

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION
Regular Meeting Agenda
Wednesday, March 3, 2021
6:30 p.m.**

To join this hearing via the web or phone, follow the below instructions:	
Web Go to www.webex.com Click sign in On the top right, click Join a Meeting Enter meeting ID: 126 815 8731 Enter meeting password: First	Phone Dial 1-415-655-0001 Enter meeting number: 126 815 8731 Enter meeting password: 34778 You can bypass attendee number by pressing #

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Regular Meeting February 3, 2021
- V. Public Commentary**
- VI. Unfinished Business:**
 - a. Reading of Legal Notice:**
 - b. New Public Hearings:**
 - 1. **ZC 21-001** – Zone Boundary Change from R-30 to RA; Robert Perry, Location: 202 South Street, Three acres at the intersection of South Street and Fortin Drive (Map 40, Lot 13).
 - c. Continued Public Hearings: None.**
 - d. Other Unfinished Business:**
 - 1. **ZC 21-001** – Zone Boundary Change from R-30 to RA; Robert Perry, Location: 202 South Street, Three acres at the intersection of South Street and Fortin Drive (Map 40, Lot 13).
 - 2. **Discussion with Margaret Washburn**, ZEO/WEO/Blight.
 - 3. **SD 20-005 mod** – Proposal to modify conditions for 5-lot Subdivision on the south side of Beecher Road.
 - 4. **SD 21-001 mod** – Proposal to modify conditions for 4-lot Subdivision on the west side of Tripp Hollow Road.
 - 5. **SPG 20-001 mod** – Proposal to modify conditions for Gravel Special Permit on the east side of Allen Hill Road.
- VII. New Business:**
 - a. Applications:** None.
 - b. Other New Business:** None.
- VIII. Reports of Officers and Committees:**
 - a. Staff Reports
 - b. Budget Update
 - c. Correspondence.
 - d. Chairman’s Report
- IX. Public Commentary**
- X. Adjourn**

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN
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Wednesday, February 3, 2021
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MINUTES

NOTE: There were technical issues throughout this meeting which were expressed by all participants (mostly audio, but Jana Roberson experienced video problems as well and she was unable to display maps/documents). The Host, Michelle Sigfridson, was able to hear the participants clearly (most of the time). She reiterated, at times, so that all could have an understanding of what had been said.

I. Call to Order – Michelle Sigfridson, Chair, called the meeting to order at 6:40 p.m.

II. Roll Call – Carlene Kelleher, Austin Tanner, Earl Starks, Allen Fitzgerald, Charles Sczuroski, Michelle Sigfridson.

Staff Present: Jana Roberson, Director of Community Development.

Also Present: Paul Terwilliger, PC Survey Associates; Paul Archer, Archer Surveying; Robert Deluca, of CLA Engineers.

III. Seating of Alternates – None.

IV. Adoption of Minutes: Regular Meeting January 6, 2021

Motion was made by A. Tanner to approve the Minutes of the Regular Meeting of January 6, 2021.

Second by A. Fitzgerald. No discussion.

Roll Call Vote: C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Sczuroski – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

V. Public Commentary – None.

VI. Unfinished Business:

a. **Reading of Legal Notice:** None.

b. **New Public Hearings:** None.

c. **Continued Public Hearings:** None.

d. **Other Unfinished Business:**

1. **SD 20-002** - Proposed modification of open space dedication for 3-lot subdivision on Church Street.

Paul Terwilliger, PC Survey Associates, represented the Applicant and summarized:

- The Brooklyn Conservation Commission reviewed the modification of the original proposal for open space: To create two separate areas on the 16-acre lot instead of one long area that cuts all the way through the property (as originally proposed). This was discussed at the PZC meeting of January 6, 2021. The Conservation Commission recommends keeping with the original proposal or, as an alternative, fee-in-lieu of open space. Mr. Terwilliger stated that the Applicant does not object to fee-in-lieu of open space, but this would require them to get an appraisal. He asked if this would require that they come back before the PZC again, or if it could be handled at Staff level. He explained that there would be three lots, so one-third would be dedicated at the time of the conveyance of each of the lots. J. Roberson stated that it is not normal procedure to get an appraisal afterwards, but said that the Commission could probably proceed. She referred to the sample motion provided in the Staff Guidance Sheet (dated 2-3-21) for Commission Members to consider. There was discussion and Ms. Roberson explained that the appraised value/fee-in-lieu per lot is not needed to proceed.

Motion was made by A. Tanner to change the open space on the lots to fee-in-lieu to be determined and approved by Staff.

Ms. Roberson suggested using the sample motion provided in Staff Guidance as it contains accepted language.

There was no second to this motion.

No vote was taken.

Motion was made by A. Fitzgerald to modify the approval of SD 20-002 to include a fee-in-lieu of open space in accordance with the requirements of CT General Statutes 8-25 and Brooklyn Subdivision Regulation Sec. 8 instead of a conservation deed restriction. An open space lien may be placed on the building lots to ensure that the fee-in-lieu of open space is paid at the time of sale.

Second by E. Starks. No discussion.

Roll Call Vote: A. Tanner – abstained (he objects because the motion that he made was not being used); E. Starks – yes; A. Fitzgerald – yes; C. Sczuroski – yes; C. Kelleher – yes; M. Sigfridson – yes. Motion carried unanimously (5-0-1).

Ms. Sigfridson explained that motions do not have to be exactly as written by Staff, but, she said that in this case, she prefers that the language in the sample motion referencing the Statute/Ordinance be used since the value had not been set (which is what the Staff would need to follow to do that).

Ms. Sigfridson explained to Mr. Terwilliger that the fee-in-lieu has been approved, that the appraisal is needed, that he can work with Staff to get the lien in place, and that the Applicant does not need to come back before the PZC.

2. **SD 21-001** – 4-lot Subdivision, Applicant: Square One Building Associates; 23 acres on the west side of Tripp Hollow Road (Map 7, Lot 12-1) in the RA Zone; Proposed creation of 4 residential building lots.

Paul Archer, Archer Surveying, represented the Applicant and Robert Deluca from CLA Engineers was also present. Mr. Deluca summarized:

- They met with the Brooklyn Conservation Commission on Monday (Letter dated February 2, 2021, was included in packets to Commission Members. Ms. Sigfridson stated that the Conservation Commission recommends a permanent conservation easement covenant, as proposed by the plan (5.58 acres of open space adjacent from existing 9.19 acres). Ms. Sigfridson read aloud the restrictions listed in the letter which Mr. Deluca agreed are included on the plan.
Ms. Roberson explained and there was discussion regarding that the document referred to is a Conservation Restriction Covenant, not an easement as it does not grant public access. There was discussion regarding transfer of the development vs. transfer of land.
- Mr. Deluca stated that Syl Pauley's comments were addressed:
Ms. Sigfridson asked that Mr. Deluca address Mr. Pauley's comments that state that they have not been addressed.
Sheet 2 of 8 – Mr. Deluca stated that the two comments regarding wetland flags had been addressed. They added the flags and added a note had been added.
Sheet 4 and 5 of 8 – Mr. Deluca stated that they had addressed the two comments regarding silt fence.
Mr. Deluca explained that the comment regarding 25' feet from the centerline being deeded to the Town is not valid.

J. Roberson stated that Mr. Pauley's concerns had been adequately addressed. She stated that she had no further concerns.

C. Sczuroski asked about Mr. Pauley's Comment #8 on **Sheet 5 of 8**. Mr. Deluca stated that the construction detail is on the plan. Mr. Sczuroski stated that he was satisfied.

Ms. Sigfridson asked if the Commission Members had comments or concerns regarding what type of open space dedication the Commission will require. There was discussion. Mr. Archer stated that they would like to follow the same covenants to be consistent with the nine acres. Mr. Deluca stated that it is the same language as for the nine acres. A. Fitzgerald asked what page contains the drawing for the open space. Mr. Deluca stated that it was not in the packet. Ms. Sigfridson stated that page 38 of 50 shows it toward the back of Lot 12-1. Ms. Roberson stated that it is adjacent to the existing private open space. Mr. Fitzgerald stated that he could now see it.

There were no further comments from Commission Members. Ms. Roberson stated that it is pretty straightforward as long as the Commission is okay with the open space.

Motion was made by C. Kelleher to approve the Subdivision application of Square One Building Associates, identified in the files of the Brooklyn Land Use Office as SD 21-001, to create four residential lots and a shared driveway on 23 acres on the west side of Tripp Hollow Road, (Map 7, Lot 12-1) in the RA Zone in accordance with all final plans, documents and testimony submitted with the application and including the following conditions:

1. Prior to the endorsement by the Commission of the Final Subdivision Plan(s) for filing in the office of the Town Clerk:
 - a. The Health Department approval, the Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded subdivision plans. Draft final approved plans shall be submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by Commission Chairs, and shall be recorded in the office of the Town Clerk.
 - b. A Shared Driveway and Maintenance Agreement for the shared driveway in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
 - c. A Conservation Deed Restriction for the conservation area comprising 5.58 acres on Lot 12-1 in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
 - d. All boundary pins and monuments shall be set and field verified by the surveyor.
2. Prior to the issuance of a Zoning Permit on any lot:
 - a. The developer shall notify the Zoning Enforcement Office and Town Planner at least seven days in advance of any site work to schedule a pre-construction meeting.
 - b. Driveway permits must be obtained from the Road Foreman in accordance with the adopted policy concerning driveways.
 - c. The applicant and/or individual lot developers shall minimize impacts to natural features both on private lots and in the Town of Brooklyn r.o.w. to the greatest extent possible. This shall include but is not limited to the preservation of stonewalls, the protection of mature trees lining any public road, and the minimization of clearing and grading.
 - d. No stonewalls, mature trees, or ledge within the r.o.w. shall be removed or modified unless necessary for safety. The responsibility of clearing, grubbing, blasting, and earthmoving with the Town of Brooklyn r.o.w. shall be the responsibility of the individual lot developer.
 - e. Any cutting of trees greater than 30" d.b.h. for sightlines shall require prior approval by the Town of Brooklyn Tree Warden upon finding that the removal of trees is unavoidable to guarantee adequate driveway sightlines.
3. Stonewalls must be finished on the edges prior to the issuance of a Certificate of Zoning Compliance on any lot containing a stone wall.

Second by A. Fitzgerald.

Discussion:

Ms. Sigfridson commented that the motion does not mention much about the conditions of the Conservation Deed Restriction other than that it states "in a form acceptable to the Town Attorney." She asked if the conditions in the Conservation Commission's letter should be included. Ms. Roberson suggested the following language be added to the motion: The Deed Restriction for this open space should match the restriction on the adjacent open space.

C. Kelleher amended her motion to include additional language in Condition 1.c that the Deed Restriction for this open space should match the Restriction on the adjacent open space.

A. Fitzgerald seconded the amendment.

Roll Call Vote on the Amendment to the Motion: E. Starks – yes; A. Fitzgerald – yes; Charles Sczuroski – yes; C. Kelleher – yes; A. Tanner – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

Roll Call Vote on the Main Motion as Amended: A. Fitzgerald – yes; Charles Sczuroski – yes; C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; M. Sigfridson – yes. Main Motion as Amended carried unanimously (6-0-0).

VII. New Business:

a. Applications:

1. **ZC 21-001** – Zone Boundary Change from R-30 to RA; Robert Perry, Location: 202 South Street, Three acres at the intersection of South Street and Fortin Drive (Map 40, Lot 13)

M. Sigfridson stated that keeping horses is not permitted in the R-30 Zone.

Motion was made by A. Fitzgerald to schedule a public hearing for ZC 21-001 – A proposal to change the zoning designation for 202 South Street (Assessor’s Map 40, Lot 13) from R-30 to RA for the regular meeting of the Planning and Zoning Commission to be held on March 3, 2021 at 6:30 p.m. via virtual meeting.

Second by C. Kelleher. No discussion.

Roll Call Vote: Charles Sczuroski – yes; C. Kelleher – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

b. Other New Business: None.

VIII. Reports of Officers and Committees:

a. Staff Reports

ZEO, Margaret Washburn’s Report dated February 1, 2021, was included in packets to Commission Members.

J. Roberson stated that she will send her report to Commission Members via e-mail.

Ms. Roberson and Ms. Sigfridson plan to attend the Wesleyan “Land Use Law” virtual webinar on March 6, 2021.

b. Budget Update

J. Roberson is still working out the details.

c. Correspondence

J. Roberson will forward to Commission Members.

d. Chairman’s Report – None.

IX. Public Commentary – None.

X. Adjourn

The meeting adjourned at 7:48 p.m.

Respectfully submitted,

J.S. Perreault
Recording Secretary

PLANNING AND ZONING COMMISSION

RECEIVED

FEB 01 2020

REQUEST FOR CHANGE
IN
ZONING BOUNDARY

Date 1-25-2021

FEE \$ 250.00

State Fee \$ 60.00

Application # ZC 21-001

Check # 647

Public Hearing Date _____ Commission Action _____
Effective Date _____

Name of Applicant Robert H. Perry, Sr. Phone 860-234-7279

Mailing Address 253 Mashamoguet Rd. Pomfret Center, CT 06259

Applicants Interest in the Property Purchasing

Property Owner Estate of Bernard O. Bessette Phone _____

Mailing Address 202 South Street, Brooklyn, CT 06234

MAP <u>46</u>	LOT <u>13</u>	LOT SIZE <u>3 acres</u>
MAP _____	LOT _____	LOT SIZE _____
MAP _____	LOT _____	LOT SIZE _____

More lots , repeat above on separate sheet

ZONE: R10___ R30___ RA___ VCD___ NC___ RB___ PC___ I___

REQUEST CHANGE: FROM R30 TO RA

REQUEST CHANGE: FROM _____ TO _____

REQUEST CHANGE: FROM _____ TO _____

More changes , repeat above on separate sheet

REASON FOR REQUEST: It is our intent to maintain 2 family horses for the sole purpose of our own enjoyment and developing interest of our grandchildren.

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations



Fordin Dr

Erin Dr

© 2020 Google

Google

Imagery Date: 4/22/2018 41°47'16.49" N 71°53'58.88" W elev 0 ft

January 27th, 2021

+ 3 pgs. OF PICTURES

To whom it may concern,

Having had a close relationship with the property at 202 South Street, Brooklyn Connecticut, born and raised there, I have personal knowledge of a large variety of animals that have resided on that property through the years. Many of these animals were considered livestock, rather than pets, therefore not a lot of pictures were taken of them.

The animals that I can recall being there through the years are:

Chickens

Ducks

Peacocks

Cows

Rabbits

Guinea fowl

Pheasants

Pigs

Sheep

Goats

Ponies

Horses, miniature and full size

Donkeys

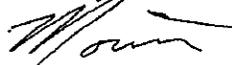
There may be other animal varieties which I forgot to mention or can't recall at this point.

Through the years many animals were born right there on the farm.

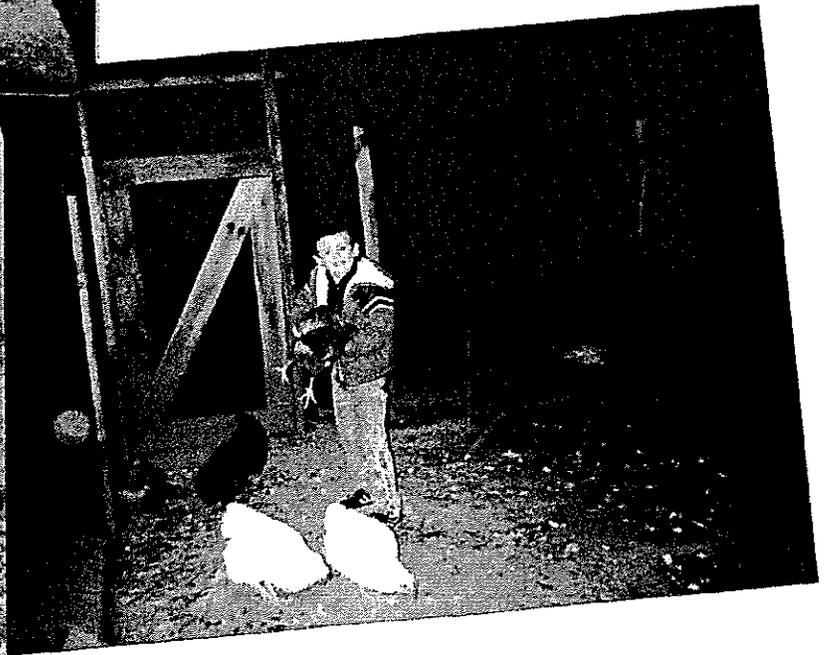
Also, if you reference the Deeds to the property, the first one dated June 14th 1951, it charges the owners and heirs Etc to build and maintain a division fence along one side of the property sufficient to stop livestock between my parents property and the neighbor's property. The second deed dated January 22nd 1953 also references offense line on the property.

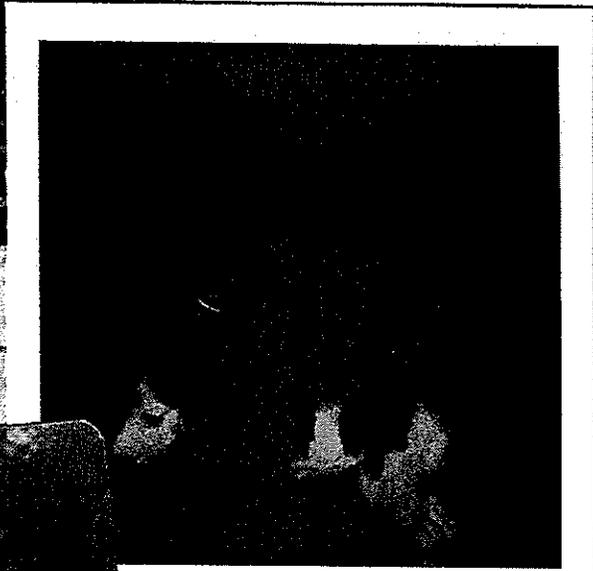
Please feel free to contact me if needed, for any reason.

Sincerely,



Bonnie M Morin

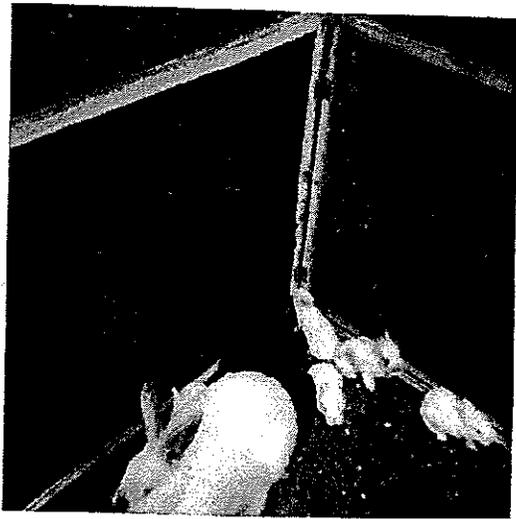




JUN 76



JUNE 76



Jana Roberson

From: PAUL ARCHER <paul@archersurveying.com>
Sent: Wednesday, February 10, 2021 9:57 AM
To: Jana Roberson
Subject: VBL / Square 1 Building - Subdivisions

Follow Up Flag: Follow up
Flag Status: Flagged

Jana,

At this time due to the weather, we are unable to set the property corners of the above mentioned projects. As per the condition of the approvals all pins and monuments were required to be set before the filing of the mylars. We are asking for your leniency in this process to allow us to file the mylars prior to the pins being set due to the existing weather conditions. We have no problem with CO's not being issued until all monumentation is set. The reason for this request is to expedite the CL&P Easements and transfer of lots but neither of these can happen until mylars are on file.

If you have any questions or concerns please feel free to contact me.

Paul Archer, PLS

18 Providence Road

Brooklyn, CT 06234

(860) 779-2240



PLANNING AND ZONING COMMISSION

TOWN OF BROOKLYN

P.O. BOX 356
CONNECTICUT 06234

9489 0090 0027 6215 8998 79

December 28, 2020

CERTIFIED#

VBL Properties, LLC
8 Finn Lane
Plainfield, CT 06374

RE: Notice of Decision on SD 20-005 – 5-Lot Subdivision, Applicant VBL Properties, LLC; 14 acres on the south side of Beecher Road (Map 22, Lot 38) in the RA Zone; Proposed creation of 5 residential building lots and an open space easement.

Dear VBL Properties, LLC:

At the December 15, 2020 meeting of the Planning and Zoning Commission, your application SD 20-005 – 5-Lot Subdivision; 14 acres on the south side of Beecher Road (Map 22, Lot 38) in the RA Zone; Proposed creation of 5 residential building lots and an open space easement was approved with the following conditions:

1. Prior to the endorsement by the Commission of the Final Subdivision Plan(s) for filing in the office of the Town Clerk:
 - a. The Northeast District Health Department approval, Inland Wetlands and Watercourses Commission approval with conditions, and the Planning and Zoning Commission approval with conditions must be included on the final recorded subdivision plans. Draft final approved plans shall be submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals and signed by Commission Chairs shall be recorded in the office of the Town Clerk.
 - b. All land within the subdivision that is within 25' of the centerline of roads abutting the property shall be conveyed to the Town of Brooklyn in a form acceptable to the Town Attorney in accordance with the Public Improvement Specifications and Section 10.6 of the Subdivision Regulations.
 - c. A 3.25-acre Conservation Easement to include the right of perpetual public access to Blackwell Brook (a wild trout stream), its associated wetlands, and adjacent Town-owned land (including hiking trails) shall be conveyed to the Town of Brooklyn in a form

- acceptable to the Town Attorney and in accordance with the requirements of CT General Statutes 8-25 and Brooklyn Subdivision Regulation Sec. 8. The easement boundary shall be lineated in the field by markers on trees, fences, or posts at least every 100'. Markers will be provided by the Town of Brooklyn. Additionally, the Town of Brooklyn reserves the right to install appropriate signage for fishing access on both sides of the brook.
- d. All boundary pins and monuments shall be set and field verified by the surveyor.
2. Prior to the issuance of a Zoning Permit on any lot:
 - a. The developer shall notify the Zoning Enforcement Office and Town Planner at least seven days in advance of any site work to schedule a pre-construction meeting.
 - b. Driveway permits must be obtained from the Road Foreman in accordance with the adopted policy concerning driveways.
 - c. The applicant and/or individual lot developers shall minimize impacts to natural features both on private lots and in the Town of Brooklyn r.o.w. to the greatest extent possible. This shall include but is not limited to the preservation of stonewalls, the protection of mature trees lining any public road, and the minimization of clearing and grading.
 - d. No stonewalls, mature trees, or ledge within the r.o.w. shall be removed or modified unless necessary for safety. The responsibility of clearing, grubbing, blasting, and earthmoving within the Town of Brooklyn r.o.w. shall be the responsibility of the individual lot developer.
 - e. Any cutting of trees greater than 30" d.b.h. for sightlines shall require prior approval by the Town of Brooklyn Tree Warden upon finding that the removal of trees is unavoidable to guarantee adequate driveway sightlines.
 3. Prior to the issuance of a Certificate of Zoning Compliance on any lot, stonewalls must be finished at any necessary openings for driveways.

A legal notice of this approval was posted on the Town of Brooklyn's website on December 28, 2020. Please note that this action of the Planning and Zoning Commission may be appealed for a fifteen-day period following the publication of the legal notice.

In accordance with CGS 8-25, you must record the approved subdivision plans in the office of the Brooklyn Town Clerk not later than 90 days from the expiration of the appeals date, except as modified by executive order. In the case of an appeal, the plans must be filed not later than 90 days from judgment, withdrawal, or dismissal of the appeal, except as modified by executive order. Recording fees apply. The approval will not be in effect until the plans are recorded with the Town Clerk.

In accordance with CGS 8-26c, all work in connection with this subdivision shall be completed within 5 years after the approval of the plan for such subdivision. The 5-year period will expire on December 15, 2025.

If you have any further questions, please contact me at 860-779-3411 Ext. 14.

Signed,



Jana Roberson, AICP
Dir. of Comm. Development/
Town Planner

JR/acl

CC: File, Archer Surveying

Appendix:

- Application form SD 20-005
- Plan set titled "Proposed 5 lot Subdivision prepared for VBL Properties, LLC, Beecher Road, Brooklyn, CT", 9 sheets, dated June 4, 2020, received 11/23/20.
- Cover letter from Bob DeLuca, P.E. to Jana Roberson dated 11/18/20
- Approval letter from NDDH, dated 7/23/20
- Field Card for Map 22, Lot 38
- Soils Scientists Report to IWWC, dated July 8, 2020
- Phase 1B Cultural Resources Reconnaissance Survey of the Proposed Beecher Rpad Subdivision Project in Brooklyn, CT, dated August 2020
- Approval letter from IWWC, dated 11/5/2020
- Photograph of public notice sign, dated 12/1/2020
- Engineering review letter from Syl Pauly, P.E., revision date 12/2/2020
- Review letter from Conservation Commission, dated 12/8/20
- Seven (7) photos of site and two (2) aerial photographs
- Letter from Bob DeLuca to Jana Roberson, dated 12/15/20, including revised plan sheets 4-7 of 9, revised 12/15/20.

PLANNING AND ZONING COMMISSION

TOWN OF BROOKLYN

P.O. BOX 356
CONNECTICUT 06234

February 16, 2021

9489 0090 0027 6215 8996 95

CERTIFIED #

Square 1 Building Associates, LLC
101 Mackin Drive
Griswold, CT 06351

RE: Notice of Decision - **SD 21-001** – 4-lot Subdivision, Applicant: Square 1 Building Associates, LLC; 23 acres on the west side of Tripp Hollow Road (Map 7, Lot 12-1) in the RA Zone; Proposed creation of 4 residential building lots and a common driveway.

At their February 3, 2021 meeting, the Brooklyn Planning and Zoning Commission approved your application - SD 21-001 – 4-lot Subdivision, Applicant: Square 1 Building Associates, LLC; 23 acres on the west side of Tripp Hollow Road (Map 7, Lot 12-1) in the RA Zone; Proposed creation of 4 residential building lots and a common driveway was approved with the following conditions:

1. Prior to the endorsement by the Commission of the Final Subdivision Plan(s) for filing in the office of the Town Clerk that the Deed Restriction for this open space should match the Restriction on the adjacent open space.
 - a. The Health Department approval, the Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded subdivision plans. Draft final approved plans shall be submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by Commission Chairs, and shall be recorded in the office of the Town Clerk.
 - b. A Shared Driveway and Maintenance Agreement for the shared driveway in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
 - c. A Conservation Deed Restriction for the conservation area comprising 5.58 acres on Lot 12-1 in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
 - d. All boundary pins and monuments shall be set and field verified by the surveyor.

2. Prior to the issuance of a Zoning Permit on any lot:

- a. The developer shall notify the Zoning Enforcement Office and Town Planner at least seven days in advance of any site work to schedule a pre-construction meeting.
- b. Driveway permits must be obtained from the Road Foreman in accordance with the adopted policy concerning driveways.
- c. The applicant and/or individual lot developers shall minimize impacts to natural features both on private lots and in the Town of Brooklyn r.o.w. to the greatest extent possible. This shall include but is not limited to the preservation of stonewalls, the protection of mature trees lining any public road, and the minimization of clearing and grading.
- d. No stonewalls, mature trees, or ledge within the r.o.w. shall be removed or modified unless necessary for safety. The responsibility of clearing, grubbing, blasting, and earthmoving within the Town of Brooklyn r.o.w. shall be the responsibility of the individual lot developer.
- e. Any cutting of trees greater than 30" d.b.h. for sightlines shall require prior approval by the Town of Brooklyn Tree Warden upon finding that the removal of trees is unavoidable to guarantee adequate driveway sightlines.

3. Stonewalls must be finished on the edges prior to the issuance of a Certificate of Zoning Compliance on any lot containing a stone wall.

A legal notice of this subdivision approval was published on February 16, 2021 on www.brooklynct.org/planning-zoning-commission/minutes. Please note that this action of the Planning and Zoning Commission may be appealed for a fifteen-day period following the publication of the legal notice.

In accordance with CGS 8-25, you must record the approved subdivision plans in the office of the Brooklyn Town Clerk not later than 90 days from the expiration of the appeals date, except as modified by executive order. In the case of an appeal, the plans must be filed not later than 90 days from judgment, withdrawal, or dismissal of the appeal, except as modified by executive order. Recording fees apply. The approval will not be in effect until the plans are recorded with the Town Clerk.

In accordance with CGS8-26c, all work in connection with this subdivision shall be completed within 5 years after the approval of the plan for such subdivision. The 5-year period will expire on February 3, 2026.

If you have any further questions, please contact me at 860-779-3411 Ext. 14.

Signed,



Jana Roberson, AICP
Dir. of Comm. Development/
Town Planner

JR/acl

CC: File, CLA Engineers, Archer Surveying

Appendix:

- Application SD 21-001
- Drainage Narrative prepared by Bob Deluca
- Letter from NDDH dated 10-27-2020
- Wetlands investigation prepared by Robert Russo
- Inland Wetlands approval dated 12-9-2020
- Regional Engineer review, dated 9-5-2020, last revised 1-8-2021
- Plan Set, 8 pages, dated 9-1-2020, last revised 1-27-2021
- Revised cover letter outlining corrections, dated 1-28-2021
- Conservation Commission letter, dated 2-2-2021

PLANNING AND ZONING COMMISSION

TOWN OF BROOKLYN

P.O. BOX 356
CONNECTICUT 06234

9489 0090 0027 6215 8999 61

September 28, 2020

CERTIFIED#

Paul R. Lehto
40 Almada Drive
Brooklyn, CT 06234

RE: Notice of Decision – SPG 20-001 Special Permit for Sand and Gravel – Paul Lehto, end of River Walk Drive (Assessor’s Map 32, Lot 148) – 71.34 acres, Proposed removal of 90,000 cubic yards of gravel over 6.7 acres.

Dear Mr. Lehto:

On September 15, 2020, the Brooklyn Planning and Zoning Commission approved your Gravel Special Permit application limited to 6.7 acres within the 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148), identified in the files of the Brooklyn Land Use Office as SPG 20-001. This Gravel Special Permit is to excavate and remove up to 90,000 cubic yards of sand and gravel from the 6.7 acre site, with the finding that the standards of Section 6.O - Excavation Operations and Section 9.D -Special Permit Applications are satisfied in accordance with all final documents and testimony submitted with the application and subject to and including the following conditions:

1. The Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be printed on paper and submitted to Town Staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by Commission Chairs, shall be recorded along with the Special Permit in the office of the Town Clerk.
2. Prior to the commencement of any activity undertaken in accordance with this approval, a performance bond in favor of the Town of Brooklyn in the amount of \$115,000 will be submitted to the Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by Town Staff. The bond shall include: \$67,000 to restore the 6.7 acre excavation area, \$10,000 to repair erosion on the gravel access road as directed by the Town’s consulting engineer, and \$38,000 to repave Riverwalk Drive with a 2” overlay as directed by the Town’s consulting engineer. Once the repair work on the gravel access road and Riverwalk Drive is completed to the reasonable satisfaction of the Town’s consulting engineer, the portion of the bond attributed to that particular activity can be released. The Town shall document the condition of Riverwalk Drive and the gravel access road prior to the commencement of work on the site. No activity shall occur

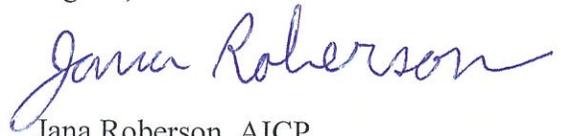
- on the site until the bond has been provided in final form to the Town and approved. Except as otherwise provided, the bond shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless this requirement is subsequently modified by the Planning and Zoning Commission.
3. Prior to the commencement of any activity undertaken in accordance with this approval, the limit of disturbance shall be flagged in the field by a licensed land surveyor and such flags shall be posted high above grade on trees or on construction fence so as not to be disturbed by clearing or excavation activities. The limits of disturbance markings shall remain in place for the duration of the excavation activity and shall be replaced if disturbed. Additionally, property lines within 300' of the area of disturbance shall be flagged. All flagging as required by this approval shall be checked no less frequently than quarterly by the operator to ensure they are in place and shall be restored if disturbed or removed.
 4. Prior to the commencement of any activity undertaken in accordance with this approval, erosion and sedimentation control measures as shown on the approved plans shall be installed to the satisfaction of the Land Use Office. The Land Use Office shall have the authority to direct that additional erosion and sedimentation control measures be installed if deemed necessary to maintain adequate protection from erosion and sedimentation.
 5. Excavation activity and the volume of material to be excavated shall be as shown on the plans titled "Proposed Gravel Excavation Allen Hill Road Brooklyn, Connecticut" prepared by Provost & Rovero dated June 2, 2020, and as further revised by these conditions. The excavation area is limited to 6.7 acres and the volume of material is not to exceed a total of 90,000 cubic yards. No on-site processing of excavated material is permitted and no earth material shall be imported to the site except as is required for restoration of the site in accordance with Condition 7 below.
 6. Restoration shall commence upon completion of each phase of excavation as provided in the Zoning Regulations and as noted in the Restoration Notes on page 5 of the approved plans.
 7. Any fill that is imported to the site for the purpose of backfilling the excavation area shall be "clean" as defined by the CT DEEP Regulations of State Agencies Sec. 22a-209-1. Prior to the acceptance of any imported fill to be used to restore the site, the source of the imported fill and the proper certification as to the condition of the fill shall be provided in writing to the Town. No imported fill may enter the site unless proper documentation is provided in advance to the Land Use Office.
 8. Dust shall be controlled throughout the year using water or calcium chloride treatment on surfaces as appropriate for conditions. All trucks exiting or entering the site must have their tarp covers closed. Sweeping of the entrance area shall occur regularly and as needed. The Land Use Office shall have the authority to direct that additional dust control measures be installed and employed if deemed necessary to maintain adequate protection from ambient dust within or beyond the site.
 9. Written reports of the volume of excavated materials shall be submitted by the permittee to the Brooklyn Zoning Enforcement Officer quarterly in March, June, September, and December.
 10. The permit renewal date is September 15, 2022. The renewal procedure shall be as specified in Section 6.O.7 of the Brooklyn Zoning Regulations (effective 10-15-2019).

A legal notice of this approval has been published on September 22, 2020 on www.brooklynct.org/planning-zoning-commission/minutes. Please note that any approval of the Brooklyn Planning and Zoning Commission may be appealed for a fifteen-day period following the publication of the legal notice.

Enclosed is a copy of the record of special permit. It is your duty to file the record of special permit with the Brooklyn Town Clerk. The special permit is not valid until it is filed.

If you have any questions, please call Jana Roberson, in the Land Use Department at 860-779-3411 Extension 14.

Signed,



Jana Roberson, AICP
Dir. Of Community Development/
Town Planner

JR/acl

CC: File, Provost and Rovero, Inc.

Appendix:

- Application SPG 20-001
- Site Plans titled “Proposed Gravel Excavation Easterly of Allen Hill Road, Brooklyn, CT, owner/applicant Paul R. Lehto”, prepared by Provost & Rovero, Inc., dated 6/2/20, Sheets 1-7
- IWWC Approval Letter dated 7/30/20
- Letter dated 7/14/20 Syl Pauley, PE, NECCOG
- Email dated 8/4/20 from Syl Pauley to Jana Roberson
- Letter dated 8/10/20 Provost & Rovero, Inc.
- Email dated 8/20/20 from David Held to
- Letter dated 8/31/20 Provost & Rovero, Inc.

**Town of Brooklyn
Record of Special Permit**

In accordance with Section 8-3d of the Connecticut General Statutes, a record of Special Permit shall be filed in the Office of the Town Clerk of Brooklyn before the Special Permit shall be considered valid. It shall be filed under the name of the record owner, who shall be responsible for all fees.

Name of Record Owner(s): Paul R. Lehto

Address: 40 Almada Drive Brooklyn, CT 06234

Property Location: 71.34 acres on east side of Allen Hill Road

Assessors Map-Lot Number: Map 32, Lot 148 Zone: RA

Application Identification Number: SPG 20-001

Activity: Excavation and removal of up to 90,000 cubic yards of sand and gravel from a 6.7 acre site.

Section(s) of Regulations under which the Special Permit was Granted:

Section 6.O - Excavation Operations and Section 9.D -Special Permit Applications

Conditions of Special Permit:

1. The Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be printed on paper and submitted to Town Staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by Commission Chairs, shall be recorded along with the Special Permit in the office of the Town Clerk.
2. Prior to the commencement of any activity undertaken in accordance with this approval, a performance bond in favor of the Town of Brooklyn in the amount of \$115,000 will be submitted to the Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by Town Staff. The bond shall include: \$67,000 to restore the 6.7 acre excavation area, \$10,000 to repair erosion on the gravel access road as directed by the Town's consulting engineer, and \$38,000 to repave Riverwalk Drive with a 2" overlay as directed by the Town's consulting engineer. Once the repair work on the gravel access road and Riverwalk Drive is completed to the reasonable satisfaction of the Town's consulting engineer, the portion of the bond attributed to that particular activity can be released. The Town shall document the condition of Riverwalk Drive and the gravel access road prior to the commencement of work on the site. No activity shall occur on the site until the

bond has been provided in final form to the Town and approved. Except as otherwise provided, the bond shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless this requirement is subsequently modified by the Planning and Zoning Commission.

3. Prior to the commencement of any activity undertaken in accordance with this approval, the limit of disturbance shall be flagged in the field by a licensed land surveyor and such flags shall be posted high above grade on trees or on construction fence so as not to be disturbed by clearing or excavation activities. The limits of disturbance markings shall remain in place for the duration of the excavation activity and shall be replaced if disturbed. Additionally, property lines within 300' of the area of disturbance shall be flagged. All flagging as required by this approval shall be checked no less frequently than quarterly by the operator to ensure they are in place and shall be restored if disturbed or removed.
4. Prior to the commencement of any activity undertaken in accordance with this approval, erosion and sedimentation control measures as shown on the approved plans shall be installed to the satisfaction of the Land Use Office. The Land Use Office shall have the authority to direct that additional erosion and sedimentation control measures be installed if deemed necessary to maintain adequate protection from erosion and sedimentation.
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9. Written reports of the volume of excavated materials shall be submitted by the permittee to the Brooklyn Zoning Enforcement Officer quarterly in March, June, September, and December.

10. The permit renewal date is September 15, 2022. The renewal procedure shall be as specified in Section 6.O.7 of the Brooklyn Zoning Regulations (effective 10-15-2019).

Reason for Granting the Special Permit: In conformance with the Zoning Regulations as modified by the Planning and Zoning Commission.

Date of Issuance of Special Permit by the P & Z Commission: September 15, 2020

I certify that the above is a true record of the Special Permit granted for the subject property by the Brooklyn Planning and Zoning Commission.

Jana Roberson
Town Planner

9/28/2020
Date

PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

OWNER/APPLICANT:

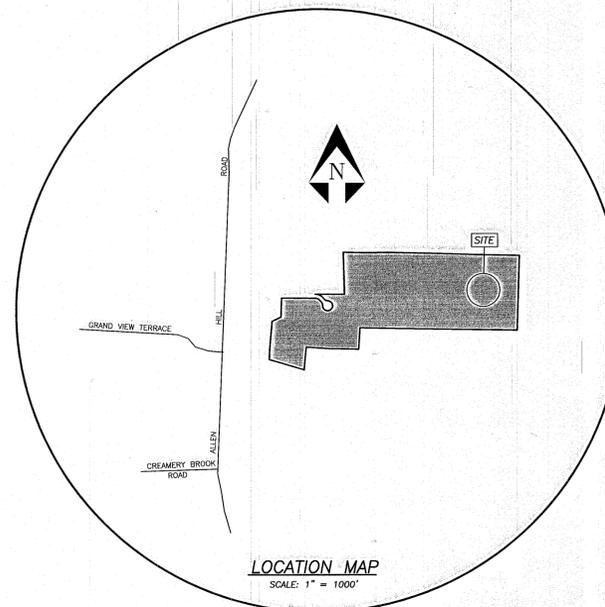
PAUL R. LEHTO

INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 9
EXISTING CONDITIONS PLAN	2 OF 9
OVERALL SITE PLAN	3 OF 9
PROPOSED EXCAVATION PLAN	4 OF 9
DETAIL SHEET	5 OF 9
SITE REUSE PLAN	6 OF 9
SITE RADIUS PLAN	7 OF 9
PLANNING & ZONING APPROVAL LETTER	8 OF 9
INLAND WETLANDS APPROVAL LETTER	9 OF 9

LEGEND

	TEST PIT
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED CLEARING LIMITS
	PROPOSED SILT FENCE
	LIMIT OF WETLANDS



PREPARED BY:

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

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Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION
10/19/2020	ADD APPROVAL LETTERS

JUNE 2, 2020

APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

[Signature] 11/23/2020
CHAIRMAN EXPIRES 9/15/2025

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

[Signature] 11/24/20
CHAIRMAN EXPIRES 9/15/2025

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR
TO BE SUBSTANTIALLY CORRECT.

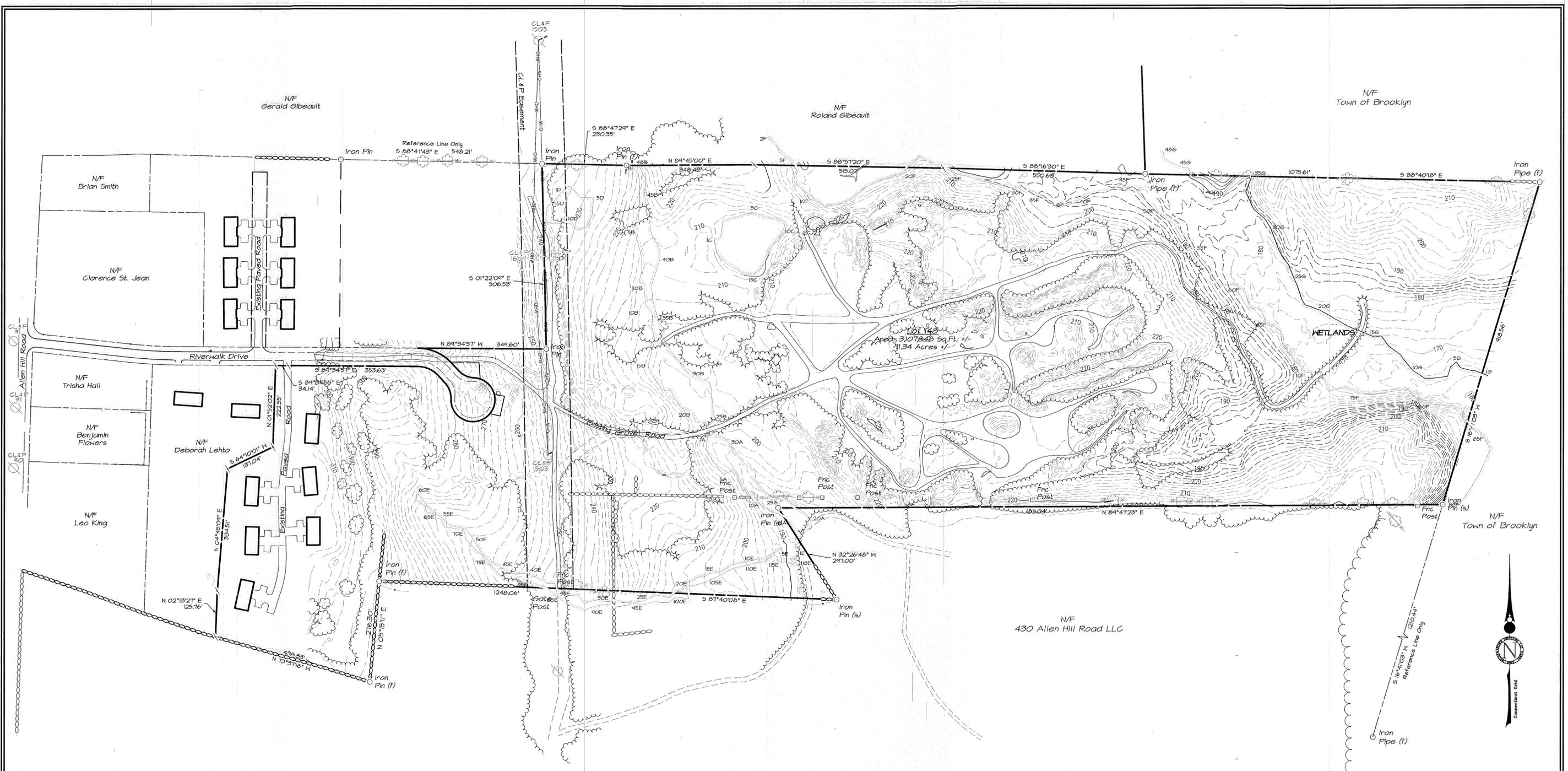
[Signature] 11/12/20
Certified Soil Scientist Date

THIS MAP PRODUCED BY
ORIGINAL INK ON MYLAR
PREPARED BY:
PROVOST & ROVERO, INC.



[Signature] 11/11/20
ENGINEER DATE

SHEET 1 OF 9
JOB NO: 173055
DWG NO: HP 310



LEGEND

	PROPERTY LINE
	REFERENCE LINE
	EASEMENT
	BOUNDARY STONEWALL
	EXISTING TREELINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED CONTOUR
	WETLAND LIMITS
	IRON PIN FOUND
	DRILL HOLE FOUND
	UTILITY POLE
	FENCE POST

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1946
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - This Survey conforms to a Class "T-3" Vertical Accuracy
- Survey Type: Perimeter Survey
Boundary Determination: Resurvey
Intent: Depict Existing Conditions with Respect to Property Lines
- Parcels shown as 148 on Assessors Tax Map 32 of the Brooklyn Assessors Office
- Property is owned by: Paul Lehto
- Wetlands were delineated in the field by Joseph Theroux, Sept. 2016 and field located by Archer Surveying LLC
- Riverwalk Drive is not a Town Road
- Topographical information obtained through aerial photography by WSP Group

THIS MAP PRODUCED BY ORIGINAL INK ON MYLAR
PREPARED BY PROVOST & ROVERO, INC.

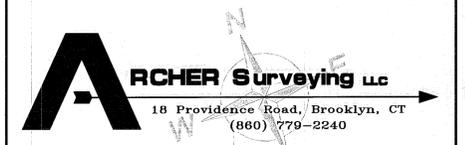
To My Knowledge and Belief this map is substantially correct as noted hereon

 Paul M. Archer, L.L.S. #7013 Date

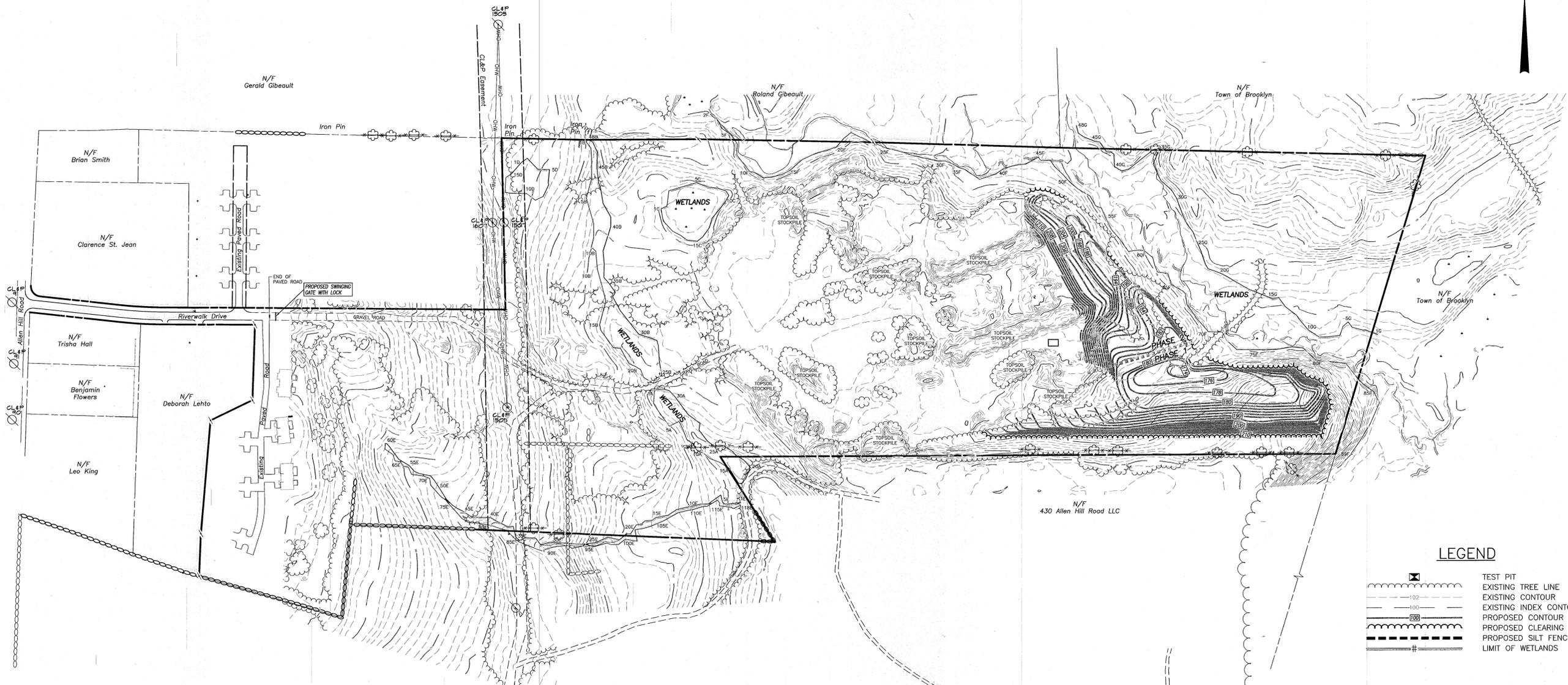
No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Existing Condition Plan
 Prepared For:
Paul Lehto
 Allen Hill Road
 Brooklyn, Connecticut

DRAWING SCALE: 1"=125'



Sheet No.	2 OF 7	Project No.	1366	Date:	Revised: January 2017 May 8, 2018
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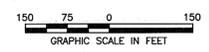


LEGEND

- TEST PIT
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- LIMIT OF WETLANDS

- NOTES:**
- The total proposed area of excavation is 6.7 acres.
 - The estimated quantity of material to be exported from the site is 90,000 CY. The grading shown hereon is intended to show the material to be removed from the site. Final grades may vary from those shown hereon based on the material encountered and the use of any imported soil which may be used to create final grades.
 - The contractor/owner shall monitor excavation progress to ensure the suitability of the remaining material for final reuse/development of the site. Additional test pits may be required during excavation progress to ensure that suitable natural material is left in place to provide separation to groundwater and/or ledge.
 - Excavation shall be completed in accordance with all applicable MSHA rules, regulations and requirements.
 - Excavation shall begin at the northerly end of phase 1 utilizing a down cutting technique to ensure that the disturbed site area retains all runoff from the disturbed area (bowl effect). Perimeter silt fence and/or staked hay bales shall be installed as shown prior to grubbing and stripping topsoil.
 - Stumps shall not be buried. They shall be either chipped or removed from the site.
 - All topsoil and subsoil stripped from the excavation area shall be retained on site in the designated stockpile area for use in final site restoration. Topsoil and subsoil shall be stripped and stockpiled separately.

THIS MAP PRODUCED BY ORIGINAL LINK ON MYLAR
 PREPARED BY:
 PROVOST & ROVERO, INC.



REVISIONS	
DATE	DESCRIPTION
10/19/2020	ADD APPROVAL LETTERS

DATE: 6/2/2020	DRAWN: DJH
SCALE: 1" = 150'	DESIGN: DJH
SHEET: 3 OF 9	CHK BY: ---
DWG. No: HF 310	JOB No: 173055

OVERALL SITE PLAN
 PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
 EASTERLY OF ALLEN HILL ROAD
 BROOKLYN, CONNECTICUT

APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

 CHAIRMAN
 11/23/20
 DATE

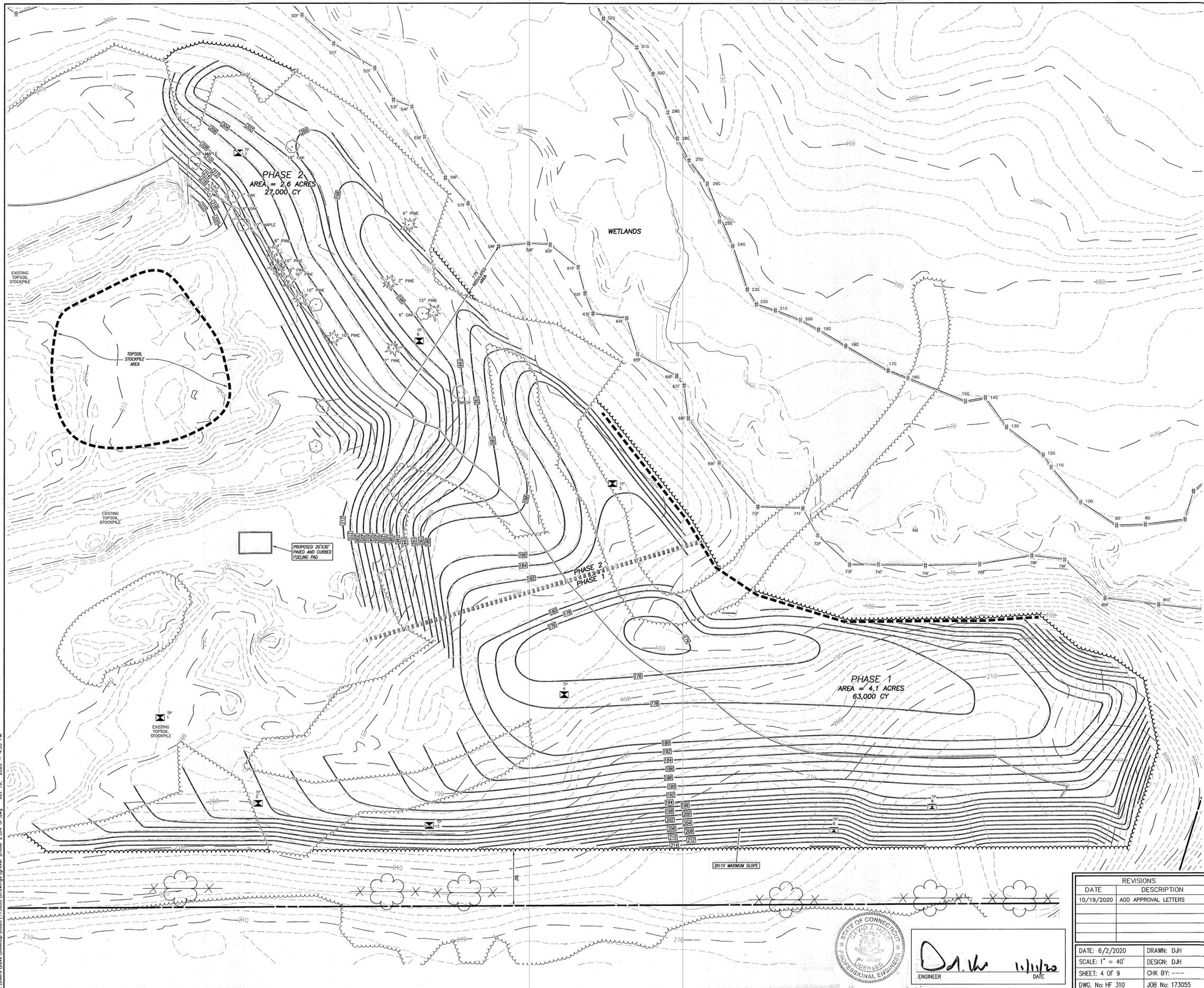
APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

 CHAIRMAN
 11/24/20
 DATE



ENGINEER
 11/11/20
 DATE

Provost & Rovero, Inc.
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 57 East Main Street, P.O. Box 191
 Plainfield, Connecticut 06374
 (860) 230-0856 - FAX: (860) 230-0860
 info@prorovinc.com
 www.prorovinc.com



N

THIS MAP PRODUCED BY
ORIGINAL INK ON MYLAR
PREPARED BY
PROVOST & ROVERO, INC.

40 20 0 40
GRAPHIC SCALE IN FEET

APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

[Signature] 11/25/2020
CHAIRMAN DATE

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

[Signature] 12/7/20
CHAIRMAN DATE

LEGEND

	TEST PIT
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED CLEARING LIMITS
	PROPOSED SILT FENCE
	LIMIT OF WETLANDS

- NOTES:**
- The total proposed area of excavation is 6.7 acres.
 - The estimated quantity of material to be exported from the site is 90,000 CY. The grading shown hereon is intended to show the material to be removed from the site. Final grades may vary from those shown hereon based on the material encountered and the use of any imported soil which may be used to create final grades.
 - The contractor/owner shall monitor excavation progress to ensure the suitability of the remaining material for final reuse/development of the site. Additional test pits may be required during excavation progress to ensure that suitable natural material is left in place to provide separation to groundwater and/or ledge.
 - Excavation shall be completed in accordance with all applicable MSHA rules, regulations and requirements.
 - Excavation shall begin at the northerly end of phase 1 utilizing a down cutting technique to ensure that the disturbed site area retains all runoff from the disturbed area (bowl effect). Perimeter silt fence and/or staked hay bales shall be installed as shown prior to grubbing and stripping topsoil.
 - Stumps shall not be buried. They shall be either chipped or removed from the site.
 - All topsoil and subsoil stripped from the excavation area shall be retained on site in the designated stockpile area for use in final site restoration. Topsoil and subsoil shall be stripped and stockpiled separately.

PROPOSED EXCAVATION PLAN
PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

REVISIONS	
DATE	DESCRIPTION
10/19/2020	ADD APPROVAL LETTERS



[Signature] 11/11/20
ENGINEER DATE

Provost & Rovero, Inc.
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Structural • Mechanical • Architectural Engineering

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info@provovinc.com
www.provovinc.com

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EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the Inland Wetlands Commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Gross species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cut/packer type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent

phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

- Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.
- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

EXCAVATION NOTES:

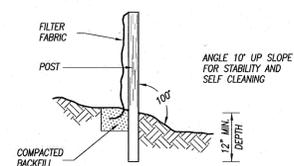
1. No blasting is anticipated for completion of the work shown. If blasting is required, the owner is responsible for obtaining all necessary permits.
2. There are no anticipated sales of excavated materials to the public from the subject site.
3. Bulk storage of fuel and lubricants for excavation equipment is not allowed on site. All fueling and lubrication of equipment shall be completed on the fueling pad. Fuel trucks shall be equipped with a spill kit and any spills shall be cleaned immediately. No equipment service work which is likely to result in the release of fuel or lubricants shall take place on site.
4. The emergency contact for operations at this site is Paul Lehto (860) 208-9789.
5. The allowable hours of operation for excavation shall be 7:00 AM to 6:00 PM, Monday through Friday and 7:00 AM to 12:00 noon on Saturday. No operations shall be allowed on Sundays, Christmas, New Years Day, Memorial Day, Fourth of July, Labor Day and Thanksgiving except by special permission of the Brooklyn Planning & Zoning Commission.
6. The owner and/or site operator shall provide adequate dust control to prevent any off-site nuisance. The preferred dust control measure is the application of water to vehicular travel areas. The application of calcium chloride may also be used.
7. The owner/operator shall install any necessary barricades or barriers to provide protection around the perimeter of open excavation faces and steep slopes.
8. Excavation operations shall be completed in accordance with all appropriate Mine Safety & Health Administration (MSHA) rules and regulations.
9. There is to be no on-site processing of excavated materials.
10. The estimated total number of truck trip ends entering or exiting the site is 11,200 during the excavation duration. The estimated daily average number of truck trip ends entering or exiting the site is 60 during the excavation duration. The estimated maximum number of daily truck trip ends entering or exiting the site is 80.
11. The site operator is responsible for determining the most appropriate means and methods for excavating material. In general, excavation shall begin with stripping and stockpiling of topsoil and subsoil which will be utilized for site restoration. Topsoil (A horizon) and subsoil (B horizon) shall be stockpiled separately. Removal of material should be accomplished with a downcutting technique to ensure complete internal drainage at all times.
12. All trucks leaving the site shall have the loads covered.
13. Prior to the start of excavation work, two elevation bench marks shall be installed on the perimeter of the work area for monitoring purposes. Benchmarks shall be maintained or replaced as necessary as the work progresses.
14. It is anticipated that all excavation work will be completed with the use of one (1) wheel loader (Cat 980 or equivalent), one (1) 50 ton excavator (Cat 349 or equivalent), and trailer dump trucks (16+ CY capacity). Additional equipment may be utilized for final site restoration.

RESTORATION NOTES:

- The restoration requirements described below will be applicable to the 6.7 acre permitted area.
- 1. Restoration of disturbed areas shall take place following the completion of excavation in the respective phase. The respective phase shall have subsoil and topsoil spread and be seeded and mulched no later than the end of the growing season for the calendar year following completion of excavation operations. Mulching and seeding shall be completed in accordance with the recommendations of the New York State Revegetation Procedures Manual for Surface Mining Reclamation. Sufficient restoration bonding should be maintained as required by the Town to cover the restoration cost for the permitted excavation area. The sediment/infiltration basin in the lowest part of the site shall not be restored with topsoil and vegetation until the completion of excavation in phase 2.
- 2. Final restoration shall begin with establishing the required subgrade elevations. Proposed grades shown are approximate and may be adjusted to match field conditions at the time of restoration. In general, all disturbed slopes shall be graded to a 30% maximum gradient.

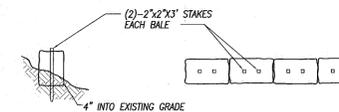
3. Prepare the restoration area by spreading subsoil (B horizon) material to a uniform depth.
4. Complete restoration by spreading on-site stockpiled topsoil (A horizon) to an approximate minimum thickness of 6" and seeding for a permanent vegetative cover. On-site topsoil stockpiles may be supplemented with composted organic matter, wood chips and imported topsoil as necessary to provide a suitable planting medium.
5. Spread seed for a permanent vegetative cover over the prepared restoration area. The permanent vegetative cover may be a suitable wildlife habitat mix or the following mixture which is suitable for use in all locations:

Variety	Lbs./Acre
Switchgrass (Blackwell, Shelter, Cave-in-rock)	4.0
Big Bluestem (Niagra, Kaw)	4.0
Little Bluestem (Blaze, Aldous, Camper)	2.0
Sand Lovegrass (NE-27, Bend)	1.5
Bird's-foot Trefoil (Empire, Viking)	2.0
TOTAL	13.5



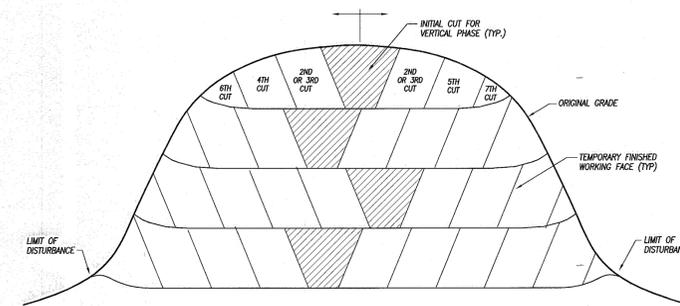
SILT FENCE

NOT TO SCALE



HAYBALE BARRIER

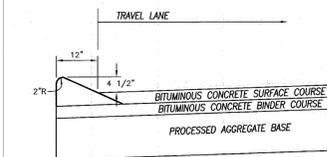
NOT TO SCALE



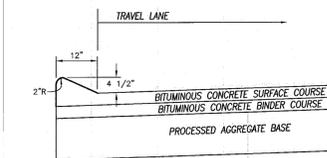
DETAIL SHOWING "DOWNCUTTING" EXCAVATION METHOD

NOT TO SCALE

EXCAVATION PROGRESSES IN BOTH DIRECTIONS FOR ENTIRE LENGTH OF EACH VERTICAL PHASE, STARTING AT BOTTOM OF INITIAL CUT, THEN AN INITIAL CUT IS MADE FOR THE SUBSEQUENT LOWER VERTICAL SUBPHASE AND THE PROCESS CONTINUES.



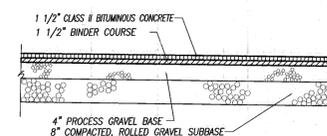
ALTERNATE 1 - CURB ON BINDER



ALTERNATE 2 - MONOLITHIC CONSTRUCTION

CAPE COD CURBING

NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION

CHAIRMAN: *[Signature]* DATE: 11/23/2020

APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION

CHAIRMAN: *[Signature]* DATE: 11/24/20

THIS MAP PRODUCED BY ORIGINAL INK ON MYLAR
PREPARED BY: PROVOST & ROVERO, INC.

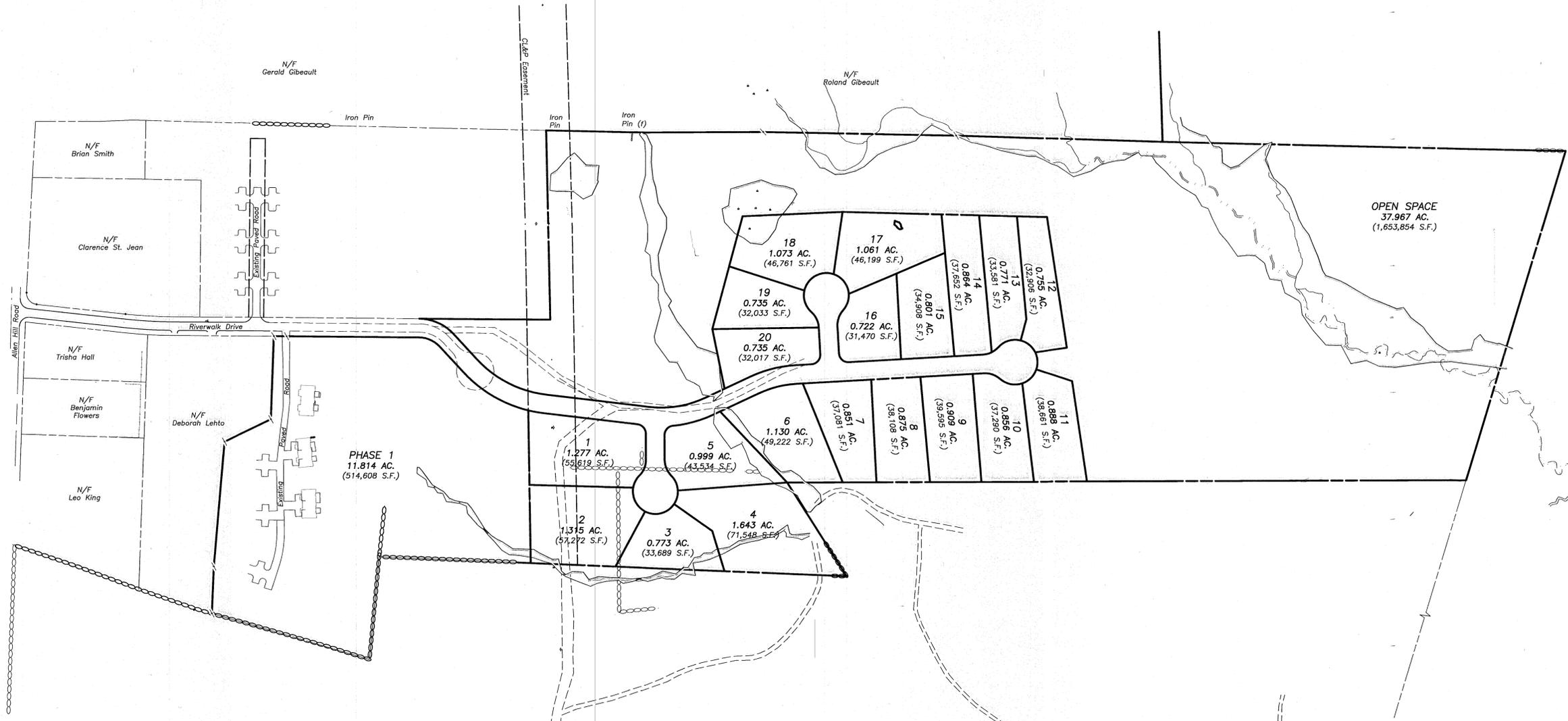
DETAIL SHEET
PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

REVISIONS	
DATE	DESCRIPTION
10/19/2020	ADD APPROVAL LETTERS

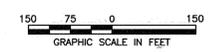
Provost & Rovero, Inc.
Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering
87 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 • FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com



[Signature] *[Signature]*
ENGINEER DATE



THIS MAP PRODUCED BY ORIGINAL INK ON MYLAR
PREPARED BY: PROVOST & ROVERO, INC.



SITE REUSE PLAN
CONCEPTUAL CONSERVATION SUBDIVISION
PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

REVISIONS	
DATE	DESCRIPTION
10/19/2020	ADD APPROVAL LETTERS

DATE: 6/2/2020 DRAWN: DJH
SCALE: 1" = 150' DESIGN: DJH
SHEET: 6 OF 9 CHK BY: ---
DWG. No: HF 310 JOB No: 173055



D. Lehto *White*
ENGINEER DATE

Provost & Rovero, Inc.
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ZC 21-001 – Zone Boundary Change from R-30 to RA; Robert Perry, Location: 202 South Street, Three acres at the intersection of South Street and Fortin Drive (Map 40, Lot 13).

Sample Motion (Modify as appropriate)

Move to approve the zone boundary change with the finding that it is suitable for the location, will aid in the protection of protect public health, safety, welfare, and property values and is consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations. The zone boundary change shall become effective 15 days from the date of publication on the website.

SD 20-005 mod – Proposal to modify conditions for 5-lot Subdivision on the south side of Beecher Road.

Sample Motion (Modify as appropriate)

Move to modify the approval of SD 20-005 to allow that Condition 1.d be revised to require the setting of boundary pins and monuments by a surveyor prior to the issuance of a Zoning Permit.

SD 21-001 mod – Proposal to modify conditions for 4-lot Subdivision on the west side of Tripp Hollow Road.

Sample Motion (Modify as appropriate)

Move to modify the approval of SD 21-001 to allow that Condition 1.d be revised to require the setting of boundary pins and monuments by a surveyor prior to the issuance of a Zoning Permit.

SPG 20-001 mod – Proposal to modify conditions for Gravel Special Permit on the east side of Allen Hill Road.

Here is the original condition attached to Mr. Lehto's approval:

2) Prior to the commencement of any activity undertaken in accordance with this approval, a performance bond in favor of the Town of Brooklyn in the amount of \$115,000 will be submitted to the Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by Town Staff. The bond shall include: \$67,000 to restore the 6.7 acre excavation area, \$10,000 to repair erosion on the gravel access road as directed by the Town's consulting engineer, and \$38,000 to repave Riverwalk Drive with a 2" overlay as directed by the Town's consulting engineer. Once the repair work on the gravel access road and Riverwalk Drive is completed to the reasonable satisfaction of the Town's consulting engineer, the portion of the bond attributed to that particular activity can be released. The Town shall document the condition of Riverwalk Drive and the gravel access road prior to the commencement of work on the site. No activity shall occur on the site until the bond has been provided in final form to the Town and approved. Except as otherwise provided, the bond shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless this requirement is subsequently modified by the Planning and Zoning Commission.

Sample Motion (Modify as appropriate)

Move to modify the approval of SPG 20-001 to allow that Condition 2. be amended to allow that the excavation areas be bonded in phases consistent with the approved phases of excavation. The southern Phase One (4.1 acre excavation area including 63,000 c.y. of gravel) will require a bond to be posted in the amount of \$41,000 prior to commencement of work. The northern Phase Two (2.6 acre excavation area including 27,000 c.y. of gravel) will require a bond to be posted in the amount of \$26,000 prior to the commencement of work. Bonding for each of the phased excavation areas will be returned when the restoration of such phase is complete to the satisfaction of the Town. Bonding for other required work including \$10,000 to repair erosion on the gravel access road and \$38,000 to repave Riverwalk Drive shall be required prior to any activity on the site.