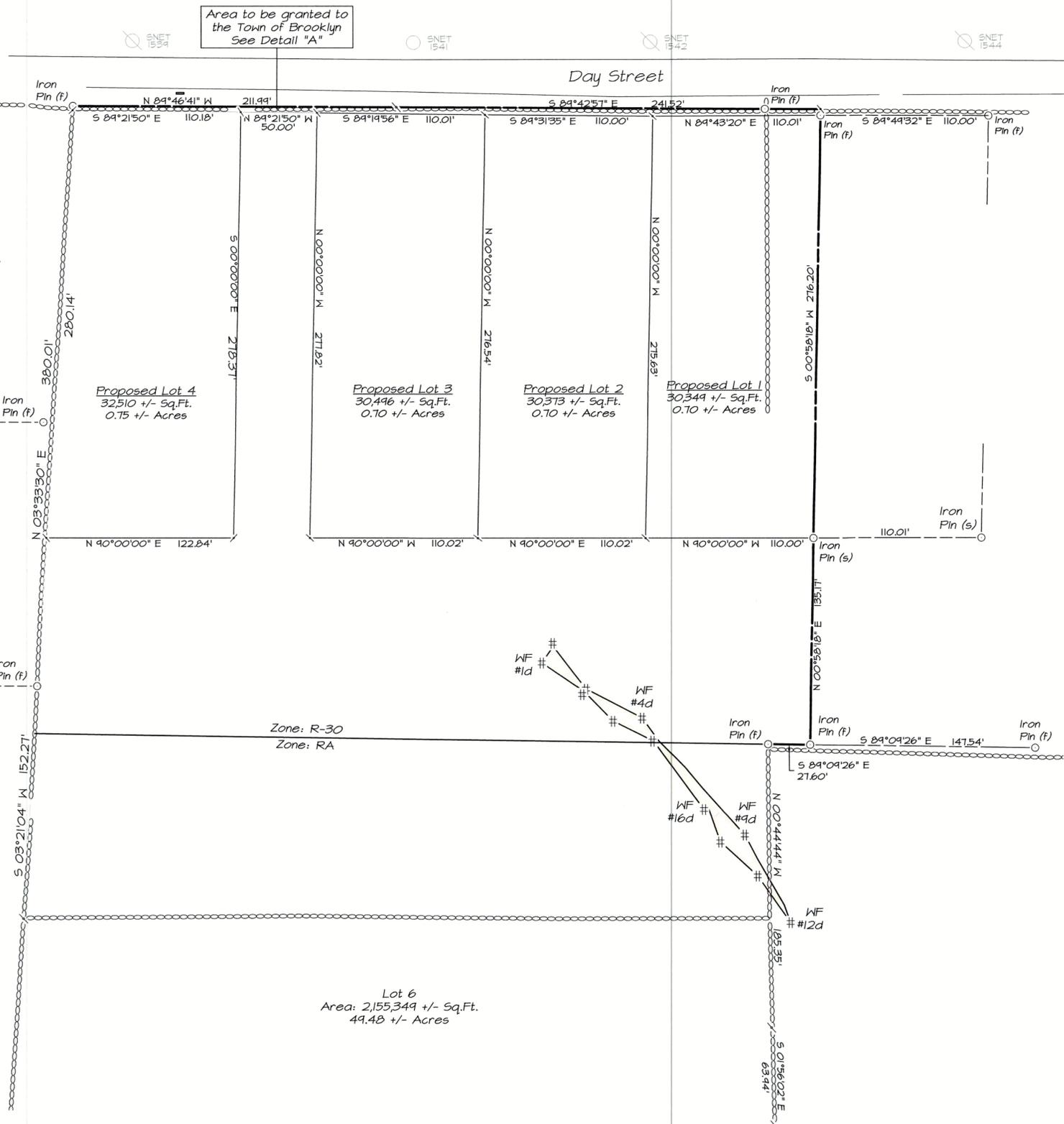
Prepared For:  
**Jeff Weaver**  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=100'

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240

REVISIONS	
7/16	MISC

Sheet No. 2 OF 8    Project No. 1917    Date: July 8, 2021



Area to be granted to the Town of Brooklyn See Detail "A"

Day Street

N/F Regional Properties LLC Map 36 // Lot 69A

N/F William & Emily Macnamara Map 36 // Lot 69

N/F Richard Olliverson Map 36 // Lot 70

Zone: R-30  
Zone: RA

Lot 6  
Area: 2,155,349 +/- Sq.Ft.  
49.48 +/- Acres

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - This Survey conforms to a Class "A-2" Horizontal Accuracy
  - Class "T-2" Vertical Accuracy
  - Survey Type: Subdivision Plan
  - Boundary Determination: Resurvey on Existing Boundary
  - Intent: 4 Lot Subdivision
- Total Lot Area = 52.37 Acres  
Total Area of Subdivision = 3.16 Acres
- Zone = R-30
- Owner / Applicant = Jeffrey Weaver  
P.O. Box 4, Brooklyn, CT 06234
- Parcel is shown as Lot #6 on Assessor's Map #43
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year Flood hazard area
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018 and field located by Archer Surveying LLC
- There are not Known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
- Parcel does not lie within an aquifer protection area
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
- Passive Solar Energy techniques were considered in the design of the subdivision

MAP REFERENCE:

- Division of Property - First Time Split, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: June 2018, Scale: 1"=100', Prepared by Archer Surveying LLC
- 10 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: May 2018, Scale: 1"=60', Prepared by Archer Surveying LLC
- 6 Lot Subdivision, Prepared for Jeff Weaver, Day Street, Brooklyn, Connecticut, Date: February 2020, Scale: 1"=50', Prepared by Archer Surveying LLC

To My Knowledge and Belief, this Map is substantially Correct as noted Hereon.  
  
 Paul M. Archer, L.S. #10013  
 Date: 7-16-22

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

REVISIONS	

**Subdivision Plan**  
 "4 Lot Subdivision"  
 Prepared For:  
**Jeffrey Weaver**  
 Day Street  
 Brooklyn, Connecticut

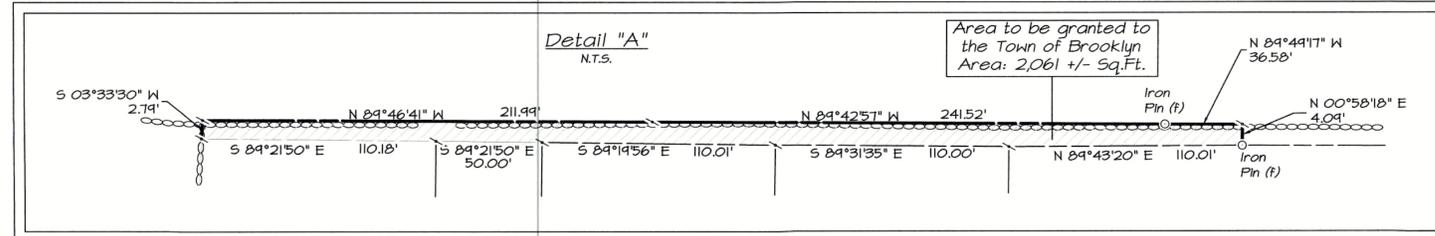
DRAWING SCALE: 1"=40'



Sheet No. 3 of 8 Project No. 1917 Date: July 8, 2021

LEGEND

- |  |                        |  |                        |
|--|------------------------|--|------------------------|
|  | EXISTING PROPERTY LINE |  | 100 YEAR FLOOD LIMIT   |
|  | PROPOSED PROPERTY LINE |  | EXISTING INDEX CONTOUR |
|  | EXISTING EASEMENT LINE |  | EXISTING CONTOUR       |
|  | ZONE LINE              |  | WETLANDS FLAG          |
|  | STONEWALL              |  | BUILDING SETBACK       |
|  | STONEWALL REMAINS      |  | IRON PIN FOUND         |
|  | UTILITY POLE           |  | PROPERTY POINT         |

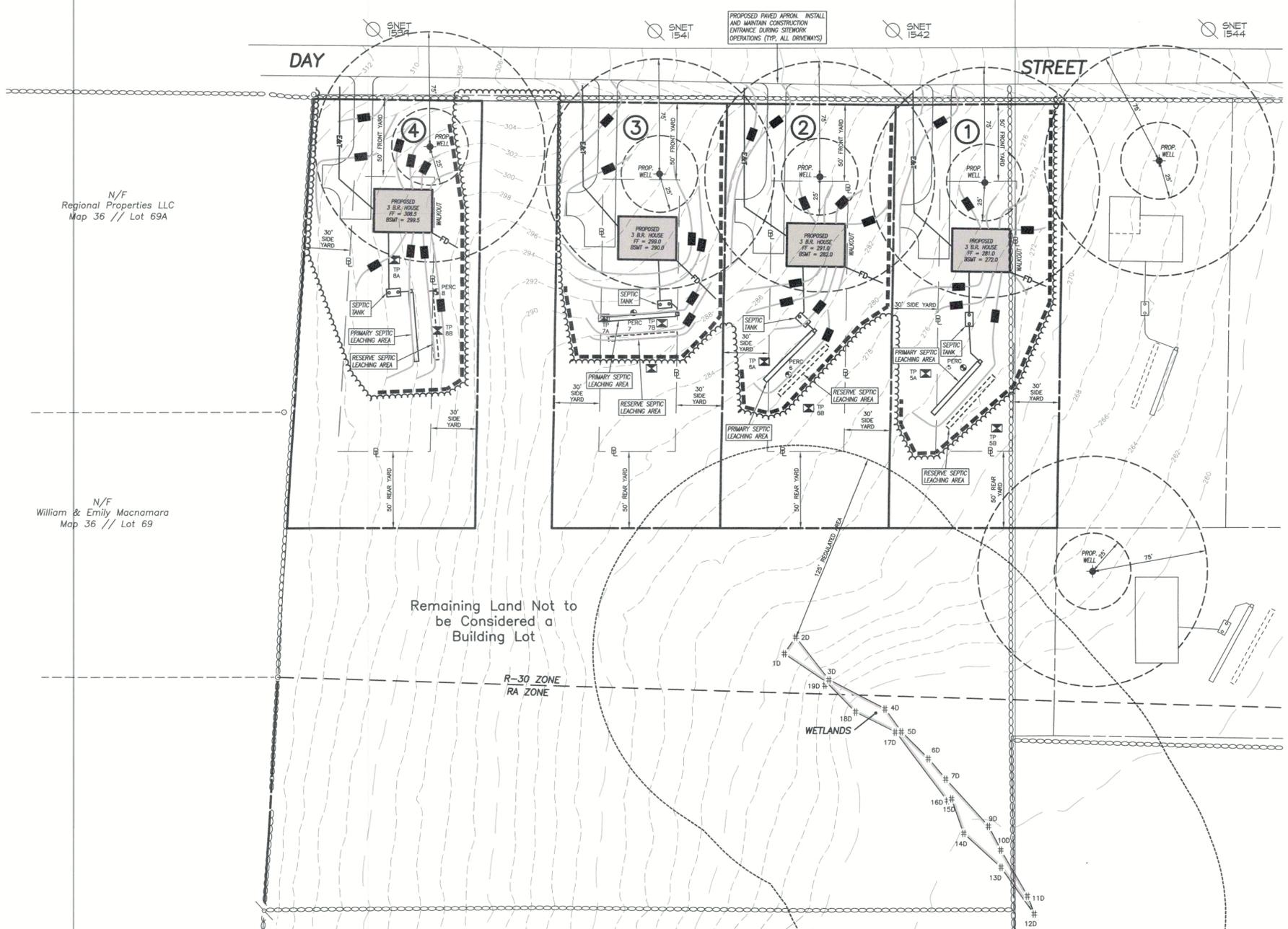


Detail "A"  
N.T.S.

Area to be granted to the Town of Brooklyn Area: 2,061 +/- Sq.Ft.

**LEGEND**

- ☒ TEST PIT
- # WETLAND FLAG
- STONE WALL
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED UTILITIES
- PROPOSED FOOTING DRAIN
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- PROPOSED RETAINING WALL
- BUILDING SETBACK LINE
- 100 YEAR FLOOD ZONE



**SURVEY NOTES:**

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018; This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
  - This survey conforms to a Class "C" horizontal accuracy.
  - Topographic features conform to a Class "T-2" accuracy.
  - Survey Type: General Location Survey.
2. The subject parcel is shown as lot #6, on assessor's map #43.
3. Zone: R-30.
4. Owner of record: Jeffrey Weaver, P.O. Box 9, Brooklyn, CT 06234.
5. The intent of this survey is to show conceptual development plans for each lot in a 6 lot subdivision. Proposed houses, wells, septic systems, driveways grading and other improvements are conceptual in nature and intended to demonstrate the suitability of each lot for development and compliance with the Brooklyn Zoning Regulations and Brooklyn Subdivision Regulations.
6. Elevations based on NAVD 1988. Contour interval = 2'.
7. North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
8. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
9. Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.
10. This project is not located within an area of concern on the December 2019 Natural Diversity Data Base map for the Town of Brooklyn.
11. This project does not lie within an aquifer protection area.
12. The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications which are on file in the office of the commission.
13. Passive solar energy techniques were considered in the design of this subdivision.
14. All driveways with slopes <10% are to be gravel surfaced.
15. All primary and reserve septic system leaching areas shown are sized for the use of Mantis 536-8 leaching units.

N/F  
Regional Properties LLC  
Map 36 // Lot 69A

N/F  
William & Emily Macnamara  
Map 36 // Lot 69

Remaining Land Not to be Considered a Building Lot

R-30 ZONE  
RA ZONE

WETLANDS

**Drovost & Rovero, Inc.**

Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering  
57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 - FAX: (860) 230-0860  
info@drovost.com  
www.drovost.com

REVISIONS	
DATE	DESCRIPTION

**Site Development Plan**  
**"4 Lot Subdivision"**  
Prepared For:  
**Jeffrey Weaver**  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AND ACCURATE.  
*Paul M. Archer*  
PAUL M. ARCHER  
7-16-22  
DATE

7/8/2021  
ENGINEER DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

**EROSION AND SEDIMENT CONTROL PLAN:**

**REFERENCE IS MADE TO:**

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

**DEVELOPMENT SCHEDULE (Individual Lots):**

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

**DEVELOPMENT CONTROL PLAN:**

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklyn will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

**HAY BALE INSTALLATION AND MAINTENANCE:**

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

**TEMPORARY VEGETATIVE COVER:**

**SEED SELECTION**

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

**TIMING CONSIDERATIONS**

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

**SITE PREPARATION**

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

**SEEDBED PREPARATION**

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, disking, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

**SEEDING**

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

**MULCHING**

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

**MAINTENANCE**

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

**PERMANENT VEGETATIVE COVER:**

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 24" or larger in any dimension will be removed or buried.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retilled compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

**PRINCIPLES OF EROSION AND SEDIMENT CONTROL**

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

**KEEP LAND DISTURBANCE TO A MINIMUM**

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.

- Route traffic patterns within the site to avoid existing or newly planted vegetation.

- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.

- Schedule construction so that final grading and stabilization is completed as soon as possible.

**SLOW THE FLOW**

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

**KEEP CLEAN RUNOFF SEPARATED**

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.

- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

**REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS**

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

- Grade and landscape around buildings and septic systems to divert water away from them.

**TEST PIT OBSERVATIONS 5/3/2021**

Observed by: Melissa Soricelli, R.S., NDDH

TEST PIT	DEPTH	PROFILE
5A	0-9"	topsoil
	9-22"	orange brown fine sandy loam
	22-29"	gray compact gravelly loamy med. sand
	Mottling	32"
	GWT	40"
	Ledge	N/A
	Roots	24"
5B	0-5"	topsoil
	5-34"	orange brown fine sandy loam
	34-96"	gray compact gravelly loamy med. sand
	Mottling	30"
	GWT	51" (seeps)
	Ledge	N/A
	Roots	28"
6A	0-11"	topsoil
	11-30"	orange brown fine sandy loam
	30-84"	gray compact gravelly loamy med. sand
	Mottling	30"
	GWT	48"
	Ledge	N/A
6B	0-4"	topsoil
	4-24"	orange brown fine sandy loam
	24-75"	gray compact gravelly loamy sand
	Mottling	24"
	GWT	36" (seeping)
	Ledge	N/A
	Roots	20"
7A	0-3"	forest litter
	3-27"	orange brown fine sandy loam
	27-74"	gray compact gravelly loamy med. sand
	Mottling	20"
	GWT	51"
	Ledge	N/A
	Roots	27"
7B	0-9"	topsoil/forest litter
	9-18"	orange brown fine sandy loam
	18-32"	gray medium loamy sand
	32-84"	gray tight gravelly loamy med. sand
	Mottling	N/A
	GWT	67"
	Ledge	N/A
8A	0-11"	topsoil
	11-29"	orange brown fine sandy loam
	29-84"	heavily mottled med.-coarse sand
	Mottling	28"
	GWT	45"
	Ledge	N/A
8B	0-10"	topsoil
	10-24"	orange brown fine sandy loam
	24-76"	heavily mottled med. coarse sand
	Mottling	24"
	GWT	62"
	Ledge	N/A

**PERCOLATION TESTS 5/3/2021**

Observed by: Melissa Soricelli, R.S., NDDH

Perc 5  
Depth: 24"

TIME	DEPTH
10:53	11.25"
11:03	15.5"
11:13	18"
11:23	19.75"

Percolation Rate: 5.7 min/inch

Perc 6

TIME	DEPTH
10:55	5.25"
11:05	9.5"
11:15	12"
11:25	13.75"

Percolation Rate: 5.71 min/inch

Perc 7

TIME	DEPTH
10:57	10"
11:07	15.5"
11:17	17.75"

Percolation Rate: 4.4 min/inch

Perc 8

TIME	DEPTH
10:59	8"
11:09	15.25"
11:19	18.5"

Percolation Rate: 3.1 min/inch

**SEPTIC SYSTEM DESIGN CRITERIA**

LOT 1  
TP 5A & 5B  
Depth to restrictive layer = 31 in. avg.  
Slope % = 6.2 %  
Number of Bedrooms = 3  
Percolation rate = 5.7 min/in  
Max. depth into exist. grade = 12 in.  
System Size = 495 s.f.

Hydraulic Factor = 26  
Flow Factor = 1.50  
Perc Factor = 1.00

26 x 1.50 x 1.00 = 39.0'

MLSS = 39.0'

LOT 2  
TP 6A & 6B  
Depth to restrictive layer = 27 in. avg.  
Slope % = 10.5 %  
Number of Bedrooms = 3  
Percolation rate = 5.7 min/in  
Max. depth into exist. grade = 6 in.  
System Size = 495 s.f.

Hydraulic Factor = 24  
Flow Factor = 1.50  
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 3  
TP 7A & 7B  
Depth to restrictive layer = 26 in. avg.  
Slope % = 12.9 %  
Number of Bedrooms = 3  
Percolation rate = 4.4 min/in  
Max. depth into exist. grade = 0 in.  
System Size = 495 s.f.

Hydraulic Factor = 26  
Flow Factor = 1.50  
Perc Factor = 1.00

26 x 1.50 x 1.00 = 39.0'

MLSS = 39.0'

LOT 4  
TP 8A & 8B  
Depth to restrictive layer = 26 in. avg.  
Slope % = 16.0 %  
Number of Bedrooms = 3  
Percolation rate = 3.1 min/in  
Max. depth into exist. grade = 0 in.  
System Size = 495 s.f.

Hydraulic Factor = 24  
Flow Factor = 1.50  
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

**Provoost & Rovero, Inc.**  
Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering  
57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 • FAX: (860) 230-0860  
info@provoostinc.com  
www.provoostinc.com

REVISIONS	
DATE	DESCRIPTION

Detail Sheet No. 1  
"4 Lot Subdivision"

Prepared For:  
**Jeffrey Weaver**  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240

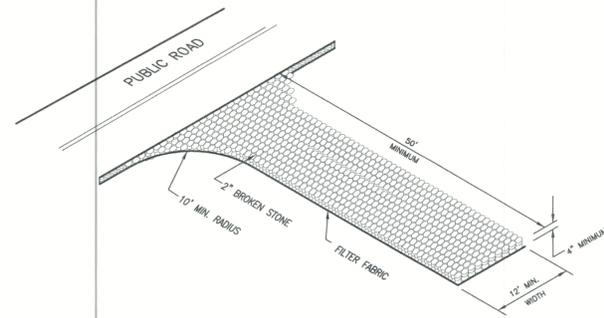
Sheet No. 5 OF 8 Project No. AS 1917 Date: 7/7/2021



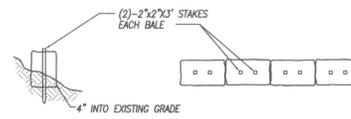
ENGINEER	DATE
	7/8/2021

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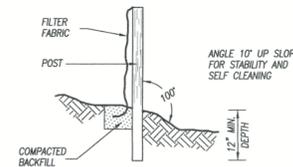




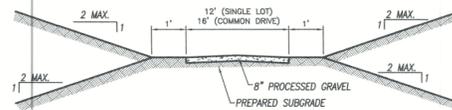
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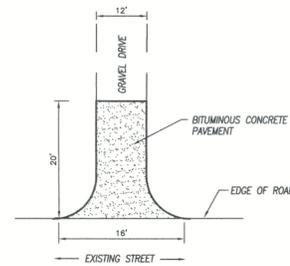
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**SILT FENCE**  
NOT TO SCALE



**GRAVEL DRIVE DETAIL**  
NOT TO SCALE



**PAVED APRON**  
SINGLE DRIVE  
NOT TO SCALE

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ENGINEER	7/8/2021
	DATE

**Provost & Rovero, Inc.**

Civil Engineering • Surveying • Site Planning  
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57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
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info@provostinc.com  
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REVISIONS	
DATE	DESCRIPTION

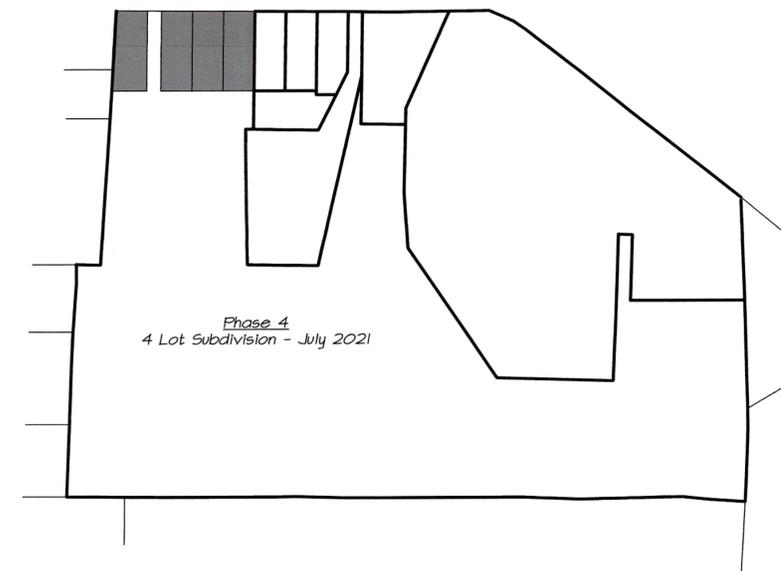
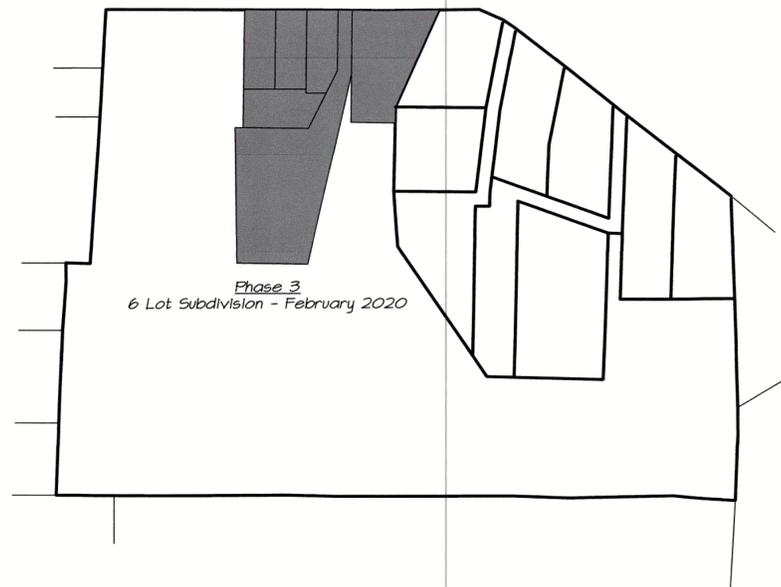
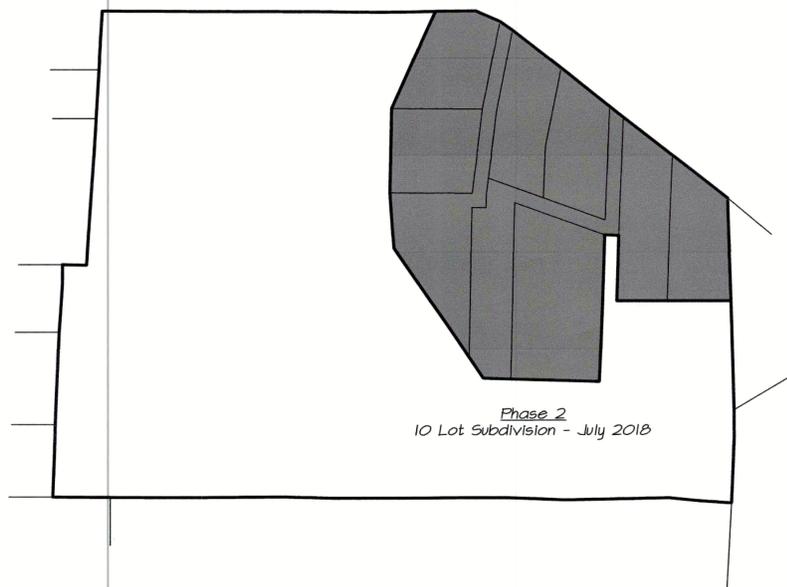
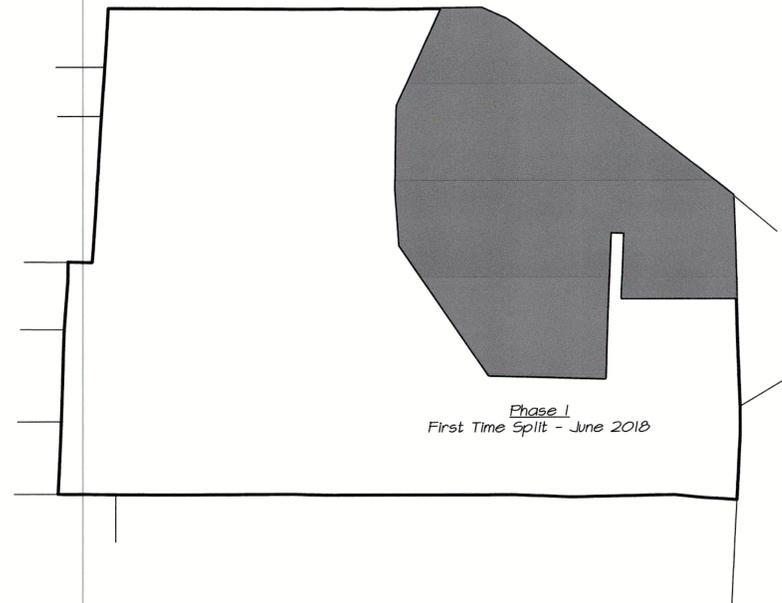
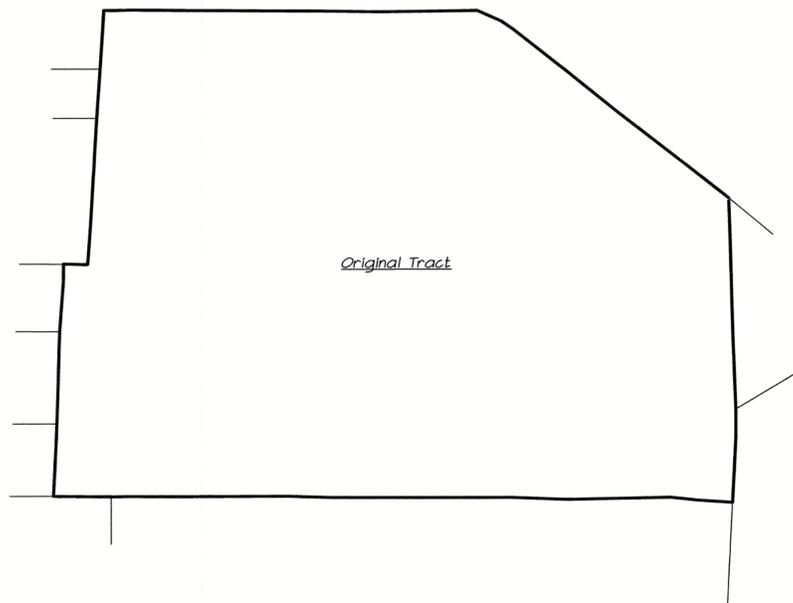
**Detail Sheet No. 2**  
"4 Lot Subdivision"

Prepared For:  
Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut



DRAWING SCALE: AS SHOWN





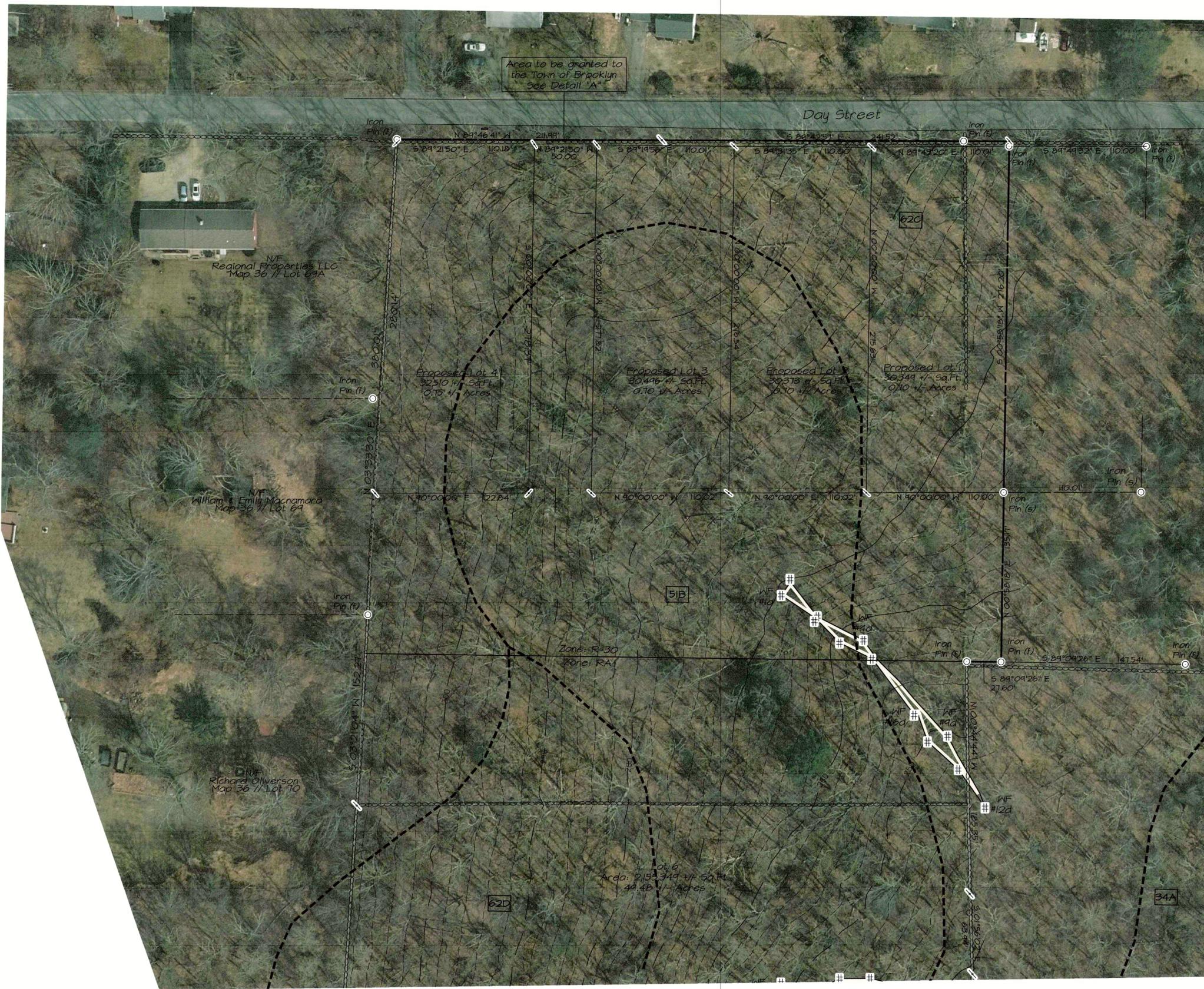
Grantor	Grantee	Date	Vol. / Pg.
	Michael & Sara Lancer	October 1969	48 / 266
Michael & Sara Lancer	Harold Lancer	July 1989	96 / 379
Harold Lancer	Harold Lancer Trustee	July 1997	184 / 89
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 299
Jeffrey A Weaver	Jeffrey A Weaver	June 2018	611 / 81

### History Plan "4 Lot Subdivision"

Prepared For:  
Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut



REVISIONS	
DATE	DESCRIPTION



Soil Data	
34A	Merrimac Fine Sandy Loam 0 to 3 percent Slopes
51B	Sutton fine sandy loam 0 to 8 percent slopes, very stony
62C	Canton and Charlton fine sandy loams 3 to 15 percent slopes extremely stony
62D	Canton and Charlton fine sandy loams 15 to 35 percent slopes extremely stony

**LEGEND**

	EXISTING PROPERTY LINE		100 YEAR FLOOD LIMIT
	PROPOSED PROPERTY LINE		EXISTING INDEX CONTOUR
	EXISTING EASEMENT LINE		EXISTING CONTOUR
	ZONE LINE		WETLANDS FLAG
	STONEWALL		BUILDING SETBACK
	STONEWALL REMAINS		IRON PIN FOUND
	UTILITY POLE		PROPERTY POINT

REVISIONS	
DATE	DESCRIPTION

**Site Analysis Plan**  
**"4 Lot Subdivision"**  
 Prepared For:  
**Jeffrey Weaver**  
 Day Street  
 Brooklyn, Connecticut

**ARCHER Surveying LLC**  
 18 Providence Road, Brooklyn, CT  
 (860) 779-2240

PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE  
IN  
ZONING BOUNDARY



Date 08/04/2022

FEE \$ 250.00

State Fee \$ 60.00

Application # ZC 22-002

Check # 610 - \$150<sup>-</sup>  
611 - \$310<sup>-</sup>

Public Hearing Date \_\_\_\_\_ Commission Action \_\_\_\_\_

Effective Date \_\_\_\_\_

Name of Applicant Townsend Development Associates, LLC Phone 860-208-6839

Mailing Address 13309 Palmers Creed Terrace, Lakewood Ranch, FL 34202

Applicants Interest in the Property Owner

Property Owner Applicant Phone \_\_\_\_\_

Mailing Address \_\_\_\_\_

MAP 19 LOT 16 LOT SIZE 7.49 acres

MAP \_\_\_\_\_ LOT \_\_\_\_\_ LOT SIZE \_\_\_\_\_

MAP \_\_\_\_\_ LOT \_\_\_\_\_ LOT SIZE \_\_\_\_\_

More lots , repeat above on separate sheet

ZONE: R10\_\_\_ R30\_\_\_ RA\_\_\_ VCD\_\_\_ NC\_\_\_ RB\_\_\_ PC X I\_\_\_

REQUEST CHANGE: FROM PC TO R10

REQUEST CHANGE: FROM \_\_\_\_\_ TO \_\_\_\_\_

REQUEST CHANGE: FROM \_\_\_\_\_ TO \_\_\_\_\_

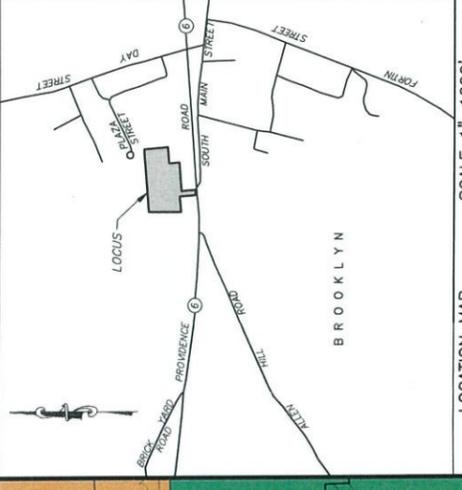
More changes , repeat above on separate sheet

REASON FOR REQUEST: Requesting to change the zone of +/- 5.5 acres of the existing 7.49 acre

Lot from PC to R10 to allow for Residential Development.

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

ZONE CHANGE MAP
   
 PREPARED FOR:
   
 TOWNSEND DEVELOPMENT ASSOCIATES, LLC
   
 538 PROVIDENCE ROAD
   
 BROOKLYN, CT



**MAP REFERENCES**
  
 1.) SUBDIVISION MAP PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC PROVIDENCE PIKE (US ROUTE #6) BROOKLYN, CT, VOLUME 153/PAGE 194, DATED APRIL 2008, SHEET NO. 2, PREPARED BY ARCHER SURVING, L.L.C.
   
 2.) COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE TOWN OF BROOKLYN, CT, FOR THE PROPOSED PROPERTY OF TOWNSEND DEVELOPMENT ASSOCIATES, LLC LOT #16 (PROVIDENCE ROAD) U.S. ROUTE #6 BROOKLYN, CT, SCALE: 1"=40', DATED: NOVEMBER 6, 2007, PREPARED BY ONE ASSOCIATES, INC.
   
 3.) EASEMENT MAP SHOWING EASEMENT ACQUIRED FROM TOWNSEND DEVELOPMENT ASSOCIATES, LLC TO THE STATE OF CONNECTICUT, PROVIDENCE ROAD & SOUTH MAIN STREET, SCALE: 1"=20', DATED: JULY 2007, PREPARED BY ONE ASSOCIATES, INC.
   
 4.) SITE DEVELOPMENT PLAN PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC PROVIDENCE PIKE (US ROUTE #6) BROOKLYN, CT, SCALE: 1"=40', DATED: OCTOBER 10, 2008, REVISED JANUARY 3, 2007, PREPARED BY ONE ASSOCIATES, INC.
   
 5.) IMPROVEMENT LOCATION PLAN PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC LOT #16 (PROVIDENCE ROAD) U.S. ROUTE #6 BROOKLYN, CT, SCALE: 1"=40', DATED: JULY 24, 2017, PREPARED BY ONE ASSOCIATES, INC.

**NOTES**
  
 1.) THE SUBJECT PARCEL WAS CONVEYED TO TOWNSEND DEVELOPMENT ASSOCIATES, LLC THROUGH VOLUME 396, PAGE 321 OF THE BROOKLYN LAND RECORDS.
   
 2.) THE SUBJECT PROPERTY IS SHOWN ON THE BROOKLYN TAX ASSESSOR MAP No. 19 AS LOT 16 OF BLOCK 41 AND HAS BEEN ASSIGNED ADDRESS OF PROVIDENCE PIKE ROUTE 6, BROOKLYN, CONNECTICUT.
   
 3.) TOTAL AREA OF PROPERTY = 7.48 ± ACRES (326,125 ± SQUARE FEET).
   
 4.) SITE IS LOCATED IN (PC) PLANNED COMMERCIAL ZONE.
   
 5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS ARE SHOWN AS REFERENCED TO THE RECORD MAPS FROM WHICH RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. SUCH UTILITIES ARE SHOWN AS APPROXIMATE IN NATURE. ADDITIONAL OTHER SUCH FEATURES, SUCH AS APPROXIMATE IN NATURE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ONE ASSOCIATES, INC., THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE DETERMINED BY THE APPLICANT PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

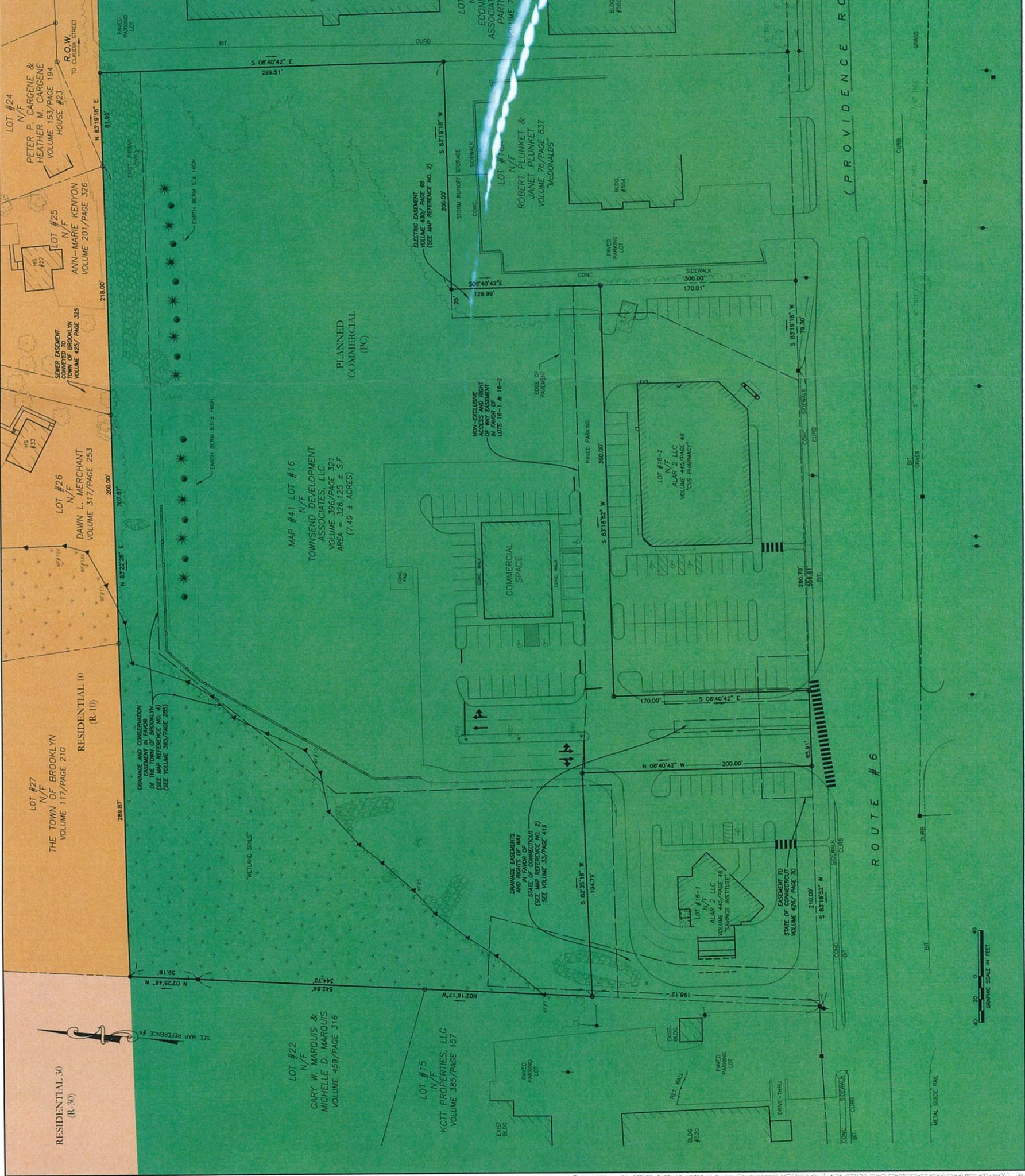
**LEGEND**
  
 PROPERTY LINE
   
 ABUTTERS LINE
   
 EDGE OF PAVEMENT
   
 EXISTING CONTOUR
   
 RETAINING WALL
   
 LIMITS OF INLAND WETLANDS
   
 WOOD FENCE
   
 CHAIN LINK FENCE
   
 TREE LINE
   
 NOW OR FORMERLY
   
 UTILITY POLE
   
 BOUNDARY POINT
   
 IRON MONUMENT
   
 REFERENCE TO TOWN AND COUNTY DEPARTMENT RECORDS (CHD)

No.	Submitted/Revision	Prepared By	Date

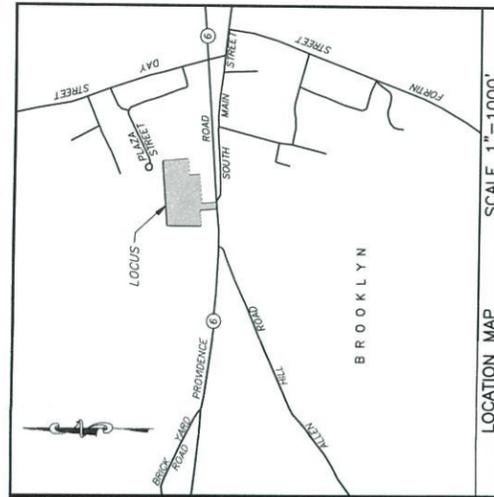
Designed By: \_\_\_\_\_ Checked By: \_\_\_\_\_
   
 PWP: \_\_\_\_\_
   
 Issue Date: 07/29/22 Project No: 076920 Scale: 1" = 40'
   
 Drawing No.: \_\_\_\_\_

**EXISTING ZONING**

SHEET 1



ZONE CHANGE MAP
   
 PREPARED FOR:
   
 TOWNSEND
   
 DEVELOPMENT
   
 ASSOCIATES, LLC
   
 538 PROVIDENCE ROAD
   
 BROOKLYN, CT



LOCATION MAP SCALE 1"=1000'

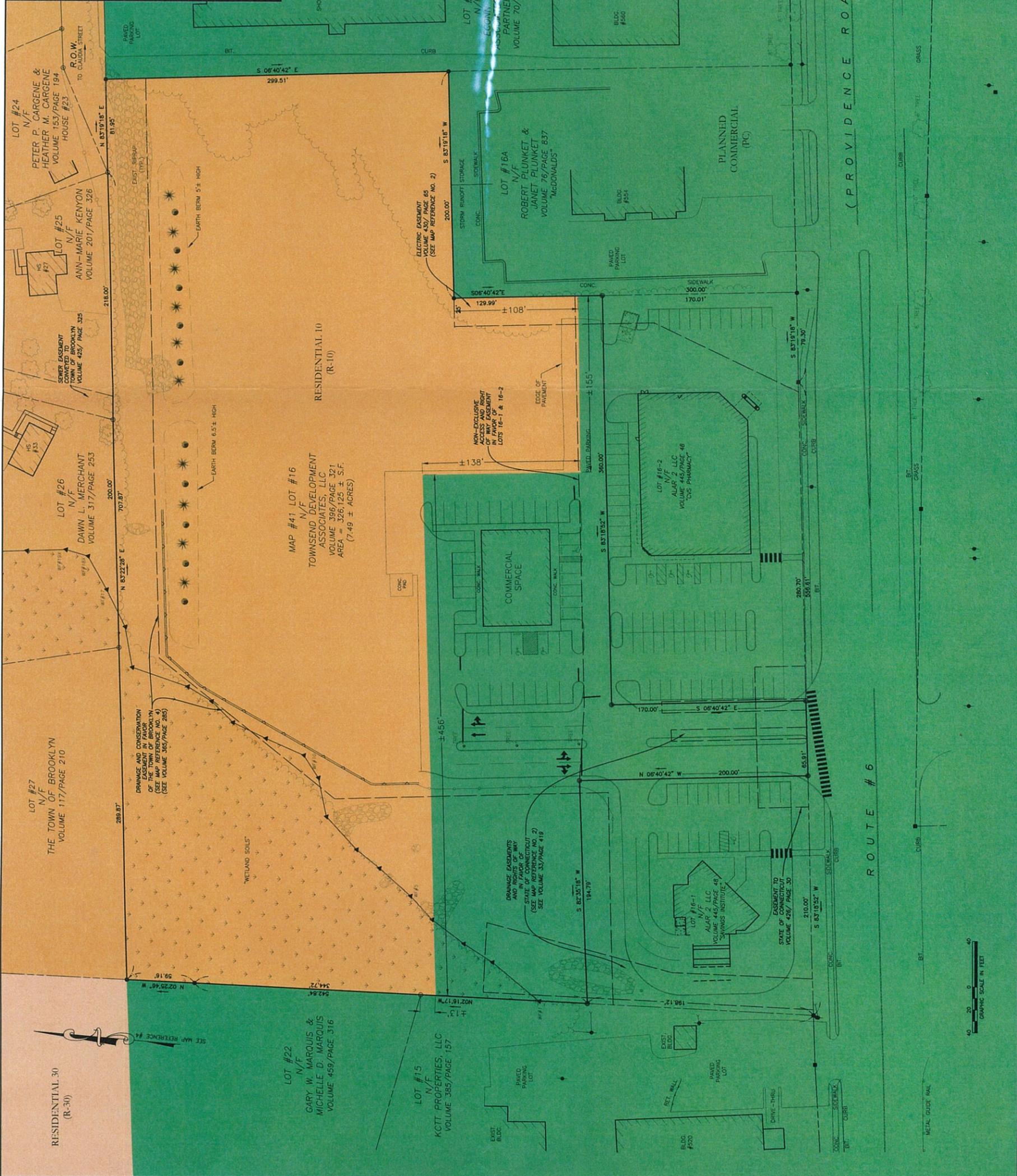
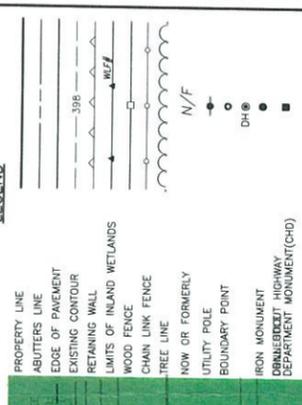
**MAP REFERENCES**

- 1.) SUBDIVISION MAP PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC, PROVIDENCE PIKE (U.S. ROUTE #6) BROOKLYN, CONNECTICUT, SCALE: 1"=40', DATED: APRIL 2006, SHEET NO. 2, PREPARED BY ARCHER SURVEYING LLC.
- 2.) TOWNSHIP PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT TURNPIKE AUTHORITY, 2006, SHEET NO. 16, PROPERTY OF TOWNSEND DEVELOPMENT ASSOCIATES, LLC, LOT #16 (PROVIDENCE ROAD) U.S. ROUTE #6 BROOKLYN, CT., SCALE: 1"=40', DATED: NOVEMBER 6, 2007, PREPARED BY CIE ASSOCIATES, INC.
- 3.) EASEMENT MAP SURVEY, TOWN OF BROOKLYN MAP SHOWING EASEMENT ACQUIRED FROM TOWNSEND DEVELOPMENT ASSOCIATES, LLC TO THE STATE OF CONNECTICUT, PROVIDENCE ROAD & SOUTH MAIN STREET, U.S. ROUTE #6, SCALE: 1"=20', DATED: JULY 2007, PREPARED BY CIE ASSOCIATES, INC.
- 4.) SITE DEVELOPMENT PLAN PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC, 16 PROVIDENCE ROAD U.S. ROUTE #6 BROOKLYN, CT., SCALE: 1"=40', DATED: JULY 2006, REVISED JANUARY 3, 2007, PREPARED BY CIE ASSOCIATES, INC.
- 5.) "WORKSHEET LOCATION PLAN PREPARED FOR TOWNSEND DEVELOPMENT ASSOCIATES, LLC, 16 PROVIDENCE ROAD) U.S. ROUTE #6 BROOKLYN, CT., SCALE: 1"=40', DATED: JULY 24, 2017, PREPARED BY CIE ASSOCIATES, INC.

**NOTES**

- 1.) THE SUBJECT PARCEL WAS CONVEYED TO TOWNSEND DEVELOPMENT ASSOCIATES, LLC THROUGH A CONVEYANCE DATED ON SEPTEMBER 20, 2006 AND IS RECORDED IN VOLUME 396, PAGE 321 OF THE BROOKLYN LAND RECORDS.
- 2.) THE SUBJECT PROPERTY IS SHOWN ON THE BROOKLYN TAX ASSESSOR MAP No. 19 AS LOT #16 AND THE ASSIGNED ADDRESS OF PROVIDENCE PIKE ROUTE 6, BROOKLYN, CONNECTICUT.
- 3.) TOTAL AREA OF PROPERTY = 7.49 ± ACRES (326,125 ± SQUARE FEET).
- 4.) SITE IS LOCATED IN (PC) PLANNED COMMERCIAL ZONE.
- 5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED BY RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES FROM PUBLIC RECORDS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, AND THE FIELD SURVEY HAS BEEN CONDUCTED TO SUCH DEGREES, JUST THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

**LEGEND**



Designed By:	Drawn By:	Checked By:
PHD	PHD	PHD
Issue Date:	Project No:	Scale:
07/23/22	076920	1" = 40'
Drawing No.:		SHEET 2

PROPOSED ZONING

SHEET 2