

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION
Special Meeting Agenda
Wednesday, July 8, 2020
6:30 p.m.**

To join this meeting via the web or phone, follow the below instructions:	
Web Go to www.webex.com On the top right, click Join Enter meeting information: 129 532 5897 Enter meeting password: MARw5729TY87 Click join meeting	Phone Dial 1-408-418-9388 Enter meeting number: 129 532 5897 You can bypass attendee number by pressing #

- I. Call to Order**
- II. Roll Call**
- III. Seating of Alternates**
- IV. Adoption of Minutes:** Regular Meeting June 3, 2020
- V. Public Commentary**
- VI. Unfinished Business:**
 - a. Reading of Legal Notice**
 - b. New Public Hearings:**
 - 1. **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.
 - 2. **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.
 - c. Continued Public Hearings: None.**
 - d. Other Unfinished Business:**
 - 1. **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.
 - 2. **SD 20-001** – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots.
 - 3. **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.

VII. New Business:

a. Applications:

1. **SPG 20-001** – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148) in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres.

b. Other New Business:

1. **SPG 19-003 – *scrivener's correction*** Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 30 acres on south side of Maynard Road (Map 29, Lot 5) in the RA Zone; Excavation of approximately 1.05 million cubic yards of sand and gravel.
2. **SPG 19-004 – *scrivener's correction*** Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 200 acres+ on the south side of Rukstela Road (Map 21, Lot 7; Map 30, Lot 16) in the RA Zone; Excavation of approximately 1.55 million cubic yards of sand and gravel.
3. **SP 08-005 Modification #2 – *scrivener's correction*** Walmart, 450 Providence Road (Map 41, Lot 10) Re-striping of ten (10) wider pick-up stalls, new parking lot directional signs and pavement markings, new exterior wall sign.

VIII. Reports of Officers and Committees:

- a. Staff Reports
- b. Budget Update
- c. Correspondence.
- d. Chairman's Report.

IX. Public Commentary

X. Adjourn

Michelle Sigfridson, Chairman

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION
Regular Meeting
Wednesday, June 3, 2020
Clifford B. Green Meeting Center
69 South Main Street
6:30 p.m.**

To join this meeting via the web or phone, follow the below instructions:	
Web Go to www.webex.com On the top right, click Join Enter meeting information: 717285652 Enter meeting password: MBkhtJrF846 Click join meeting	Phone Dial 1-408-418-9388 Enter meeting number: 717285652 You can bypass attendee number by pressing #

MINUTES

- I. Call to Order** – Michelle Sigfridson, Chair, called the meeting to order at 7:10 p.m.
- II. Roll Call** – Michelle Sigfridson, Carlene Kelleher, Earl Starks, Alan Fitzgerald, Austin Tanner, Charles Sczuroski.

Staff Present: Jana Roberson, Director of Community Development.

Also Present: Paul Archer, Archer Surveying; Attorney Harry Heller; David Held, Provost & Rovero; Attorney Madeline Smith, In-house Counsel for Rawson Materials; Kermit Hua, PE, PTOE, KWH Enterprise, LLC; Brad Kerns, Massa Multimedia Architecture; Matthew and Jennifer Nemeth, Ice Box.

- III. Seating of Alternates** – None.

- IV. Adoption of Minutes:** Regular Meeting May 19, 2020

Motion was made by C. Sczuroski to accept the Minutes of the Regular Meeting of May 19, 2020. Second by C. Kelleher. No discussion.

Roll Call Vote: A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; C. Sczuroski – yes; M. Sigfridson – yes.

Motion carried unanimously (6-0-0).

- V. Public Commentary**

Paul Archer, Archer Surveying, stated, for the record, that Archer Surveying is not associated with the project of Jason Donahey that received Site Plan Approval at the meeting of May 19, 2020. Mr. Archer explained that he had received certified mail stating that his project had been approved. It showed that Mr. Archer's perimeter survey was used and that a parking demonstration had been added to the survey by Jana Roberson. Mr. Archer asked that he would like a paper trail that shows that Archer Surveying had nothing to do with preparing the site plan for the project.

Ms. Sigfridson stated that the Minutes from this Meeting will reflect his statement.

- VI. Unfinished Business:**

- a. Reading of Legal Notice:** None.
- b. New Public Hearings:** None.
- c. Continued Public Hearings:**

- 1. **SPG 19-003** – Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 30 acres on south side of Maynard Road (Map 29, Lot 5) in the RA Zone; Excavation of approximately 1.05 million cubic yards of sand and gravel.

Jana Roberson gave a brief overview:

- Initial proposal was to remove 1.2 million c.y. of material, however, the volume has been revised to 1.05 million c.y. to reflect some changes in the area of disturbance from the initial Application which is relative to the IWWC approval.
- IWWC approval was obtained (copy of approval letter was included in packets to Commission Members). This action has been appealed by the Applicant, however, it is Ms. Roberson's understanding that the PZC should still be proceeding with the Gravel Special Permit. She explained that if the IWWC approval were changed somehow, it would mean that they would have to come back before the PZC.
- A new set of plans that reflects the approval granted by the IWWC was also included in packets to Commission Members.
- There were some questions from the March public hearing regarding the Traffic Analysis (Traffic Engineer, Kermit Hua was not in attendance at this time).

There were no questions from Commission Members at this time.

Attorney Harry Heller, 736 Route 32, Uncasville, CT, represented the Applicant. Attorney Heller announced that David Held, Professional Engineer with Provost & Rovers and Attorney Madeline Smith, In-House Counsel for the Applicant were also present. Attorney Heller gave an overview:

- Special Permit Application seeking approval to excavate 1 million +/- c.y. on Maynard Road.
- Application is filed pursuant to the Excavation Regulations contained in Section 13.5 of the Zoning Ordinance. Because it is a Special Permit Applicant, the Applicant is required to satisfy the permitting criteria for a Special Permit contained in Section 5.7. An Environmental Impact Statement (EIS) was submitted as requested by vote of the PZC, pursuant to Section 5.8. All information has been submitted and reviewed in depth with the Commission.
- Attorney Heller explained that we were close to the end of the public hearing process at the time that the COVID-19 Pandemic began after the public hearing on March 4, 2020. He stated that he would not go over all of the information currently in the record regarding this proceeding. At the point we left off, a Report had been received from Wayne Botching regarding whether or not there would be any impacts to groundwater quality or groundwater quantity as a result of the proposed excavation. Mr. Botching's Report indicated that he had no concerns based upon his hydrogeological investigation. With respect to water quality, he did want to ensure that clean fill would be utilized for the backfilling of any slope formed on the site. Clean fill, for the purposes of this Application, means washed silt from the material that is washed at the Laframboise Processing Plant in Canterbury. Attorney Heller stated that Mr. Botching said that it should be indicated, as part of the record, that he is satisfied that there would be no groundwater quality issue with respect to this Application.
- Regarding the Traffic Analysis prepared by Kermit Hua that was presented at the March 4, 2020 public hearing (Mr. Hua had been present), analyzing the potential traffic impact to Maynard Road in Brooklyn and Wauregan Road in Canterbury. Attorney Heller stated that he had made a brief presentation regarding some discrepancies in the Report:
 - 1) Mr. Hua had indicated that the number of trips per day was 2,000 which is inconsistent with the information that Mr. Held had obtained from the DOT and with actual counts which he had conducted and are contained in his report (part of the record) which demonstrates that the average daily trips on Maynard Road/Wauregan Road are approximately 530 trips per day.
 - 2) Mr. Hua had also reviewed accident data on Maynard Road/Wauregan Road in his Report. Over a three-year period, there were only two reported accidents on the road, neither of which involved any gravel hauling trucks: One was a single car accident; the other occurred during a snowstorm (there is a letter from Mr. Held, included in the record, which indicates the type of vehicle involved in the snowstorm. It was not a tri-

axle truck and, in Mr. Held's professional opinion, that accident did not involve any gravel hauling activity).

- 3) Mr. Hua indicates, in his report, that the carrying capacity of Maynard Road and Wauregan Road is about 1,200 vehicle trips per hour. When comparing it with the hourly daily trips reported in his report, it varied between 1 in about 50 trips per hour on the road. You can see that that road is operating at a very small percentage of its carrying capacity.
- 4) Mr. Hua had recommended that trucking operations on Maynard Road be limited to the hours of 9 a.m. to 4 p.m. Attorney Heller explained that this is, functionally, not possible for the Application. The construction-related activities begin operating at 7 a.m. and you cannot have two hours of down time before you can start operating. Nine o'clock is a severe imposition on the operation of activity. Attorney Heller explained that a review of the statistics contained in Mr. Hua's report shows that there is no basis for that recommendation. Attorney Heller said that there is no difference in the traffic utilizing that road at all, from any analytical perspective, between 7 a.m. and 5 p.m. Attorney Heller referred to the hours of operation contained in Section 13.5.7 of the Regulations (which authorizes operations between 7 a.m. and 6 p.m. with operation on Saturday).
- 5) Attorney Heller referred to extensive discussion that had taken place, with respect to this Application, regarding terms and provisions of the Amended and Re-stated Canterbury Agreement and the applicability of that Agreement to truck traffic on Maynard Road. The Agreement limits the amount of truck traffic that can enter and exit the Laframboise Processing Facility in Canterbury from the east and from the west. Limit is 75 round trips or 150 trip ends, from each direction. Attorney Heller stated that, under the Agreement, they could have 75 round trips per day between the Maynard Road site and the Laframboise Processing Facility. Regarding concerns that the Amended and Re-stated Canterbury Agreement had not yet been approved by the Court, Attorney Heller explained it is because the Courts have been shut down (due to the COVID 19 Pandemic). He explained that it is currently enforceable as a contractual agreement, but, if the Commission is concerned that it may never be implemented, those parameters could be incorporated as conditions of approval in conjunction with its deliberations on this Special Permit. He said that, as stated previously at the public hearing, the Applicant has contractually agreed to those parameters and is willing to live by them.

Attorney Heller stated that the traffic that would be generated by this proposed excavation operation would have no impact on Maynard Road because it is a public road and, under the Canterbury Agreement, the Applicant has the contractual right and, under the 2015 stipulation, the right under a judgment of the Superior Court, to utilize a public road for purposes of accessing the Laframboise Processing Facility. That means whether the truck trips are coming from the Maynard Road site or the Potvin site or from other sources further to the east, the same amount of potential truck traffic is authorized to use Maynard Road to access the Laframboise Processing Facility. In addition, it is a parameter of the Application that truck traffic from this proposed excavation site will go only to the Laframboise Processing Facility and there will be no hauling of raw material out of the Potvin site to any other location. Attorney Heller stated that the traffic impacts of this proposed activity satisfy the permitting requirements contained in Section 5.7 and the considerations in the Environmental Impact Statement in Section 5.8 of the Regulations.

- 6) There have modifications to the Site Development Plan (revision dated March 12, 2020 – has been submitted) since the last public hearing (early March) as a result of the decision of the IWWC which imposed a greater setback than their Application contemplated, both from the Quinebaug River and the Kettle Wetland in the easterly portion of the site. He

introduced David Held to review the changes made to address those conditions of approval.

Mr. Held referred to the plan showing the northeasterly part of the project where the most significant changes in setbacks occurred and he explained that the IWWC is requiring 125-foot setback from the actual edge from the River watercourse, therefore, they have pulled back excavation there. Similarly the IWWC is requiring a 125-foot setback from the Kettle Wetland in the southeast corner of the site, so they have also pulled back the grades there. As an end result, final grades will be at a higher elevation in the easterly side. Cross-section drawings detail how they will do the over-excavation on the side slopes and then creating the final slopes by backfilling them. It does not change the bottom elevation that they are removing material from, it just changes the final grades when the restoration is completed on the site. It is reducing the amount of material that would be coming out of the site by approximately 150,000 c.y. from what was originally proposed.

Attorney Heller referred to concern noted in the Staff Report regarding slope stability and potential for erosion to the Quinebaug River and the Kettle Wetland. He called attention to the presentation which had been made to the Commission regarding the manner in which the excavation would be conducted as well as the profiles contained in both the original Site Development Plan and the current revision. He explained that it is a totally self-contained excavation and that the methodology for accomplishing the excavation is to access the site from Maynard Road and to create an operating base in the center of the site (Phase One) and then, the whole operation will be accomplished through the down cutting where embankment material will be pulled into the operating floor of the excavation and then hauled out by tri-axle truck to the Laframboise Processing Facility. There will never be any operations on the exterior embankment areas in the direction of either the Quinebaug River or the Kettle Wetland. There is no physical potential for any erosion or sedimentation to either of those resources.

Attorney Heller stated that they believe that the Application satisfies the permitting criteria in Section 13.5 and Section 5.7. The Environmental Impact Statement demonstrates matters in which many of the general evaluation criteria have been satisfied in conjunction with this excavation. He urged that the Commission approve the Application.

COMMENTS FROM STAFF

Ms. Roberson noted (for the record) that a Report had been obtained from a qualified, professional transportation engineer and that the Applicant had not provided a report from a comparable professional that contradicts anything that was in the Report. She noted that, regarding the accident on Maynard Road (which Attorney Heller had stated did not involve a truck involved in gravel operations), the Report identified the truck as a Peterbuilt 348 which is a Class 7 or 8 truck (it was a dump truck). The Report was included in packets to Commission Members.

COMMENTS FROM COMMISSION MEMBERS

M. Sigfridson commented that a condition of approval could be to require that the speed limit signs on Maynard Road be upgraded to solar-powered feedback signs. Attorney Heller stated, for the record, that the Applicant would agree to that.

COMMENTS FROM THE PUBLIC – None.

Attorney Heller responded to Ms. Roberson's comment by urging the Commission Members to review the Traffic Engineer's Report. He said that the conclusions reached in the Report are not consistent with the data presented. He referred to a table in the Report which documents hourly traffic counts for a 24-hour period taken by Mr. Hua, the Traffic Engineer. Attorney Heller stated that there is no statistical difference between the hours of 7 a.m. and 9 a.m., when it is important to the Applicant to be operating with the traffic on that

road, later hours during the day where Mr. Hua says operation is permissible. Traffic counts for some of the later morning hours were higher than between 7 a.m. and 9 a.m.

Kermit Hua, KWH Enterprise, LLC, stated that he did not have anything to add to what he had discussed at the last public hearing and he explained that it is up to the Commission to decide if his recommendations are agreeable and also acceptable to the Applicant. Mr. Hua stated that he agrees with the Attorney that this is a low volume road. Mr. Hua's main concern was the narrowness of the road to accommodate the large trucks which basically use the whole width of the road. He explained that his concern, and the reason he recommended the hour restriction, is that there may be a conflict with vehicles on the road during peak time when people are traveling to work (especially considering the manner that those trucks drive on this narrow road).

Motion was made by C. Kelleher to close the public hearing for **SPG 19-003** – Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 30 acres on south side of Maynard Road (Map 29, Lot 5) in the RA Zone; Excavation of approximately 1.05 million cubic yards of sand and gravel. Second by A. Fitzgerald. No discussion.

Roll Call Vote: E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; C. Sczuroski – yes; A. Tanner – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

d. Other Unfinished Business:

1. **SPG 19-003** – Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 30 acres on south side of Maynard Road (Map 29, Lot 5) in the RA Zone; Excavation of approximately 1.05 million cubic yards of sand and gravel.

There was discussion regarding timeline. There is an additional 65 days to take action if the Commission chooses not to take action at tonight.

Ms. Roberson explained about the request to waive the setback requirements. The agreement with Tilcon (who owns the property to the northeast) was previously entered into the record. Ordinarily, you cannot excavate gravel right up to the property line, but there is a provision in the Regulations that, with the agreement of the neighboring property owner, it may be allowed by a vote of the Commission.

Motion was made by A. Fitzgerald, in accordance with Section 13.5.2.1 of the Brooklyn Zoning Regulations, to approve the request for a waiver by Strategic Commercial Realty d/b/a/ Rawson Materials to waive the 100' residential setback requirement to the abutting parcel identified as 3 Maynard Road (Assessor's Map 29, Lot 11) owned by TILCON, INC on the grounds that a written agreement has been entered into the record as between Strategic Commercial Realty and TILCON, INC. authorizing the excavation up to the shared property boundary on the condition that the owner of the subject parcel will reciprocate when and if TILCON should apply for permission to excavate. As a condition of the granting of this waiver, the applicant must maintain soil erosion control measures in place and the Land Use Office shall have the authority to direct that additional erosion and sedimentation control measures be installed if deemed necessary to maintain adequate protection from erosion and sedimentation. Second by C. Kelleher. No discussion.

Roll Call Vote: A. Fitzgerald - yes; C. Kelleher – yes; C. Sczuroski – yes; E. Starks – yes; M. Sigfridson – yes. A. Tanner may have been having technical difficulties as he did not answer when called.

Motion carried (5-0-0).

Motion was made by C. Kelleher to approve the Gravel Special Permit application of Strategic Commercial Realty d/b/a/ Rawson Materials on the 30 acres on south side of Maynard Road (Map 29, Lot 5), identified in the files of the Brooklyn Land Use Office as SPG 19-003, to remove up to 1,050,000 cubic yards of sand and gravel, as the standards of Article 13 and Article 5 are satisfied in accordance with all final documents and testimony submitted with the application and subject to and including the following conditions:

- 1) The Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be printed on paper and submitted to town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by the Commission Chairs, shall be recorded along with the Special Permit in the office of the Town Clerk.
- 2) Prior to the commencement of any activity undertaken in accordance with this approval, a performance bond in favor of the Town of Brooklyn in the amount of \$180,500 will be submitted to the Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by Town staff. No activity shall occur on the site until the bond has been provided in final form to the Town and approved. The bond shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless this requirement is modified by the Planning and Zoning Commission.
- 3) Excavation activity and volumes of material shall be as shown on the plans titled "Proposed Gravel Excavation Maynard Road Brooklyn, Connecticut" prepared by Provost & Rovero dated October 2, 2019, last revised March 12, 2020 (and as further revised by these conditions).
- 4) Restoration shall commence upon completion of each phase of excavation as provided in the Zoning Regulations and as noted in the Restoration Notes on page 10 of the approved plans. At no time shall more than five acres be left in an unrestored condition in accordance with Sec. 13.5.10 of the Brooklyn Zoning Regulations.
- 5) Erosion and sedimentation control measures shall be installed to minimize the risk of sedimentation impacting water quality. The Land Use Office shall have the authority to direct that additional erosion and sedimentation control measures be installed if deemed necessary to maintain adequate protection from erosion and sedimentation.
- 6) In accordance with the recommendation of the consulting traffic engineer to reduce conflicts between residential and gravel-related traffic, heavy truck traffic (vehicles used to transport material) shall not enter or exit the site except between the hours of 9:00 AM-4:00 pm on weekdays to avoid conflict with local vehicles during normal commuting hours.
- 7) In accordance with the recommendation of the consulting traffic engineer to reduce and control vehicle speeds to a more safe speed on the principal roadway access, the applicant shall enhance two existing 25 mph speed limit signs near the two ends of Maynard Road—one facing southwest near the Canterbury town line, and the other facing northeast across from 3 Maynard Road—with solar-powered radar feedback signs showing the speeds of approaching vehicles to be installed below normal speed limit signs.
- 8) Dust shall be controlled throughout the year using water or calcium chloride treatment on surfaces as appropriate for conditions. All trucks exiting or entering the site must have their tarp covers closed. Sweeping of the entrance area shall occur regularly and as needed. The Land Use Office shall have the authority to direct that additional dust control measures be installed and employed if deemed necessary to maintain adequate protection from ambient dust within or beyond the site.
- 9) Written reports of the volume of excavated materials shall be submitted by the permittee to the Brooklyn Zoning Enforcement Officer quarterly in March, June, September, and December.
- 10) The permit renewal date is May 3, 2021. The renewal procedure shall be as specified in Section 6.O.7 of the Brooklyn Zoning Regulations (effective 10-15-2019).

Second by A. Fitzgerald.

Discussion:

M. Sigfridson noted that Attorney Heller had addressed that hours of operation from 9 a.m. to 4 p.m. would be a hardship for the Applicant as gravel operations typically start early at 7 a.m.

A. Tanner stated that gravel operations start at 7 a.m. and he explained that having to wait to start at 9 a.m. would be a real hardship for the Applicant because of the way those businesses operate. Mr. Tanner also suggested that there be monthly reports rather than quarterly reports to keep on top of it better.

C. Sczuroski agreed with the 7 a.m. start time. Mr. Sczuroski asked that the Canterbury Agreement be referenced in the approval. Ms. Roberson commented that the Applicant has stated, on the record, that the Canterbury Agreement states hours of operation. Ms. Sigfridson and Ms. Kelleher noted that the Canterbury Agreement is referenced in the Plans.

A. Fitzgerald commented that if you spread out the allowed 75 loads per day over time, it decreases the amount of truck traffic on the road per hour. Mr. Fitzgerald stated that he agrees with Mr. Tanner.

Ms. Sigfridson asked if there is any opposition to changing 9 a.m. to 7 a.m. in Condition #6. There was no opposition stated.

There was discussion regarding Mr. Tanner's suggestion to change Condition #9, quarterly reporting to monthly reporting. Ms. Sigfridson asked if there is any opposition to changing the reporting from quarterly to monthly in Condition #9. There was no opposition stated.

There was discussion regarding Condition #7:

- Regarding adding the solar-powered signs - Ms. Roberson explained that this would be an off-site improvement and that it should only be included as a condition of approval if the Applicant is willing to do it and the local traffic authority (First Selectman) approves it.
- Mr. Fitzgerald suggested adding the following to Condition #7: "Trucks Entering" and "Trucks Exiting" signs going in each direction on Maynard Road.

The Sightline Demonstration Plan was displayed showing the detail of the entrance, but it did not show "Trucks Entering" signage. Ms. Roberson stated that she may have not displayed the correct plan, so this signage may be included.

Ms. Roberson noted that, although the Public Hearing is closed, the Applicant had expressed a willingness to do the solar-powered signs which would be more expensive than the "Trucks Entering" type of sign. Ms. Sigfridson commented that the "Trucks Entering" signs would be protecting the truck drivers as well as on-coming traffic, so she is hopeful that the Applicant would be agreeable to installing them in addition to the solar-powered signs that they had agreed to.

Ms. Sigfridson asked if there is any opposition to adding DOT standard "Trucks Entering" and "Trucks Exiting" signs to Condition #7. There was no opposition stated.

There was discussion regarding hours of operation:

Ms. Roberson commented that she had made reference to the Canterbury Agreement and Section 13.5.7 of the Regulations and that both relate to hours of operation and both are part of the record.

Section 13.5.7 – hours of operation on a typical weekday are from 7 a.m. to 6 p.m. and on Saturdays from 7 a.m. to 12 p.m.

Canterbury Agreement Section 16.8.a – hours of operation are identified from 7 a.m. to 4:30 p.m. and on Saturdays from 7 a.m. to 1 p.m.

Consensus among Commission Members to state the hours of operation in the Conditions of Approval #6 as follows: Saturdays from 7 a.m. to 12 p.m.

Weekdays from 7 a.m. to 4:30 p.m.

There was discussion regarding truck traffic counters regarding concerns of residents on Maynard Road. Ms. Roberson displayed information regarding the truck trip tickets/slips from the Canterbury Agreement for viewing. Mr. Sczuroski commented that the Applicant had stated that they are willing to give Brooklyn access to the truck trip tickets. This was found to be satisfactory to Commission Members.

Motion was made by A. Tanner to amend C. Kelleher's Motion to approve, with conditions, the Gravel Special Permit application of Strategic Commercial Realty d/b/a/ Rawson Materials on the 30 acres on south side of Maynard Road (Map 29, Lot 5), identified in the files of the Brooklyn Land Use Office as SPG 19-003, to incorporate the following changes:

- 1) Condition #6 - Change the hours of operation to be from 7 a.m. – 4:30 p.m. on weekdays and from 7 a.m. – 12 p.m. on Saturdays.
- 2) Condition #7 – Add the following to the end of the sentence, "and install entrance warning signage."
- 3) Condition #9 – Change from quarterly reporting in March, June, September, and December to monthly reporting.

Second by A. Fitzgerald. No discussion.

Roll Call Vote to Amend the Main Motion: C. Sczuroski – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

There was discussion regarding the language for Condition #7 for the entrance warning signage.

Roll Call Vote on the Main Motion As Amended: C. Kelleher – yes; C. Sczuroski – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

2. **SPG 19-004** – Gravel Special Permit, Strategic Commercial Realty, Inc, d/b/a Rawson Materials, 200 acres+ on the south side of Rukstela Road (Map 21, Lot 7; Map 30, Lot 16) in the RA Zone; Excavation of approximately 1.55 million cubic yards of sand and gravel.

M. Sigfridson stated that the public hearing had previously been closed. J. Roberson gave a summary:

- Last Plan Revision was February 14, 2020.
- Notwithstanding the important natural resources on the site, it has been approved by the IWWC. She stated that she believes the concerns have been addressed, although she would like Commission Members to have an opportunity to express any outlying concerns, she does not have anything additional at this point.

Motion was made by A. Fitzgerald to approve the Gravel Special Permit application of Strategic Commercial Realty d/b/a Rawson Materials on the 200 acres+ on the south side of Rukstela Road (Map 21, Lot 7; Map 30, Lot 16), identified in the files of the Brooklyn Land Use Office as SPG 19-004, to remove up to 1,551,000 cubic yards of sand and gravel, as the standards of Article 13 and Article 5 are satisfied in accordance with all final documents and testimony submitted with the application and subject to and including the following conditions:

- 1) The Inland Wetlands and Watercourses Commission approval with conditions and the Planning and Zoning Commission approval with conditions must be included on the final recorded special permit plans. Draft final approved plans shall be printed on paper and submitted to Town staff for review prior to printing on archival material. The final approved plans bearing the seal and signature of the appropriate professionals, signed by Commission Chairs, and shall be recorded along with the Special Permit in the office of the Town Clerk.
- 2) Prior to the commencement of any activity undertaken in accordance with this approval, a performance bond in favor of the Town of Brooklyn in the amount of \$247,950 will be submitted to the Brooklyn Land Use Department. The form and content of the bond shall be reviewed and approved by Town staff. No activity shall occur on the site until the bond has been approved and provided in final form to the Town. The bond shall remain in place for the life of the operation including restoration of the property to the satisfaction of the Town unless this requirement is modified by the Planning and Zoning Commission.
- 3) Excavation activity and volumes shall be as shown on the plans titled "Proposed Gravel Excavation southerly of Rukstela Road Brooklyn, Connecticut" prepared by Provost & Rovero dated September 27, 2019, last revised February 14, 2020 (and as further revised by these conditions).
- 4) Restoration shall commence upon completion of each phase of excavation as provided in the Zoning Regulations and as noted in the Restoration Notes on page 14 of the approved plans. At no time shall more than five acres be left in an unrestored condition in accordance with Sec. 13.5.10 of the Brooklyn Zoning Regulations except for the pond areas (Phase 3W and 5E). If the final Phases 3W and 5E are delayed for more than one year, restoration shall commence immediately with permanent vegetative cover being established during the first available Spring or Fall growing season.
- 5) Erosion and sedimentation control measures shall be installed around the ponds to minimize the risk of sedimentation to the water quality. The Land Use Office shall have the authority to direct that additional erosion and sedimentation control measures be installed if deemed necessary to maintain adequate protection from erosion and sedimentation.
- 6) An oil absorbent boom must be in place at the water line of the pond(s) whenever hydraulic equipment is within 40 feet of the water in the pond(s). In freezing conditions, the boom shall be at the landward edge of the ice. An oil absorbent boom must be in place in the water, surrounding hydraulic equipment, whenever hydraulic equipment is operating in the water in the pond(s).
- 7) Dust shall be controlled throughout the year using water or calcium chloride as appropriate for conditions. All trucks exiting or entering the site must have their tarp covers closed. Sweeping of the entrance area shall occur regularly and as needed. The Land Use Office shall have the authority to direct that additional dust control measures be installed and employed if deemed necessary to maintain adequate protection from ambient dust within or beyond the site.
- 8) Reporting of the volume of excavated materials shall be submitted by the permittee to the Brooklyn Zoning Enforcement Officer quarterly in March, June, September, and December.
- 9) The permit renewal date is May 3, 2021. The renewal procedure shall be as specified in Section 6.O.7 of the Brooklyn Zoning Regulations (effective 10-15-2019).

There was discussion regarding the total volume for accuracy. Ms. Roberson calculated the figures on page 14 of the Plans, which was displayed for viewing, (approximately 330,000 c.y. in the westerly area and 1,221,000 c.y. in the easterly area) and it was found to be accurate (1,551,000).

Second by A. Tanner. No further discussion.

Roll Call Vote: A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; C. Sczuroski – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

3. **ZRC 20-001 rev** – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.

J. Roberson explained that the public hearing can open on July 1st. All items have been previously discussed by the Commission. She explained that the “rev” is due to the Section regarding donation bins being added at the last meeting of the PZC (May 19, 2020).

Motion was made by A. Fitzgerald to schedule a public hearing for ZRC 20-001 rev – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4. for the regular meeting of the Planning and Zoning Commission to be held on July 1, 2020 at 6:30 p.m. in the Clifford B. Green Meeting Center, 69 South Main Street, Brooklyn, CT. Second by C. Sczuroski. No discussion.

Voice Vote Taken: Motion carried unanimously (6-0-0).

VII. New Business:

a. Applications:

1. **ZC 20-001** – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.

J. Roberson explained that this is a simple zone change to address the zone boundary that doesn't follow parcel lines because there weren't any in that area. She said that it is a very slight change of area.

Motion was made by A. Fitzgerald to schedule a public hearing for ZC 20-001 rev – A proposal to revise the R-30/RA boundary on the south side of Day Street for the regular meeting of the Planning and Zoning Commission to be held on July 1, 2020 at 6:30 p.m. in the Clifford B. Green Meeting Center, 69 South Main Street, Brooklyn, CT. Second by C. Sczuroski. No discussion.

Voice Vote Taken: Motion carried unanimously (6-0-0).

2. **SD 20-001** – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 3, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots.

M. Sigfridson explained that this is dependent upon Application ZC 20-001 - proposed zone change, and the IWWC.

Ms. Roberson explained that the PZC could schedule a public hearing. There had been a preliminary review with Paul Archer. It has been before the IWWC, but approval has not been received as of this date. Ms. Roberson explained that it would be sent to the Conservation Commission and the Regional Engineer, action by the PZC could not be taken on this proposal without the zone change, but an additional public hearing does not have to be held, unless the PZC so chooses.

Paul Archer, Archer Surveying, represented the Applicant. Mr. Archer stated that this proposal has already been sent to Syl Pauley, Regional Engineer, for IWWC and Mr. Archer had asked that he look at it for both IWWC and for PZC. He said that neither IWWC nor Conservation Commission approval have been received. He said he was in

attendance for preliminary discussion. He explained that, per the Regulations, a public hearing is not required for a subdivision.

There was discussion regarding whether to require a public hearing or whether it would need to be tabled until after the public hearing on the zone change. Ms. Roberson explained that the subdivision is received tonight and the Staff/technical review has already started and she explained that you may not use land in another zone to meet the lot requirements in an adjacent zone, which is what those subdivision plans show. She said that the zone change is not terribly significant – it is a change of about 1 acre of land.

Consensus – No public hearing and to put it on the next agenda.

3. **SP-08-005 Modification #2** – Walmart, 450 Providence Road (Map 41, Lot 10) Re-stripping of eight (8) wider pick-up stalls, new parking lot directional signs and pavement markings, new exterior wall sign.

J. Roberson gave an overview and displayed plan as discussed:

- Walmart has already been approved for a modification to add eight (8) online sales pick-up stalls along the western façade (2018). She said that she believes the number is actually nine (9) pick-up stalls (she indicated the westerly row of stalls on the plan). She explained that they are basically adding a second layer (re-stripping existing parking spots). So, it should actually be nine (9) additional pick-up stalls (she indicated the proposed easterly row of stalls on the detail on the plan), some directional signage, pavement markings, and a wall sign.
- Ms. Roberson explained that it has been identified that some of the signage for each individual stall is a little over what is allowed under the language of the current Regulations.
- Signs would be reviewed by the ZEO following action on this proposal.
- This is due to market forces and current pandemic situation.
- Not creating any additional parking.
- No IWWC approval required.

Brad Kerns, Massa Multimedia Architecture, represented the Applicant. Mr. Kerns stated that Ms. Roberson gave a good summary of the proposal, adding that Walmart is seeing an increased demand for online grocery pick-up which is the rationale behind adding the stalls. He stated that they are adding a crosswalk to get to the additional stalls as well as appropriate pedestrian crossing signage for safety purposes. It is noted on the plan that this configuration of re-stripping parking stalls causes an overall reduction of only one parking space in the entire parking lot.

QUESTIONS FROM COMMISSION MEMBERS: None.

Motion was made by A. Tanner to approve the Special Permit modification of Walmart to re-stripe eight (8) additional pick-up stalls, install new parking lot directional signs in compliance with the Zoning Regulations, pavement markings, and a wall sign in compliance with the Zoning Regulations to allow for the orderly and safe pick-up of groceries ordered online in accordance with all final plans, documents and testimony submitted with the application. Second by C. Kelleher.

Discussion: J. Roberson noted that the proposal is to re-stripe nine (9) additional pick-up stalls (It was incorrectly stated on the Staff Guidance to the Commission and on the Agenda).

A. Tanner and C. Kelleher both stated acceptance of the correction increasing to nine. No further discussion.

Roll Call Vote: E. Starks – yes; A. Fitzgerald – yes; C. Kelleher – yes; C. Sczuroski – yes; A. Tanner – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

4. **Request for Waiver of Special Permit Requirement as per Sec. 4.D.6.4.c** – 17 South Main St., The Ice Box, Requestor: Matthew Nemeth, proposed structure in the side yard setback.

Revised Plans and photos were displayed as discussed (Ms. Roberson explained that revised plans had been submitted just before this meeting and she advised Commission Members to view the plans displayed rather than those included in their packets).

Paul Archer, Archer Surveying, represented the Applicant and gave an overview:

- Mr. Archer explained that there are two existing retaining/foundation walls that jet out which he said have been inspected. They would like to cover these walls with a wood deck in the backyard so that they would have better seating arrangements. Mr. Archer said that, per the Regulations, the PZC has the ability to waive the setbacks to within zero inches. He said that the existing wall is two feet off the property line now and that they are not looking to go any closer than what is there now.
- Matthew Nemeth stated that he thinks that the existing foundation was built with the intent for a deck. He said that they looked through the Regulations for exceptions for the setback requirements, but the ZEO didn't agree with their definition of a terrace or similar structures. Therefore, they are requesting a waiver of the special permit. He referred to Section 4.D.6. He said that the development is not significant and is not likely to have more than a negligible impact on traffic, the neighborhood or the environment. He said that the intent of the deck is to drive their customers to their back parking lot and give them space to sit down, especially through COVID-19, they need the outdoor space, and also to make sure that South Main Street is free of obstructions.

Ms. Roberson explained that they would like to build a flat deck and bring it out behind the building adjacent (which they also own) and connect it to the existing porch. Ms. Roberson displayed and explained the property and surrounding area and properties on Google Earth. It is an unusually-shaped lot (incredibly thin and long), unique in the zone. All of the development is on the northern boundary. Both buildings are non-conforming because they are within the 20-foot side yard setback, which also means that the deck is within the 20-foot side yard setback. It comes up to about 2 feet from the property line. She explained that the new Zoning Regulations provide some relief from the 20-foot side yard setback – they allow the PZC to reduce the side yard setback to zero by special permit and furthermore, provides for a waiver of the special permit under certain circumstances. Mr. and Mrs. Nemeth are applying for a waiver under those provisions (Section 4.D.6.4.c). Ms. Roberson read from Section 4.D.6.4. Ms. Roberson indicated the neighborhood properties. She stated that, regarding the environment, there are no wetlands resources in the area. Ms. Roberson stated that Mr. Nemeth had informed her that there had been some conflicts with the driveway with the East Brooklyn Fire Department. She said that the porch is not encroaching on that right-of-way. Mr. Archer explained that the conflict with the driveway is one of the main reasons for trying to encourage people to go to the back to keep them away from the front and out of the roadway. However, they would not be eliminating the front parking spaces. Ms. Roberson displayed a diagram. Mr. Nemeth stated that there would be an ADA ramp and a stairway built into the rear of the deck.

Ms. Roberson stated that the waiver is on page 77 of the Zoning Regulations. She stated that the Commission is authorized to waive the setback if it is found that the two conditions are met:

- The development is not significant; and
- The development is not likely to have more than a negligible impact on traffic, the neighborhood or the environment.

There was discussion regarding the amount of parking. Mr. Nemeth stated that, over the last two days, they have already increased their parking lot by cutting trees and re-exposing the old parking lot that had been there 40 years ago and they now have 40-45 spaces available. Mr. Archer stated that there is ample land to the back, so they have the ability to increase

the parking significantly. He said that most people are just there for about 30 minutes to eat an ice cream. Mr. Archer feels that they are not making the building any more non-conforming than it already is. He explained that they are not expanding past the building footprint and they are using the existing retaining/foundation walls and they would not be encroaching any more than the building already encroaches into the 20-foot setback.

Mr. Sczuroski stated that the existing foundation is 14 feet long and he asked how wide the deck would be. Mr. Archer stated that he thinks that the existing foundation is more than 14 feet long and that the existing retaining wall is probably about 18 or 19 feet long. They are proposing that the deck would be 18 feet long. It will not extend any further than the existing foundation.

Mr. Nemeth stated that the intent is to keep it within the existing structure. Mr. Nemeth explained that there is already a handrail which will probably go up another 10 inches based on hand railing commercial code (which would have to be 42 inches above decking). He said this would be a vertical setback issue. He said that there would be no deck encroaching on any setbacks further than they already are.

Ms. Roberson stated that it is not increasing the non-conformity.

Motion was made by C. Kelleher, in accordance with Section 4.D.6.4.c of the Brooklyn Zoning Regulations, to approve the request for a waiver by Matthew and Jennifer Nemeth to waive the 20' side yard setback requirement at 17 South Main Street (Assessor's Map 41, Lot 104) with the finding that the development is not significant and is not likely to have more than a negligible impact, on the neighborhood, or the environment.

Second by A. Fitzgerald. No discussion.

Roll Call Vote: A. Fitzgerald – yes; C. Kelleher – yes; C. Sczuroski – yes; A. Tanner – yes; E. Starks – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

5. **SPR 20-002** – Site Plan Review for the Ice Box, 17 South Main St., Applicant: Matthew Nemeth, proposed rear deck.

Paul Archer, Archer Surveying, represented the Applicant. Mr. Archer stated that the Applicant would like to put a platform down where people can sit and enjoy ice cream outside while complying with the separation requirements due to the COVID-19 pandemic.

A. Tanner asked if there would be a roof or cover or if there would be posts around the porch. Mr. Archer stated that there would not be any roof or cover. Mr. Nemeth stated that there would be posts beneath the side of the blue building. Mr. Archer stated it would have to be reviewed by the Building Inspector before it could be built and approved. Mr. Tanner feels that the plans are not specific enough. Mr. Sczuroski stated that he would like more information as well to get a better idea of the concept.

Mr. Nemeth and Mr. Archer explained that it is a simple deck off the back to provide seating and it is no different than putting a wood deck off the back of a house. Mr. Sczuroski was concerned because it is an elevated deck. Mr. Nemeth stated that the Regulations do not provide a definition of deck and the structure definition does not include the definition of deck.

There was discussion regarding the roles of the PZC vs. the Building Inspector. Ms. Sigfridson suggested that if a Commission Member feels additional information is needed, that they tell the Applicant specifically what is needed.

Ms. Sigfridson asked if the deck extends as one continuous deck behind both buildings. Mr. Archer stated that that is correct. Ms. Sigfridson stated that another plan shows it as being only 35.5 feet long and just extends from one of the existing foundation wall to the other. Mr. Archer explained that, at one point, they thought that they needed to keep the size of the deck to 500 s.f. in order to not initiate a special permit. They later found out that that was not the case. Ms. Roberson explained that the proposal is for the bigger one (1,000 s.f.) and it connects both buildings in the rear. She said that behind the Ice Box it is really inches

above the ground and the other portion would be at the same level as the deck that already exists there and she displayed it for viewing while she explained about it. Mr. Nemeth stated that it is approximately 4.5 feet.

Ms. Kelleher commented that the PZC has approved other structures without asking for detailed plans on those structures and she feels that the Commission has enough information. Mr. Fitzgerald agreed with Ms. Kelleher.

Motion was made by A. Fitzgerald to approve the Site Plan Review application of Matthew and Jennifer Nemeth for a deck at 17 South Main Street (Map 41, Lot 104), identified in the files of the Brooklyn Land Use Office as SPR 20-002, in accordance with all final documents and testimony submitted with the application with the finding that it is consistent with the Zoning Regulations, except as waived, and the site plan objectives. Second by E. Starks.

Discussion:

Mr. Tanner asked about a white spot on the plan between the two decks. Mr. Nemeth explained that it is an existing concrete pad on the ground between the two buildings.

Mr. Tanner asked if the deck is continuous or if there is a break in the middle. Mr. Archer stated that it is a continuous deck.

Ms. Roberson explained that it is a single, continuous piece.

Mr. Fitzgerald explained that the concrete pads are at the same grade as the deck and would become part of the deck seating area.

Mr. Archer explained that the area that Mr. Tanner was questioning is the building.

Mr. Sczuroski asked again about whether the deck would extend further out than the existing walls. Mr. Archer explained that it would not extend past the walls and it is not going any closer to the property line on the right hand side and it is not coming closer to the driveway than the existing walls are. The existing retaining walls are about 19 feet long and the deck is going to be approximately 18 feet out. Discussion continued and Mr. Sczuroski was satisfied.

Roll Call Vote: C. Kelleher – yes; C. Sczuroski – yes; A. Tanner – yes; E. Starks – yes; A. Fitzgerald – yes; M. Sigfridson – yes. Motion carried unanimously (6-0-0).

b. **Other New Business:** None.

VIII. Reports of Officers and Committees:

a. **Staff Reports**

Margaret Washburn, ZEO, Report, dated June 1, 2020, was included in packets to Commission Members – No discussion.

There was discussion regarding whether to cancel the regularly scheduled meeting of June 16th due to Ms. Roberson being on vacation at that time. The Commission Members were in agreement to cancel the meeting. Next meeting – July 1, 2020.

There was discussion regarding technical problems that Commission Members have been experiencing during the Webex meetings.

b. **Budget Update** – Not included in packets to Commission Members. No discussion.

c. **Correspondence** – None.

d. **Chairman's Report**

Ms. Sigfridson stated that she has identified some issues that need to be addressed regarding hosting the Webex meetings that she has been experiencing. She asked for feedback from Commission Members.

IX. Public Commentary – None.

X. Adjourn

M. Sigfridson adjourned the meeting at 10:40 p.m.

Respectfully submitted,

J.S. Perreault
Recording Secretary

**TOWN OF BROOKLYN
PLANNING AND ZONING COMMISSION**

**REQUEST FOR CHANGE
IN
ZONING REGULATIONS**

Date 2/18/2020 ^{REV. 5/19/20} Check # _____ Application #ZRC 20-001

Application Fee: \$250 _____ State Fee: \$60 _____ Publication Fee: \$600 _____

Public Hearing Date _____ Commission Action _____ Effective Date _____

Name of Applicant BROOKLYN PLANNING AND ZONING Phone _____

Mailing Address 69 S. MAIN ST. BROOKLYN, CT 06234

REQUEST TO AMEND ARTICLE(S) VARIOUS SECTION(S) _____

If more than one Article is requested please attach separate sheet for each one *SEE ATTACHED

PARAGRAPH TO CHANGE _____ OF THE ZONING REGULATIONS

REQUEST TO CHANGE:

REASON FOR REQUEST:

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations

- 1) *Explanation: The purpose of this change is to allow accessory buildings in front yards by Special Permit. Pgs. 39,43,48,53,64,70*

3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1 – Accessory Building

Now: Accessory buildings shall not be located in the front yard.

Proposed: Accessory buildings in the front yard are allowed by Special Permit in accordance with Sec. 9.D.

-
- 2) *Explanation: The purpose of this change is to correct a typo in the Zoning Regulations. Pg. 44*

3.C.2.4.5 Permitted Principle Uses in the RA Zone - Other Uses

Now: Earth Materials Processing in accordance with Section 6.B.2P.

Proposed: Earth Materials Processing in accordance with Section 6.P.

-
- 3) *Explanation: The purpose of this change is to correct a numbering error. Pg. 71*

4.D.2.1. Agricultural-Related Uses

Now: Proposed:
5. 1.

-
- 4) *Explanation: The purpose of this change is to remove the requirement for a \$500 financial guarantee for donation bins put out by tax exempt organizations. Pg. 132*

6.K.2.2 Standards for Donation Bins

Now: The application for a Zoning Permit shall include the contact information for the owner of the bin and the property owner and shall include a \$500 financial guarantee to allow the Town to have the donation bin removed if any violation of this section of the Regulations is not resolved following notice from the Town to either party.

Proposed: The application for a Zoning Permit shall include the contact information for the owner of the bin and the property owner and shall include a \$500 financial guarantee to allow the Town to have the donation bin removed if any violation of this section of the Regulations is not resolved following notice from the Town to either party. The \$500 financial guarantee shall not be collected from an organization that is tax-exempt under section 501(c)(3) of Title 26 of the United States Code.

- 5) *Explanation: The purpose of this change is to return the separation to groundwater and ledge that existed in the past previous set of Zoning Regulations. Pg. 142-144*

6.O.4.1 Standards for Excavation Operations

Now: The proposed language shall be inserted as Section 6.O.4.1. and all subsequent subsections (1-16) shall be renumbered accordingly.

Proposed: The minimum elevation of the excavation shall be no less than five feet above seasonal high groundwater and no less than 6 feet above ledge. Approval of the creation of a pond or water body requires a separate vote of the Commission.

-
- 6) *Explanation: The purpose of this change is to correct an oversight in the preparation of the Zoning Regulations. The Planning and Zoning Commission intended to remove all references to importation of material for processing. Pg. 149*

6.P.3.3 Standards for Earth Materials Processing

Now: All earth materials imported for processing must be clean as defined by CT DEEP and free from any solid waste.

Proposed: All processed materials must be clean as defined by CT DEEP and free from any solid waste.

-
- 7) *Explanation: The purpose of this change is to correct a numbering error. Pg. 164*

7.B.5.4 Surface Material

Now: Proposed:

- | | |
|----|----|
| e. | a. |
| f. | b. |
| g. | c. |

.....

PLANNING AND ZONING COMMISSION

REQUEST FOR CHANGE
IN
ZONING BOUNDARY

Date 6-1-2020

FEE \$ 250.00

State Fee \$ 60.00

Application # ZC 20-001

Check # _____

Public Hearing Date _____ Commission Action _____

Effective Date _____

Name of Applicant Jeff Weaver Phone 860 450 9432

Mailing Address P.O. Box 9, Brooklyn, CT

Applicants Interest in the Property owner

Property Owner Jeff Weaver Phone 860-450 9432

Mailing Address P.O. Box 9, Brooklyn CT

MAP 43 LOT 6 LOT SIZE _____

MAP _____ LOT _____ LOT SIZE _____

MAP _____ LOT _____ LOT SIZE _____

More lots , repeat above on separate sheet

ZONE: R10___ R30___ RA___ VCD___ NC___ RB___ PC___ I___

REQUEST CHANGE: FROM RA TO R30 - 1st Acre

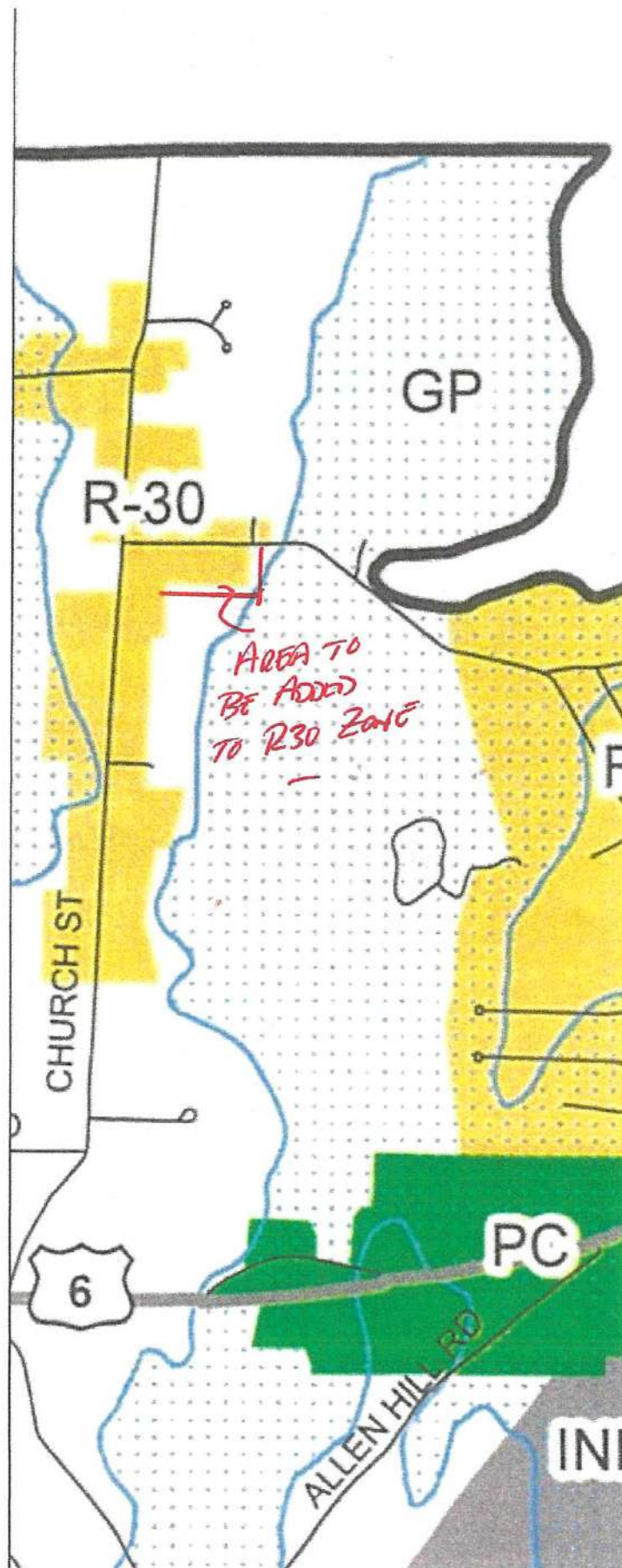
REQUEST CHANGE: FROM _____ TO _____

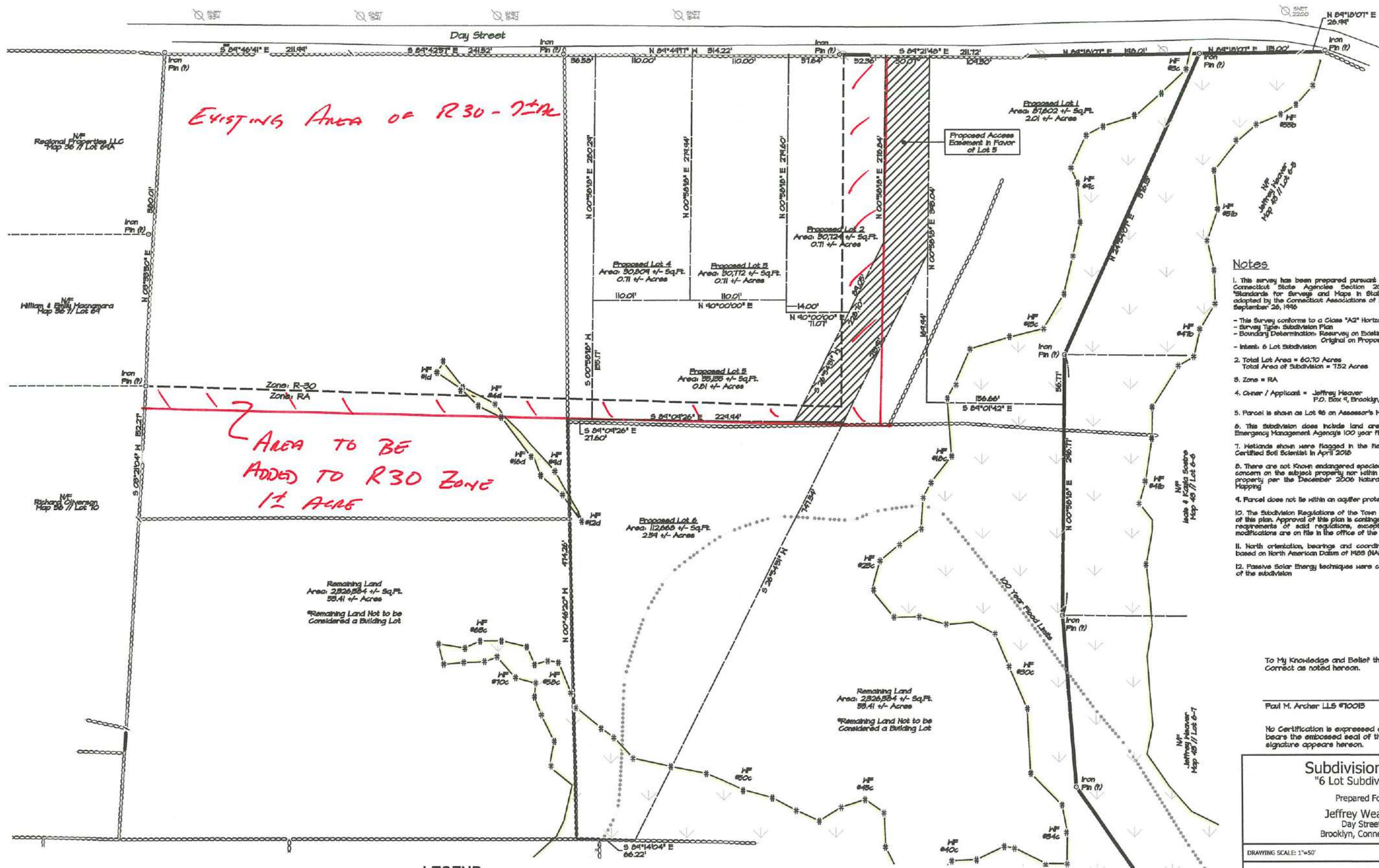
REQUEST CHANGE: FROM _____ TO _____

More changes , repeat above on separate sheet

REASON FOR REQUEST: As Per Planning Request

Note: A petition may be filed at the Hearing by 20% or more of the area lots included in such a change within 500 ft of the property under Section 16.5 of the Zoning Regulations





Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the Standards for Surveys and Maps in State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- This Survey conforms to a Class "A2" Horizontal Accuracy.
- Survey Type: Subdivision Plan
- Boundary Determination: Resurvey on Existing Boundary
- Original on Proposed Boundary
- Intent: 6 Lot Subdivision
- Total Lot Area = 60.70 Acres
- Total Area of Subdivision = 752 Acres
- Zone = RA
- Owner / Applicant = Jeffrey Weaver
P.O. Box 9, Brooklyn, CT 06254
- Parcel is shown as Lot 66 on Assessor's Map 448
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year flood hazard area
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018
- There are not known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
- Parcel does not lie within an aquifer protection area
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
- Passive Solar Energy techniques were considered in the design of the subdivision

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #10015 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Subdivision Plan "6 Lot Subdivision"

Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=50'

0 25 50 100



REVISIONS	
5/26/2020	Access Right of way

Sheet No. 2 of 6 Project No. 1768 Date: February 7, 2020

RECEIVED

PLANNING AND ZONING COMMISSION
TOWN OF BROOKLYN
CONNECTICUT

Received Date JUN 01 2020

Application # SD SD20-001
Check # 5219

APPLICATION FOR SUBDIVISION/RESUBDIVISION

Name of Applicant JEFF WEAVER Phone 860 450-9432
Mailing Address P.O. Box 9, Brooklyn CT
Applicants Interest in the Property OWNER

Property Owner JEFF WEAVER Phone 860 450-9432
Mailing Address P.O. Box 9, Brooklyn CT

Name of Engineer/Surveyor Archer Surveying LLC
Address 18 Providence Rd, Brooklyn CT
Contact Person PAUL ARCHER Phone 775-2240 Fax _____

Name of Attorney _____
Address _____
Phone _____ Fax _____

Subdivision ☒ Re subdivision _____
Property location DAY ST
Map # 43 Lot # 6 Zone R20/RA Total Acres 60 ± Acres to be Divided 8 ±
Number of Proposed Lots 6 Length of New Road Proposed _____
Sewage Disposal: Private ☒ Public _____

Note: Hydrological report required by Section 11.6.2

Length of new Sewer proposed: Sanitary _____ Storm _____
Water: Private _____ Public _____

Is parcel located within 500 feet of an adjoining Town? YES 1.

The following shall accompany the application when required:

- 4.2.2 Fee \$ _____ State (\$60.00) _____ 4.2.3 Sanitary Report _____ 4.2.5, 3 copies of plans _____
4.2.4 Application/ Report of Decision from the Inland Wetlands Com. & the Conservation Com.
4.2.6 Erosion & Sediment Control Plans
4.2.7 Certificate of Public Convenience and Necessity
4.2.8 Applications filed with other Agencies

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

- Applicant: Jeffrey A Weaver Date 5/22/20
- Owner: Jeffrey A Weaver Date 5/22/20

*Note: All consulting fees shall be paid by the applicant



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/Fax 860-774-1308 WWW.NDDH.ORG

March 31, 2020

Jeffrey Weaver
PO Box 9
Brooklyn, CT 06234

SUBJECT: FILE #20000161 -- DAY STREET #, MAP #43, LOT #6, BROOKLYN, CT

Dear Jeffrey Weaver:

Upon review of the Subdivision Plan (ARCHER SURVEYING, LLC, PROJECT NO# AS 1033, DRAWN FEBRUARY 7, 2020) submitted to this office on 03/13/2020 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development.

Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots: 1, 4, & 6 will require an Engineer's plan. Lots: 2, 3 & 5 will require a Surveyor's plan to be submitted to NDDH for review prior an Approval to Construct.
2. Proposed lots are based on 3 bedroom dwellings. If proposed number of bedrooms are increased, septic system designs must be updated per the Connecticut Technical Standards for subsurface sewage disposal standards.
3. If approved septic system area is relocated additional soil testing may be required.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Sherry McGann, RS
Registered Sanitarian-NDDH

cc: Town of Brooklyn; Archer Surveying, LLC.; Keven Racine

June 10, 2020

CERTIFIED#

Jeffrey Weaver
P.O. Box 9
Brooklyn, CT

RE: Notice of Decision – 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6 lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading.

Dear Mr. Weaver:

At the June 9, 2020 Inland Wetland and Watercourses Commission meeting application – 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6 lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading was approved with standard conditions.

A legal notice of this approval will be published in the Villager Newspaper on Friday, June 19, 2020. Please note that this action of the Brooklyn Inland Wetlands and Watercourses Commission may be appealed for fifteen-day period following the publication of the legal notice.

If you have any further questions, please contact Margaret Washburn at 860-779-3411, Extension 31.

Signed,

Margaret Washburn
Wetlands Agent

MW/acl
CC: File, Archer Surveying
Enclosure

NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS

ENGINEERING PLAN REVIEW

PERTAINING TO

6-LOT SUBDIVISION

(ASSESSOR'S MAP 43, LOT 6)

DAY STREET

BROOKLYN, CT

(April 23, 2020)

The comments contained herein pertain to my review of plans, consisting of six sheets, entitled "6-Lot Subdivision, Prepared for Jeffrey Weaver, Day Street, Brooklyn, Connecticut" prepared by Archer Surveying, LLC and Provost & Rovero, Inc., dated February 7, 2020.

Sheet 3 of 6 – Site Development Plan

1. The wells depicted for Lots 2 thru 4 are very close to Day Street pavement. During the winter, and over many previous decades, chemicals such as sodium chloride, magnesium chloride, etc. have been and are used for deicing. Has the application of these chemicals been evaluated on whether or not they are present in groundwater that will be used for drinking purposes for the future homes to be constructed there? Lot 1 may be considered for this, too, since it is adjacent to the road pavement.
2. The vast majority of the Lot 1 is in the regulated wetland upland review area as well as about half of Lot 6. This may be of concern and should be taken under consideration with respect to future improvements to the building lots after a house is constructed, e.g. additional pavement or impaired impervious areas that could contribute detrimental runoff toward the wetland without any regulatory oversight by the Inland Wetlands and Watercourses Commission or the Planning and Zoning Commission.

Sheet 4 of 6 – Detail Sheet No. 1

1. Proposed grading along the east side of the proposed driveway in the vicinity of Lot No. 5 is drawn at a 2:1 slope. I recommend that the slope be no less than 3:1 to better establish vegetative growth and reduce the chance of soil erosion, with a note to this effect be included under the heading "Development Control Plan."
2. Note 1 under "Development Control Plan" states that development of the site will be the responsibility of a lot owner. This being the case, I believe it is important that a permanent grass seed mix be spelled out under the heading "Permanent Vegetative Cover" to be sure that all of the development receives a uniform seed treatment.

Sheet 5 of 6 – Detail Sheet No. 2

1. A utility trench detail should be included for any underground utility installations. A water service trench detail should also be included. Both details should include detectable warning tape.
2. A typical detail of the foundation underdrain size, material, pipe class strength, rodent protected outlet and riprap splash pad should be included on this sheet.

By: _____
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

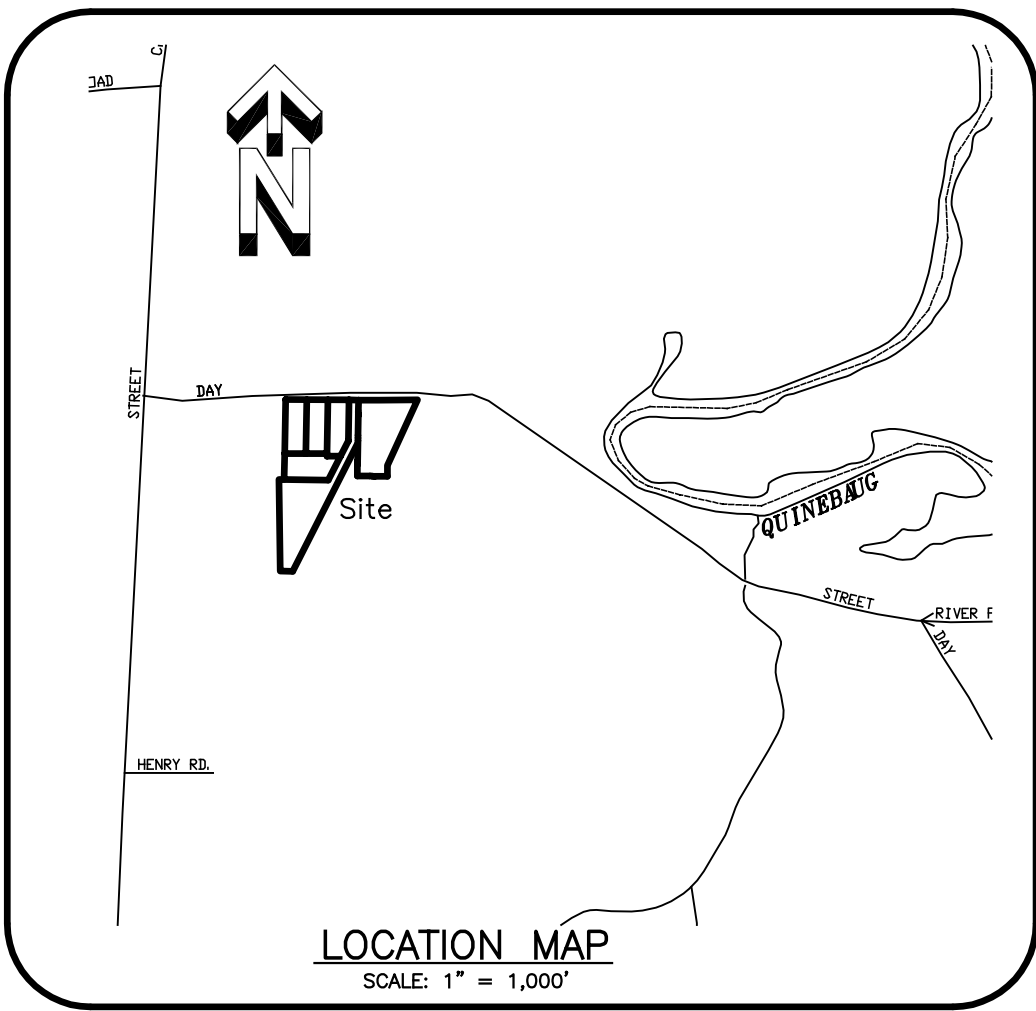
6 LOT SUBDIVISION

PREPARED FOR

Jeffrey Weaver

Day Street
Brooklyn, Connecticut

February 7, 2020



PREPARED BY



Provost & Dovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 • FAX: (860) 230-0860
info@provovinc.com
www.provovinc.com

INDEX OF DRAWINGS

COVER SHEET	SHEET 1 OF 6
SUBDIVISION	SHEET 2 OF 6
SITE DEVELOPMENT PLAN	SHEET 3 OF 6
DETAIL SHEET #1	SHEET 4 OF 6
DETAIL SHEET #2	SHEET 5 OF 6
HISTORY & PARCEL MAP	SHEET 6 OF 6

APPROVED BY THE BROOKLYN
INLAND WETLANDS COMMISSION

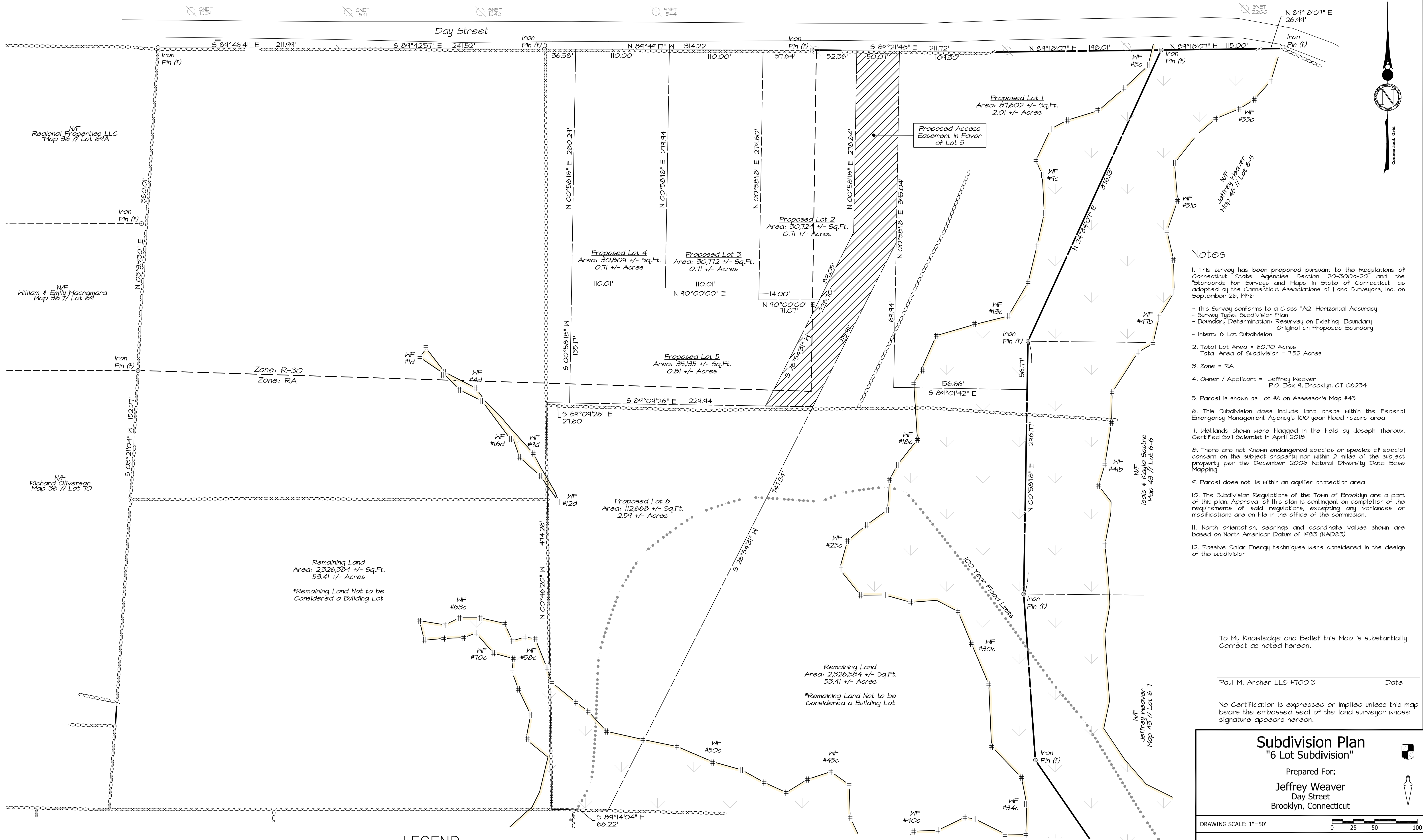
CHAIRMAN _____ DATE _____
Expiration date per section 22A-42A of the Connecticut
General Statutes. Date: _____

APPROVED BY THE BROOKLYN
PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
Expiration date per section 8.26C of the Connecticut
General Statutes. Date: _____

I have reviewed the inland-wetlands shown on this plan
and they appear to be substantially the same as those
which I delineated in the field.

Certified Soil Scientist



Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - This Survey conforms to a Class "A2" Horizontal Accuracy
 - Survey Type: Subdivision Plan
 - Boundary Determination: Resurvey on Existing Boundary
 - Intent: 6 Lot Subdivision
- Total Lot Area = 60.70 Acres
Total Area of Subdivision = 7.52 Acres
- Zone = RA
- Owner / Applicant = Jeffrey Weaver
P.O. Box 9, Brooklyn, CT 06234
- Parcel is shown as Lot #6 on Assessor's Map #43
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year flood hazard area
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018
- There are not Known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping
- Parcel does not lie within an aquifer protection area
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)
- Passive Solar Energy techniques were considered in the design of the subdivision

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #70013 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Subdivision Plan
"6 Lot Subdivision"

Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=50'

0 25 50 100

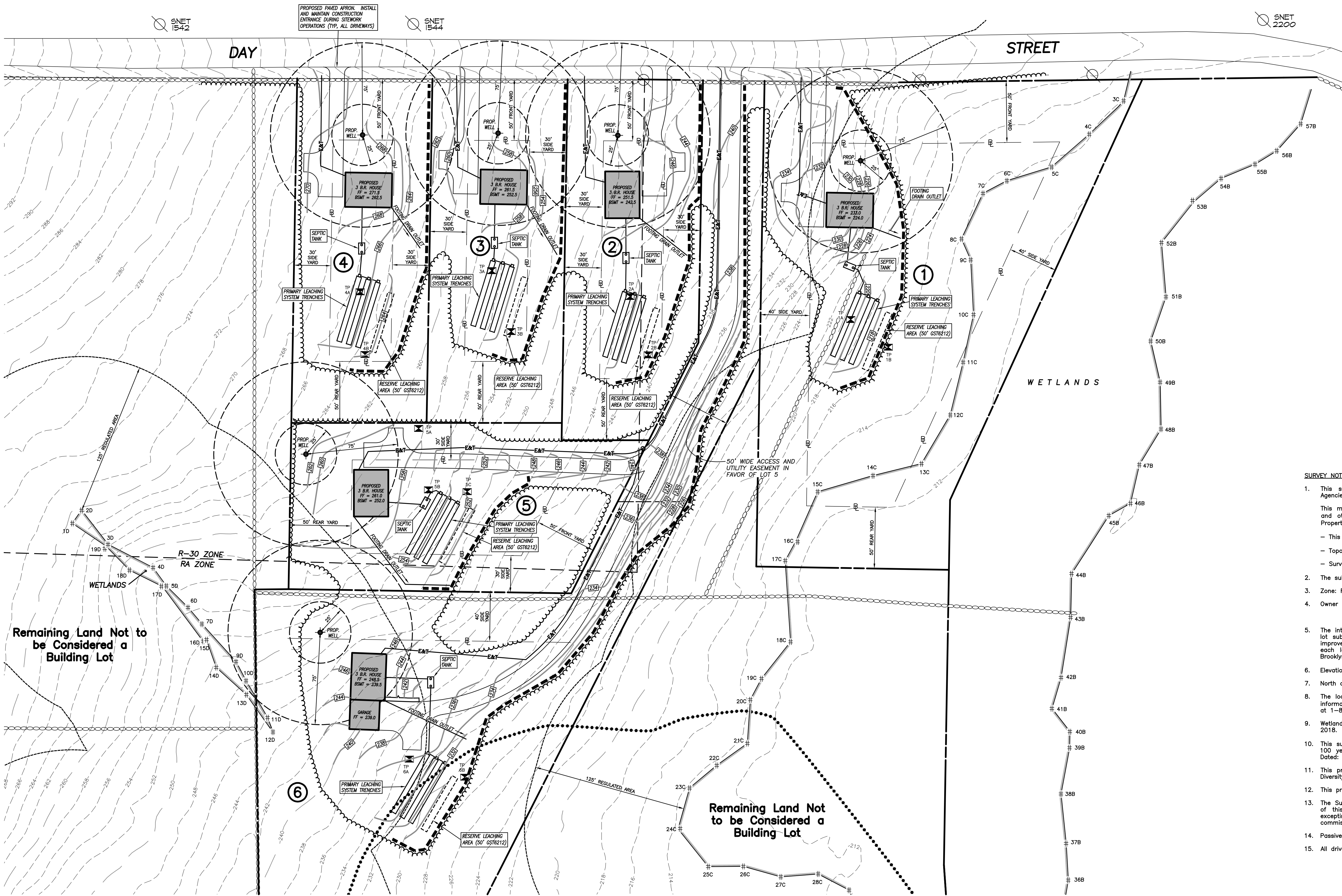


REVISIONS	
5/26/2020	Access Right of way

Sheet No. 2 of 6 Project No. 1768 Date: February 7, 2020

LEGEND

	EXISTING PROPERTY LINE		100 YEAR FLOOD LIMIT
	PROPOSED PROPERTY LINE		EXISTING INDEX CONTOUR
	EXISTING EASEMENT LINE		EXISTING CONTOUR
	ZONE LINE		WETLANDS FLAG
	STONEWALL		BUILDING SETBACK
	STONEWALL REMAINS		IRON PIN FOUND
	UTILITY POLE		PROPERTY POINT



LEGEND

- TEST PIT
- WETLAND FLAG
- STONE WALL
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED UTILITIES
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- PROPOSED RETAINING WALL
- BUILDING SETBACK LINE
- 100 YEAR FLOOD ZONE

SURVEY NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018; This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
 - This survey conforms to a Class "C" horizontal accuracy.
 - Topographic features conform to a Class "T-2" accuracy.
 - Survey Type: General Location Survey.
- The subject parcel is shown as lot #6, on assessor's map #43.
- Zone: RA and R-30.
- Owner of record: Jeffrey Weaver
P.O. Box 9
Brooklyn, CT 06234
- The intent of this survey is to show conceptual development plans for each lot in a 6 lot subdivision. Proposed houses, wells, septic systems, driveways grading and other improvements are conceptual in nature and intended to demonstrate the suitability of each lot for development and compliance with the Brooklyn Zoning Regulations and Brooklyn Subdivision Regulations.
- Elevations based on NAVD 1988. Contour interval = 2'.
- North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
- The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
- Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.
- This subdivision includes land areas within the Federal Emergency Management Agency's 100 year flood hazard area as shown on Flood Insurance Rate Map 090164 003 A, Dated: January 3, 1985.
- This project is not located within an area of concern on the December 2019 Natural Diversity Data Base map for the Town of Brooklyn.
- This project does not lie within an aquifer protection area.
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications which are on file in the office of the commission.
- Passive solar energy techniques were considered in the design of this subdivision.
- All driveways with slopes <10% are to be gravel surfaced.

Site Development Plan "6 Lot Subdivision"

Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
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(860) 230-0856 • FAX: (860) 230-0860
info@provostinc.com
www.provostinc.com

REVISIONS

DATE	DESCRIPTION

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

PAUL M. ARCHER LLS #70013 DATE

3/12/2020

ENGINEER DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP
BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE
SIGNATURE APPEARS HEREON.



EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklyn will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, disking, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedlings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 24" or larger in any dimension will be removed or buried.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work time and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 — October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

— Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree walls.

— Route traffic patterns within the site to avoid existing or newly planted vegetation.

— Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

— Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.

— Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

— Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

— Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

— Segregate construction waters from clean water.

— Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

— Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

— Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

— Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

— Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

— Grade and landscape around buildings and septic systems to divert water away from them.

DEEP TEST PIT DATA / SOIL DESCRIPTIONS

PERFORMED BY: Sherry McGann	
WITNESSED BY: Northeast District Department of Health	DATE: 1/27/2020

TEST PIT: 1A	
0" - 12" Topsoil	
12" - 32" OB Fine Sandy Loam	
32" - 69" GR Compact Gravelly Loamy Med Sand	
69" - 82" Ground Water	
MOTTLES: 32"	
GROUNDWATER: 69"	
LEDGE: NO	
ROOTS: 26"	
RESTRICTIVE: NO	

TEST PIT: 1B	
0" - 11" Topsoil	
11" - 20" BR Fine Sandy Loam	
20" - 36" TN Med Coarse Sand	
36" - 82" Ground Water	
MOTTLES: 34"	
GROUNDWATER: 36"	
LEDGE: NO	
ROOTS: 20"	
RESTRICTIVE: NO	

TEST PIT: 2A	
0" - 6" Topsoil	
6" - 21" RB/OB Fine Sandy Loam	
21" - 42" TN Med Loamy Sand	
42" - 88" GR Mod. Compact Gravelly Loamy Med Sand	
MOTTLES: 42"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 33"	
RESTRICTIVE: NO	

TEST PIT: 2B	
0" - 6" Topsoil	
6" - 22" RB/OB Fine Sandy Loam	
22" - 40" TN Med Loamy Sand	
40" - 96" GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 36"	
RESTRICTIVE: NO	

TEST PIT: 3A	
0" - 4" Topsoil	
4" - 23" OB Fine Sandy Loam	
23" - 36" TN Fine Loamy Sand	
36" - 96" TN/GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 36"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 26"	
RESTRICTIVE: NO	

TEST PIT: 3B	
0" - 5" Topsoil	
5" - 11" OB Fine Sandy Loam	
11" - 40" TN Fine-Med Loamy Sand	
40" - 96" GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 25"	
RESTRICTIVE: NO	

TEST PIT: 4A	
0" - 10" Topsoil	
10" - 21" RB Fine Sandy Loam	
21" - 31" TN Fine Loamy Sand	
31" - 90" GR Compact Gravelly Loamy Fine Sand	
MOTTLES: 31"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 31"	
RESTRICTIVE: NO	

TEST PIT: 4B	
0" - 7" Topsoil	
7" - 17" RB Fine Sandy Loam	
17" - 32" TN Fine Loamy Sand	
32" - 96" GR/TN Compact Gravelly Loamy Med Sand	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 28"	
RESTRICTIVE: NO	

TEST PIT: 5A	
0" - 7" Topsoil	
7" - 36" OB Fine Sandy Loam	
36" - 52" TN Fine Loamy Sand	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: 52"	
ROOTS: 29"	
RESTRICTIVE: NO	

TEST PIT: 5B	
0" - 8" Topsoil	
8" - 36" OB/TN Fine Sandy Loam	
36" - 96" GR/TN Mod.Compact Gravelly Loamy Sand	
MOTTLES: 36"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 30"	
RESTRICTIVE: NO	

TEST PIT: 5C	
0" - 6" Topsoil	
6" - 24" OB Fine Sandy Loam	
24" - 40" TN Med Loamy Sand	
40" - 98" GR/TN Mod. Compact Gravelly Loamy Fine Sand w/ Cobbles, Stones, Boulders	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 36"	
RESTRICTIVE: NO	

TEST PIT: 6A	
0" - 7" Topsoil	
7" - 32" RB Fine Sandy Loam	
32" - 80" GR Compact Gravelly Loamy med Sand w/ Cobbles, Stones	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: 52"	
ROOTS: 30"	
RESTRICTIVE: NO	

TEST PIT: 6B	
0" - 6" Topsoil	
6" - 34" RB/OB Fine Sandy Loam	
34" - 51" GR Compact Gravelly Loamy Fine Sand	
MOTTLES: 34"	
GROUNDWATER: NO	
LEDGE: 51"	
ROOTS: 34"	
RESTRICTIVE: NO	

PERCOLATION DATA PERC 1 - DEPTH 20"	
TIME	Drop (Inches)
10:23	4.0
10:33	14.0
10:43	18.5
10:54	21.0 Dry
PERCOLATION RATE > 4.4 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 2 - DEPTH 21"	
TIME	Drop (Inches)
11:02	5.0
11:15	15.5
11:25	19.5
11:37	22.5 Dry
PERCOLATION RATE > 4 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 3 - DEPTH 20"	
TIME	Drop (Inches)
11:13	3.0
11:23	12.0
11:33	16.0
11:43	19.0
11:52	20.0 Dry
PERCOLATION RATE > 9 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 4 - DEPTH 20"	
TIME	Drop (Inches)
11:55	4.5
12:05	13.5
12:15	16.0
12:25	18.0
PERCOLATION RATE > 5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 5 - DEPTH 20"	
TIME	Drop (Inches)
11:59	5.0
12:09	18.0
12:16	20.0 Dry
PERCOLATION RATE > 3.5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 6 - DEPTH 18"	
TIME	Drop (Inches)
12:34	5.25
12:47	12.5
12:58	16.0
1:08	18.0
PERCOLATION RATE > 5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

SEPTIC SYSTEM DESIGN CRITERIA

LOT 1
TP 1A & 1B
Depth to restrictive layer = 32 in.
Slope % = 9.5 %
Number of Bedrooms = 3
Percolation rate = 4.4 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 2
TP 2A & 2B
Depth to restrictive layer = 40 in.
Slope % = 10.8 %
Number of Bedrooms = 3
Percolation rate = 4.0 min/in
Max. depth into exist. grade = 16 in.
System Size = 495 s.f.

Hydraulic Factor = 18
Flow Factor = 1.50
Perc Factor = 1.00

18 x 1.50 x 1.00 = 27.0'

MLSS = 27.0'

LOT 3
TP 3A & 3B
Depth to restrictive layer = 36 in.
Slope % = 11.4 %
Number of Bedrooms = 3
Percolation rate = 9.0 min/in
Max. depth into exist. grade = 18 in.
System Size = 495 s.f.

Hydraulic Factor = 20
Flow Factor = 1.50
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 4
TP 4A & 4B
Depth to restrictive layer = 31 in.
Slope % = 8.3 %
Number of Bedrooms = 3
Percolation rate = 5.0 min/in
Max. depth into exist. grade = 7 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 5
TP 5B & 5C
Depth to restrictive layer = 32 in.
Slope % = 12.9 %
Number of Bedrooms = 3
Percolation rate = 3.5 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 20
Flow Factor = 1.50
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 6
TP 6A & 6B
Depth to restrictive layer = 32 in.
Slope % = 9.5 %
Number of Bedrooms = 3
Percolation rate = 5.0 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

Detail Sheet No. 1
"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 • FAX: (860) 230-0860
info@provost-rovero.com
www.provro.com

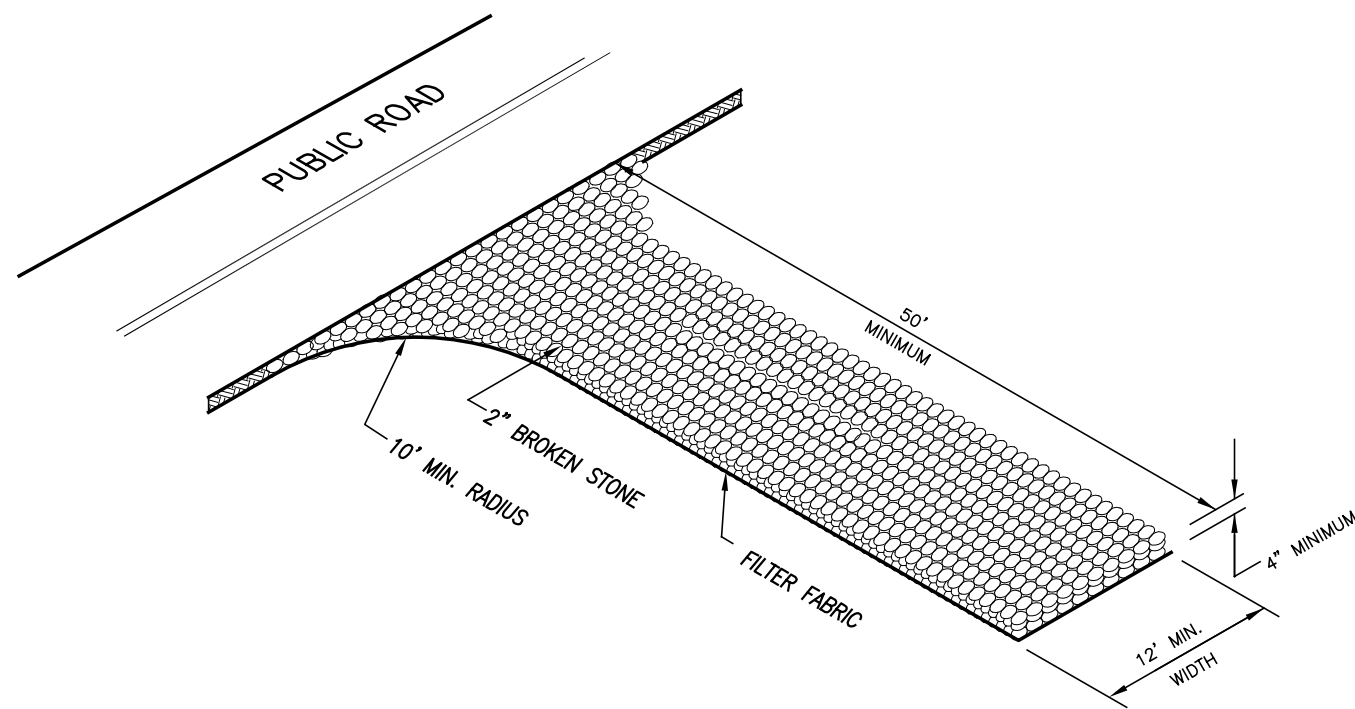
REVISIONS

DATE	DESCRIPTION

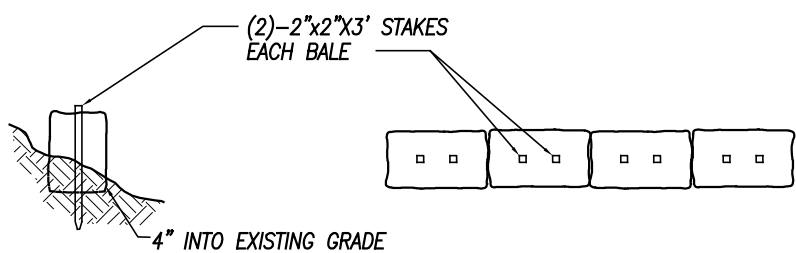
Sheet No. 4 OF 6 Project No. AS 1033 Date: February 7, 2020



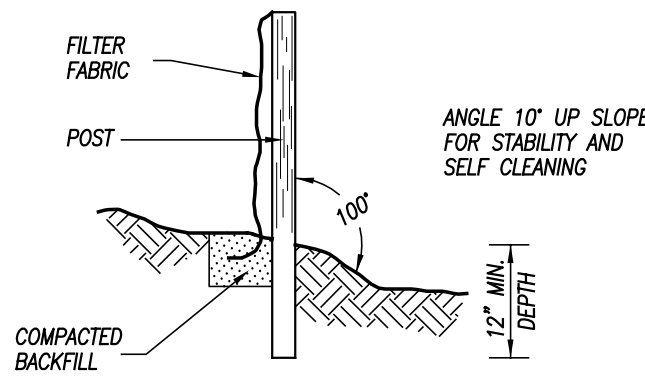
3/12/2020	
ENGINEER	DATE



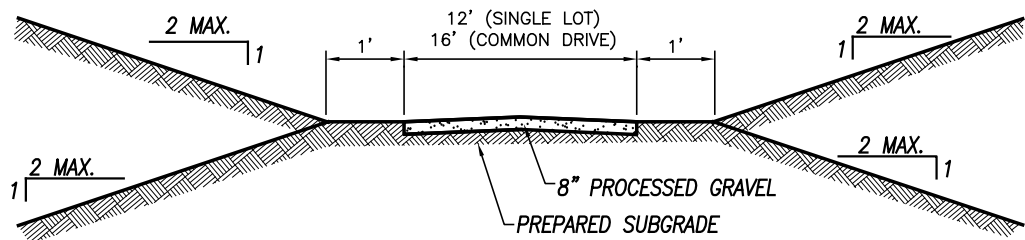
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NOT TO SCALE



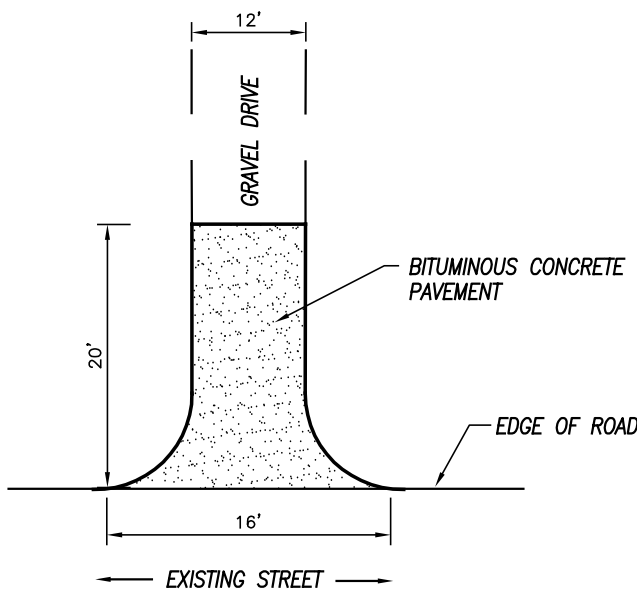
HAYBALE BARRIER
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SILT FENCE
NOT TO SCALE



GRAVEL DRIVE DETAIL
NOT TO SCALE



PAVED APRON
SINGLE DRIVE
NOT TO SCALE

\\202016 Drawings\202016 SP\archer\readings



ENGINEER	3/12/2020
DATE	

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REVISIONS	
DATE	DESCRIPTION

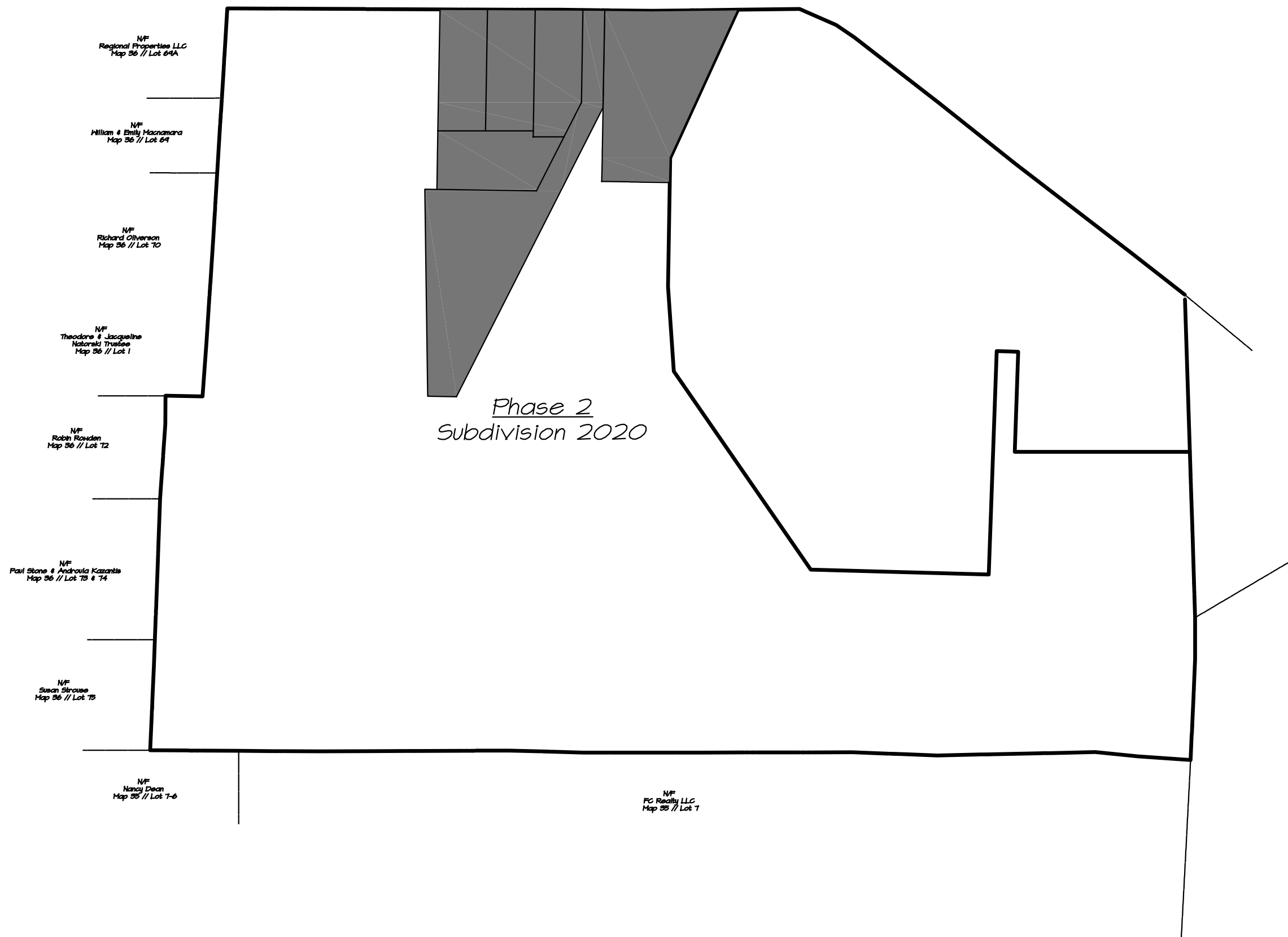
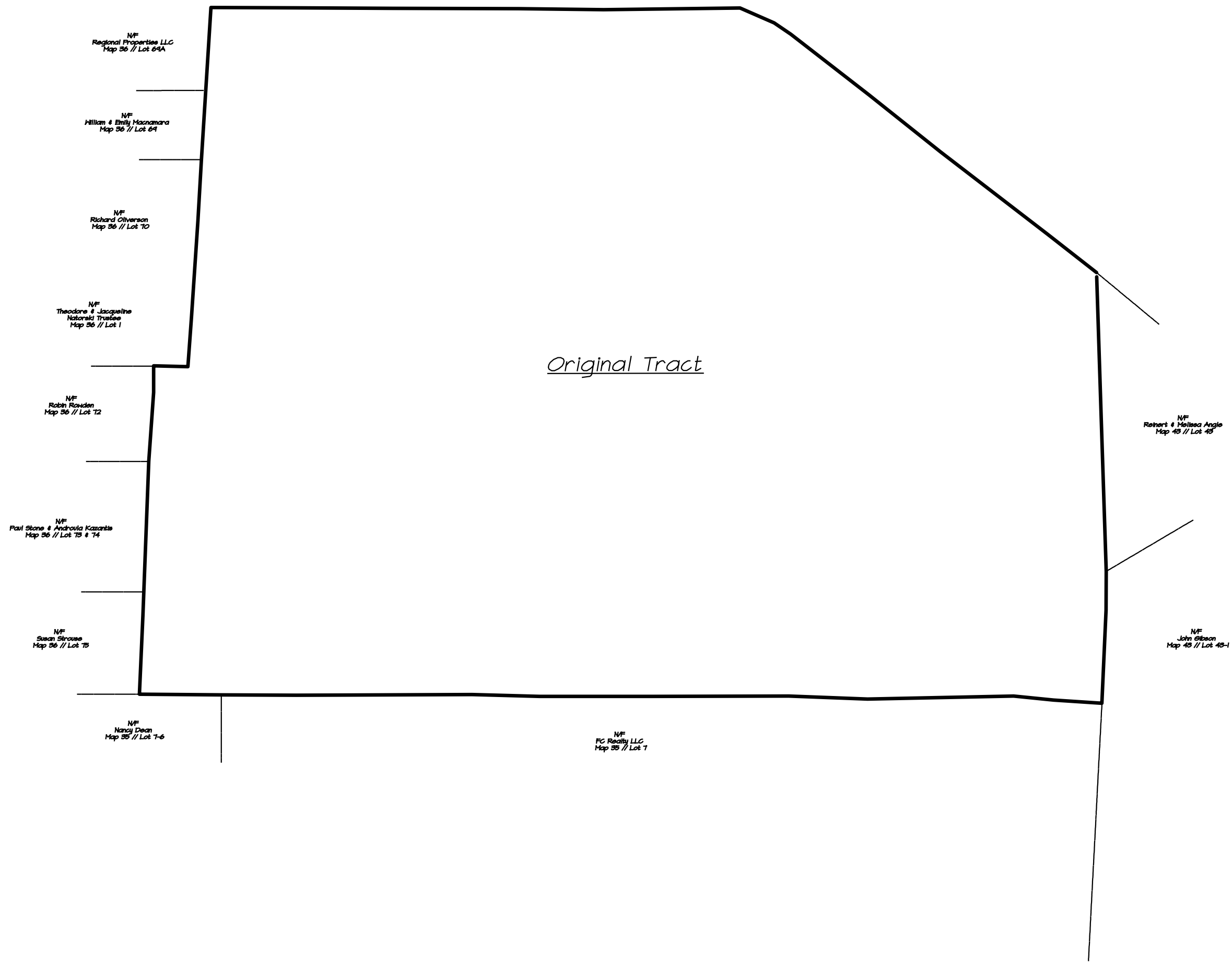
Detail Sheet No. 2
"6 Lot Subdivision"

Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN

18 Providence Road, Brooklyn, CT
(860) 779-2240

Sheet No.	5 OF 6	Project No.	AS 1033	Date:	February 7, 2020
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Grantor	Grantee	Date	Vol. / Pg.
	Michael & Sara Lancer	October 1969	48 / 266
Michael & Sara Lancer	Harold Lancer	July 1989	96 / 379
Harold Lancer	Harold Lancer Trustee	July 1997	184 / 89
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 299

History Plan
"6 Lot Subdivision"
Prepared For:
Jeffrey Weaver
Day Street
Brooklyn, Connecticut



REVISIONS	
DATE	DESCRIPTION

Sheet No. 6 OF 6 Project No. 1768 Date: February 7, 2020

APPRAISAL OF

Vacant Land

LOCATED AT:

Day Street
Brooklyn, CT 06234

FOR:

Archer Surveying LLC
18 Providence Road
Brooklyn, CT 06234

BORROWER:

NA

AS OF:

June 19, 2020

BY:

Robert F. Monahan
Certified General Appraiser RCG.0000981

Platt Associates
Appraisal Report

File No. 20-Lot 43-6

June 24, 2020

Archer Surveying LLC
18 Providence Road
Brooklyn, CT 06234

File Number: 20-Lot 43-6

Mr. Archer;

In accordance with your request, I have appraised the real property at:

Day Street
Brooklyn, CT 06234

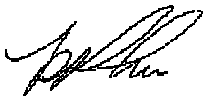
The purpose of this appraisal is to develop an opinion of the market value of the subject property, as vacant.
The property rights appraised are the fee simple interest in the site.

In my opinion, the market value of the property as of June 19, 2020 is:

\$60,000
Sixty Thousand Dollars

The attached report contains the description, analysis and supportive data for the conclusions,
final opinion of value, descriptive photographs, limiting conditions and appropriate certifications.

Respectively submitted,



Robert F. Monahan
Certified General Appraiser RCG.0000981
Practicing Affiliate of the Appraisal Institute

LAND APPRAISAL REPORT

File No. 20-Lot 43-6

SUBJECT	Property Address Day Street		Census Tract 9051		LENDER DISCRETIONARY USE		
	City Brooklyn		County Windham	State CT			Zip Code 06234
	Legal Description Volume 611 Page 81 See Addendum						
	Owner/Occupant Jeffrey A. Weaver		Map Reference 43/6				
	Sale Price \$ NA		Date of Sale NA		Property Rights Appraised		
	Loan charges/concessions to be paid by seller \$ 0.00		<input checked="" type="checkbox"/> Fee Simple		Mortgage Amount \$ _____		
	R.E. Taxes \$ TBD		Tax Year 2019				<input type="checkbox"/> Leashold
Lender/Client Archer Surveying LLC		HOA \$/Mo. 0.00		<input type="checkbox"/> Condominium (HUD/VA)			
18 Providence Road, Brooklyn, CT 06234		<input type="checkbox"/> PUD		Mortgage Type _____			
				Discount Points and Other Concessions _____			
				Paid by Seller \$ _____			
				Source _____			

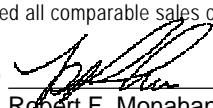
NEIGHBORHOOD	LOCATION		<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	<input type="checkbox"/> Rural	NEIGHBORHOOD ANALYSIS							
	BUILT UP		<input type="checkbox"/> Over 75%	<input checked="" type="checkbox"/> 25-75%	<input type="checkbox"/> Under 25%								
	GROWTH RATE		<input type="checkbox"/> Rapid	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Slow	Employment Stability	<input type="checkbox"/> Good	<input checked="" type="checkbox"/> Avg.	<input type="checkbox"/> Fair	<input type="checkbox"/> Poor			
	PROPERTY VALUES		<input type="checkbox"/> Increasing	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Declining	Convenience to Employment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
	DEMAND/SUPPLY		<input type="checkbox"/> Shortage	<input checked="" type="checkbox"/> In Balance	<input type="checkbox"/> Over Supply	Convenience to Shopping	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
	MARKETING TIME		<input type="checkbox"/> Under 3 Mos.	<input checked="" type="checkbox"/> 3-6 Mos.	<input type="checkbox"/> Over 6 Mos.	Convenience to Schools	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
	PRESENT LAND USE %		LAND USE CHANGE		PREDOMINANT	SINGLE FAMILY HOUSING		Adequacy of Public Transportation		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Single Family 35%		Not Likely <input checked="" type="checkbox"/>		OCCUPANCY	PRICE	AGE	Recreation Facilities		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	2-4 Family 2%		Likely <input type="checkbox"/>		Owner <input checked="" type="checkbox"/>	\$(000)	(yrs)	Adequacy of Facilities		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Multi-Family 2%		In process <input type="checkbox"/>		Tenant <input type="checkbox"/>	75	Low	1	Property Compatibility		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Commercial 15%		To: _____		Vacant (0-5%) <input checked="" type="checkbox"/>	700	High	100+	Protection from Detrimental Cond.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Industrial _____				Vacant (over 5%) <input type="checkbox"/>	Predominant			Police & Fire Protection		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vacant 46%					225 -		30	General Appearance of Properties		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
								Appeal to Market		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: Race or the racial composition of the neighborhood are not considered reliable appraisal factors. COMMENTS: The subject property is located in the northeastern quadrant of Brooklyn. The neighborhood boundaries are the Quinebaug River to the east, the Town of Pomfret to the north, Route 6 to the south and Route 169 to the west. The neighborhood is made up primarily of owner occupied single family homes and vacant land. Neighborhood residents have good access to shopping, employment, town amenities and Interstate 395.

SITE	Dimensions 648.02+/-feet x Irregular				Topography		Slope down west to east
	Site Area 7.52+/-acres				Size		Adequate
	Zoning Classification R-30 & RA				Shape		Irregular
	HIGHEST & BEST USE: Present Use Vacant				Drainage		Appears Adequate
	UTILITIES		SITE IMPROVEMENTS		View		Residential
	Public	Other	Type	Public	Private	Landscaping	Raw Land
	Electricity <input checked="" type="checkbox"/>	Available	Street Asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Driveway	None
	Gas <input type="checkbox"/>	None	Curb/Gutter None	<input type="checkbox"/>	<input type="checkbox"/>	Apparent Easements	None Noted
	Water <input type="checkbox"/>	Well Necessary	Sidewalk None	<input type="checkbox"/>	<input type="checkbox"/>	FEMA Flood Hazard	Yes* <input checked="" type="checkbox"/> No _____
	Sanitary Sewer <input type="checkbox"/>	Septic Necessary	Street Lights None	<input type="checkbox"/>	<input type="checkbox"/>	FEMA* Map/Zone	090164 0003 A/Zones C & A
Storm Sewer <input type="checkbox"/>	None	Alley None	<input type="checkbox"/>	<input type="checkbox"/>			
Comments (Apparent adverse easements, encroachments, special assessments, slide areas, etc.): The most eastern and southern areas of the land appraised appear to be in Zone A, a 100-year flood hazard area. The remainder of the land is in Zone C, which is not a flood hazard area. See Addendum							

The undersigned has recited three recent sales of properties most similar and proximate to subject and has considered these in the market analysis. The description includes a dollar adjustment, reflecting market reaction to those items of significant variation between the subject and comparable properties. If a significant item in the comparable property is superior to, or more favorable than, the subject property, a minus (-) adjustment is made, thus reducing the indicated value of subject; if a significant item in the comparable is inferior to, or less favorable than, the subject property, a plus (+) adjustment is made, thus increasing the indicated value of the subject.

SALES COMPARISON ANALYSIS	ITEM	SUBJECT	COMPARABLE NO. 1		COMPARABLE NO. 2		COMPARABLE NO. 3		
	Address	Day Street Brooklyn, CT	Grandview Terrace Brooklyn, CT		185 Geer Road Killingly, CT		Costello Road Brooklyn, CT		
	Proximity to Subject		2.62 miles SW		4.12 miles NE		2.82 miles SW		
	Sales Price	\$ NA	\$ 99,000		\$ 80,000		\$ 55,000		
	Price/ Acre	\$ <input checked="" type="checkbox"/> 12044	\$ 12044		\$ 12308		\$ 5612		
	Data Source	Survey/Inspect.	Tn Records/MLS/Mappings		Tn Records/MLS/Mappings		Tn Records/MLS/Mappings		
	VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+()\$ Adjustment	DESCRIPTION	+()\$ Adjustment	DESCRIPTION	+()\$ Adjustment	
	Sales or Financing		No Mort Noted		Conventional		No Mort Noted		
	Concessions		None Noted		None Noted		None Noted		
	Date of Sale/Time	As of 6/22/2020	12/27/2019		10/24/2018		1/10/2020		
	Location	Average	Average		Average		Average		
	Site/View	7.52+/-ac/Resid	8.22+/-ac/Resid		6.50+/-ac/Resid		9.80+/-ac/Resid		
	Wetland	Average	Average		Average/Brook Frt		Average		
	Topography	Sloping/Wooded	G. Slope/Wooded		G. Slope/Open		Sloping/Wooded		
	Zone	R-30/RA	R-30		RD		RA		
	Subdivision Pot	Above Average	Gd/3 App Lots		Above Average		Average		
	Net Adj. (total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ 3,613		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ 3,078		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 1,684		
	Indicated Value of Subject		Gross: 30.0 Net: -30.0 \$ 8,431		Gross: 35.0 Net: -25.0 \$ 9,230		Gross: 30.0 Net: 30.0 \$ 7,296		
	Comments of Sales Comparison: The above sales are considered to be the most comparable sales available. The adjustments are explained in the addendum. See Addendum								

RECONCILIATION	Comments and Conditions of Appraisal: The final estimate of value is made assuming there are no legal or environmental conditions that would negatively affect value. The estimate of value is made based on the hypothetical condition that the land is divided as described.	
	Final Reconciliation: The Sales Comparison Approach is considered the best indicator of value as the subject property is vacant land. The Cost and Income Approaches are not applicable.	
	I (WE) ESTIMATE THE MARKET VALUE, AS DEFINED, OF THE SUBJECT PROPERTY AS OF June 19, 2020 to be \$ 60,000	
	I (We) certify: that to the best of my (our) knowledge and belief, the facts and data used herein are true and correct; that I (we) personally inspected the subject property and inspected all comparable sales cited in this report; and that I (we) have no undisclosed interest, present or prospective therein.	
Appraiser(s)  Review Appraiser _____ <input type="checkbox"/> Did <input type="checkbox"/> Did Not Inspect Property		
Robert F. Monahan (if applicable)		

ADDENDUM

Borrower: NA		File No.: 20-Lot 43-6	
Property Address: Day Street		Case No.:	
City: Brooklyn	State: CT	Zip: 06234	
Lender: Archer Surveying LLC			

Legal Description

The function of this Appraisal Report is to estimate the Market Value of a property owned by Jeffrey A. Weaver located on Day Street, identified as Map 43 Lot 6. The subject property is in the process of being split from a larger 60.70+/-acre parcel. This appraisal will assist the client with the proposed subdivision of the land . The client is Archer Surveying, LLC. The intended users are the client and their appointees.

This Appraisal Report has been completed in accordance with the requirements of the Uniform Standards of Professional Appraisal Practice.

Site Comments

Map: 43/6 (Portion of)

Size: 7.52+/-acres

Road Frt: 648.30+/-linear feet on the south and south west side of Day Street

Shape: Irregular

Topography: Slope down from west to east, about 60 foot drop in elevation. The land is mostly wooded

Soil Make up: The majority of the soils are Merrimac and Canton and Charlton. Fine sandy soils that are moderately well to excessively well draining soils. There appears to be 1.6+/-acres of wetland soils, Walpole (Symbol 13 on soils map) along the eastern boundary line.

Utilities: No municipal water or sewer lines in this area. Onsite well and septic systems are required for development.

Easements: None Noted

Remarks: The subject property is situated in both the R-30 and RA Residential Zones. The R-30 Zone requires 30,000 sf feet of land with 110 feet of road frontage for a legal building lot. The RA Zone requires 2.07 acres of land with 150 feet of road frontage. Based on the land characteristics and zoning requirements the subject parcel has subdivision potential.

Comments on Sales Comparison

The sales are adjusted on a per acre basis. Two of the sales are located in Brooklyn the third is in neighboring Killingly where values are comparable. The sales closed between October of 2018 and January of 2020 in a stable market.

Sale #1 is the sale of 8.22 acres of land which was divided into 3 lots at the the time of sale. This property was purchased by a local developer Pasay Development LLC. The land is gentle sloping and wooded. One lot fronts on the cul de sac the others are accessed off a common driveway. This land is in the R-30 Zone.

Sale #2 is a 6.50+/-acre lot with subdivision potential. This lot fronts on the corner of Mashentuck and Geer Roads with 925+/-linear feet of road frontage. The land also fronts on the Mashentuck Brook. The lot has subdivision potential but is located in the Rural Development Zone which requires 250 feet of road frontage and 80,000 sf of land. A portion of the subject land is located in the R-30 Zone which will allow for more lots.

Sale #3 is located on Costello Road in Brooklyn and includes 374+/- feet of road frontage with inferior subdivision potential. This property was purchased by an abutter after being on the market for several months. The original listing price was \$64,900.

After all the necessary adjustments the adjusted sales indicate a potential market value of \$7,296 to \$9,230 per acre. A market value in the middle of this range \$8,000 (Rounded) is estimated for the subject.

Then: 7.52 acres x \$8,000/ac = \$60,160 Rounded to \$60,000

Exposure time is the estimated length of time prior to the effective date of the appraisal the property being appraised would have had to be exposed to the open market in order to contract a buyer at market value. To the appraiser's knowledge the subject is not currently offered for sale nor has it been on the market in recent months. If offered for sale at the appraised market value an exposure time of 3-12 months is estimated.

DEFINITION OF MARKET VALUE: The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what he considers his own best interest; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions* granted by anyone associated with the sale.

*Adjustments to the comparables must be made for special or creative financing or sales concessions. No adjustments are necessary for those costs which are normally paid by sellers as a result of tradition or law in a market area; these costs are readily identifiable since the seller pays these costs in virtually all sales transactions. Special or creative financing adjustments can be made to the comparable property by comparisons to financing terms offered by a third party institutional lender that is not already involved in the property or transaction. Any adjustment should not be calculated on a mechanical dollar for dollar cost of the financing or concession but the dollar amount of any adjustment should approximate the market's reaction to the financing or concessions based on the Appraiser's judgment.

STATEMENT OF LIMITING CONDITIONS AND APPRAISER'S CERTIFICATION

CONTINGENT AND LIMITING CONDITIONS: The appraiser's certification that appears in the appraisal report is subject to the following conditions:

1. The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.
2. The appraiser has provided a sketch in the appraisal report to show approximate dimensions of the improvements and the sketch is included only to assist the reader of the report in visualizing the property and understanding the appraiser's determination of its size.
3. The appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
4. The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.
5. The appraiser has estimated the value of the land in the cost approach at its highest and best use and the improvements at their contributory value. These separate valuations of the land and improvements must not be used in conjunction with any other appraisal and are invalid if they are so used.
6. The appraiser has noted in the appraisal report any adverse conditions (such as, needed repairs, depreciation, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property or adverse environmental conditions (including the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.
7. The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
8. The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice.
9. The appraiser has based his or her appraisal report and valuation conclusion for an appraisal that is subject to satisfactory completion, repairs, or alterations on the assumption that completion of the improvements will be performed in a workmanlike manner.
10. The appraiser must provide his or her prior written consent before the lender/client specified in the appraisal report can distribute the appraisal report (including conclusions about the property value, the appraiser's identity and professional designations, and references to any professional appraisal organizations or the firm with which the appraiser is associated) to anyone other than the borrower; the mortgagee or its successors and assigns; the mortgage insurer; consultants; professional appraisal organizations; any state or federally approved financial institution; or any department, agency, or instrumentality of the United States or any state or the District of Columbia; except that the lender/client may distribute the property description section of the report only to data collection or reporting service(s) without having to obtain the appraiser's prior written consent. The appraiser's written consent and approval must also be obtained before the appraisal can be conveyed by anyone to the public through advertising, public relations, news, sales, or other media.


APPRAISERS CERTIFICATION: The Appraiser certifies and agrees that:

1. I have researched the subject market area and have selected a minimum of three recent sales of properties most similar and proximate to the subject property for consideration in the sales comparison analysis and have made a dollar adjustment when appropriate to reflect the market reaction to those items of significant variation. If a significant item in a comparable property is superior to , or more favorable than, the subject property, I have made a negative adjustment to reduce the adjusted sales price of the comparable and, if a significant item in a comparable property is inferior to, or less favorable than the subject property, I have made a positive adjustment to increase the adjusted sales price of the comparable.
2. I have taken into consideration the factors that have an impact on value in my development of the estimate of market value in the appraisal report. I have not knowingly withheld any significant information from the appraisal report and I believe, to the best of my knowledge, that all statements and information in the appraisal report are true and correct.
3. I stated in the appraisal report only my own personal, unbiased, and professional analysis, opinions, and conclusions, which are subject only to the contingent and Limiting Conditions specified in this form.
4. I have no present or prospective interest in the property that is the subject to this report, and I have no present or prospective personal interest or bias with respect to the participants in the transaction. I did not base, either partially or completely, my analysis and/or the estimate of market value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property or of the present owners or occupants of the properties in the vicinity of the subject property.
5. I have no present or contemplated future interest in the subject property, and neither my current or future employment nor my compensation for performing this appraisal is contingent on the appraised value of the property.
6. I was not required to report a predetermined value or direction in value that favors the cause of the client or any related party, the amount of the value estimate, the attainment of a specific result, or the occurrence of a subsequent event in order to receive my compensation and/or employment for performing the appraisal. I did not base the appraisal report on a requested minimum valuation, a specific valuation, or the need to approve a specific mortgage loan.
7. I performed this appraisal in conformity with the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place as of the effective date of this appraisal, with the exception of the departure provision of those Standards, which does not apply. I acknowledge that an estimate of a reasonable time for exposure in the open market is a condition in the definition of market value and the estimate I developed is consistent with the marketing time noted in the neighborhood section of this report, unless I have otherwise stated in the reconciliation section.
8. I have personally inspected the subject property and the exterior of all properties listed as comparables in the appraisal report. I further certify that I have noted any apparent or known adverse conditions in the subject improvements, on the subject site, or on any site within the immediate vicinity of the subject property of which I am aware and have made adjustments for these adverse conditions in my analysis of the property value to the extent that I had market evidence to support them. I have also commented about the effect of the adverse conditions on the marketability of the subject property.
9. I personally prepared all conclusions and opinions about the real estate that were set forth in the appraisal report. If I relied on significant professional assistance from any individual or individuals in the performance of the appraisal or the preparation of the appraisal report, I have named such individual(s) and disclosed the specific tasks performed by them in the reconciliation section of this appraisal report. I certify that any individual so named is qualified to perform the tasks. I have not authorized anyone to make a change to any item in the report; therefore, if an unauthorized change is made to the appraisal report, I will take no responsibility for it.

SUPERVISORY APPRAISER'S CERTIFICATION: If a supervisory appraiser signed the appraisal report, he or she certifies and agrees that: I directly supervise the appraiser who prepared the appraisal report, have reviewed the appraisal report, agree with the statements and conclusions of the appraiser, agree to be bound by the appraiser's certifications numbered 4 through 7 above, and am taking full responsibility for the appraisal and the appraisal report.

ADDRESS OF PROPERTY APPRAISED: Day Street, Brooklyn, CT, 06234

APPRAISER:

Signature: 
Name: Robert F. Monahan
Date Signed: 06/29/2020
State Certification #: Certified General Appraiser RCG0000981
or State License #: _____
State: CT
Expiration Date of Certification or License: 04/30/2021

SUPERVISORY APPRAISER (only if required)

Signature: _____
Name: _____
Date Signed: _____
State Certification #: _____
or State License #: _____
State: _____
Expiration Date of Certification or License: _____

☐ Did ☐ Did Not Inspect Property

Practicing Affiliate of the Appraisal Institute

Subject Photos

Borrower: NA		File No.: 20-Lot 43-6
Property Address: Day Street		Case No.:
City: Brooklyn	State: CT	Zip: 06234
Lender: Archer Surveying LLC		



View of Day Street
Looking West Subject Road Frontage on Left



Subject land in area of Proposed Lot 1



Subject In area of Proposed Lot 6



Subject in area of Proposed Lot 2



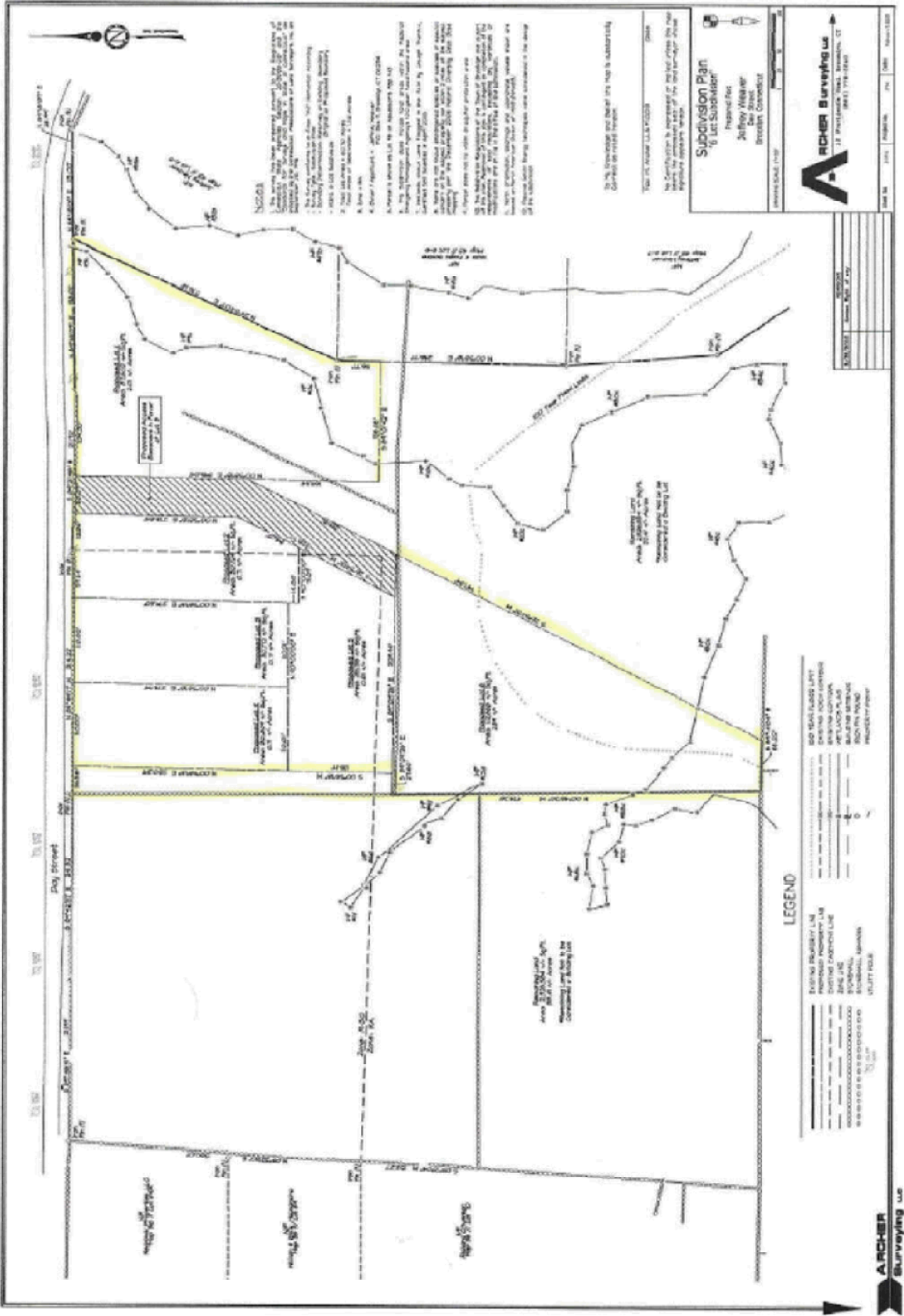
Subject in area of Proposed Lot 3



Subject in area of Proposed Lot 4

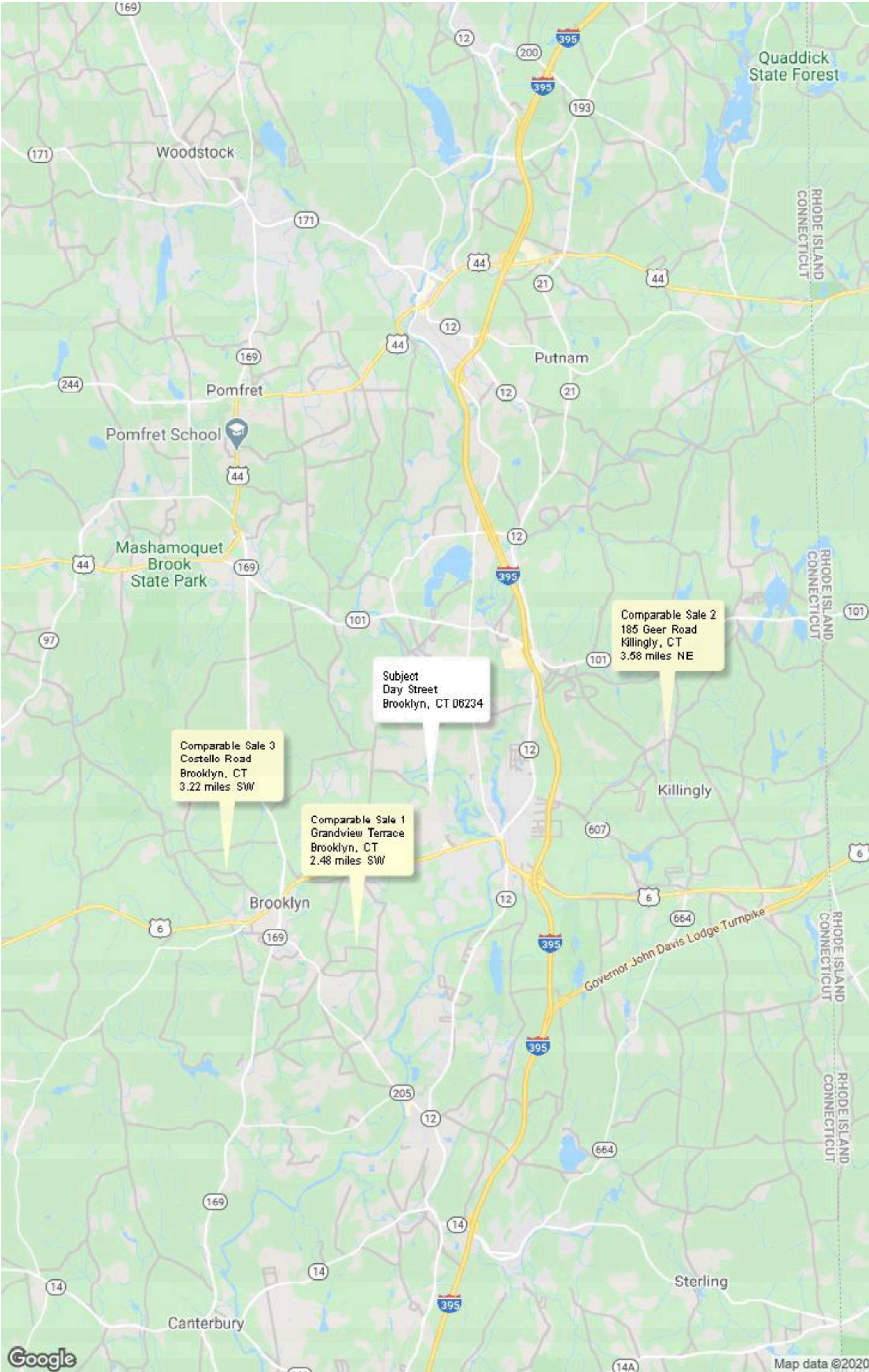
PLAT MAP

Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT
Lender: Archer Surveying LLC	Zip: 06234

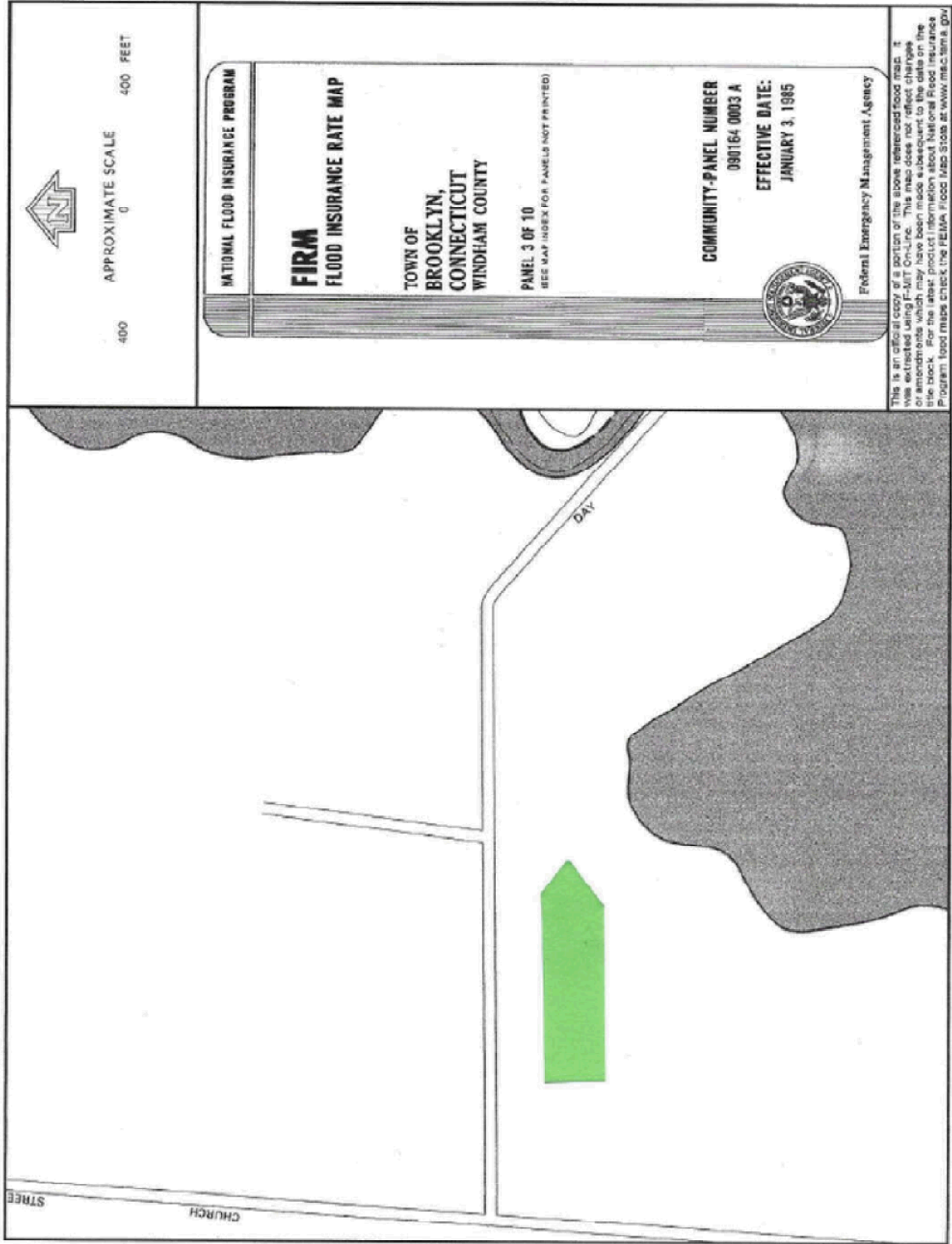


LOCATION MAP

Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT Zip: 06234
Lender: Archer Surveying LLC	

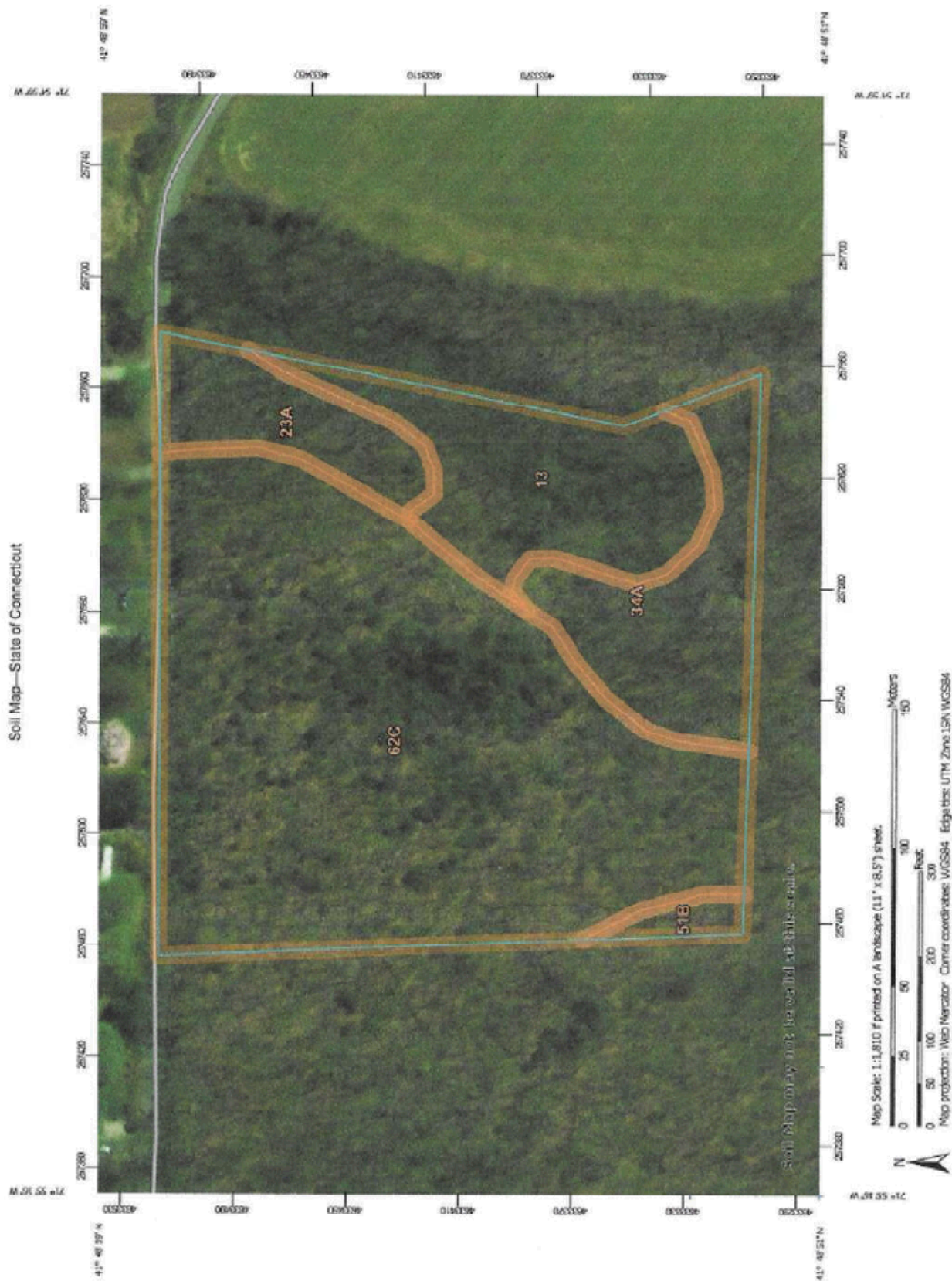


Borrower: NA		File No.: 20-Lot 43-6	
Property Address: Day Street		Case No.:	
City: Brooklyn		State: CT	Zip: 06234
Lender: Archer Surveying LLC			



Soils Map

Borrower: NA		File No.: 20-Lot 43-6	
Property Address: Day Street		Case No.:	
City: Brooklyn		State: CT	Zip: 06234
Lender: Archer Surveying LLC			



Soils Map Legend

Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT Zip: 06234
Lender: Archer Surveying LLC	

Soil Map—State of Connecticut

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
13	Walpole sandy loam, 0 to 3 percent slopes	1.6	14.9%
23A	Sudbury sandy loam, 0 to 5 percent slopes	0.8	7.4%
34A	Merrimac fine sandy loam, 0 to 3 percent slopes	1.3	12.5%
51B	Sutton fine sandy loam, 0 to 8 percent slopes, very stony	0.1	1.4%
62C	Canton and Charlton fine sandy loams, 3 to 15 percent slopes, extremely stony	6.7	63.8%
Totals for Area of Interest		10.5	100.0%



Natural Resources
Conservation Service

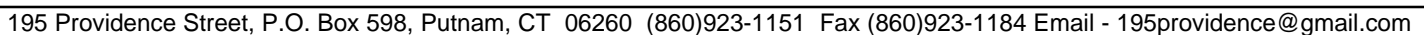
Web Soil Survey
National Cooperative Soil Survey

6/19/2020
Page 3 of 3

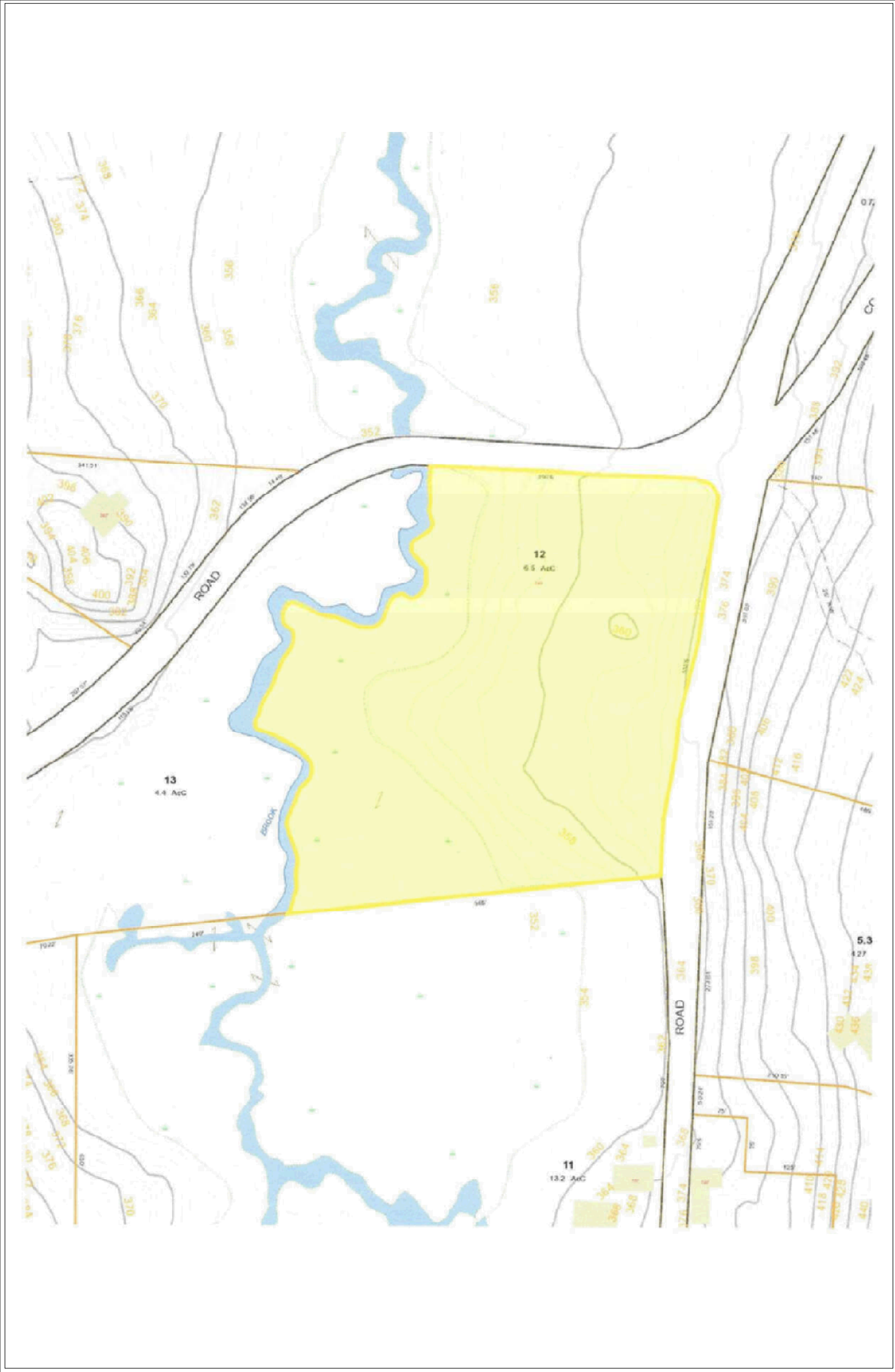
AERIAL MAP

Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT
Lender: Archer Surveying LLC	Zip: 06234

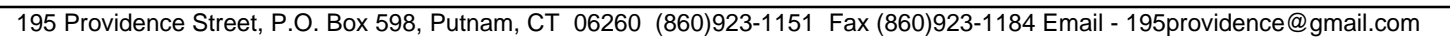




Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT
Lender: Archer Surveying LLC	Zip: 06234



Borrower: NA	File No.: 20-Lot 43-6
Property Address: Day Street	Case No.:
City: Brooklyn	State: CT Zip: 06234
Lender: Archer Surveying LLC	



***** INVOICE *****

File Number: 20-Lot 43-6

Borrower : NA

Invoice # : 20-Lot 43-6
Order Date :
Reference/Case # :
PO Number :

Day Street
Brooklyn, CT 06234

	\$	600.00
	\$	-----
Invoice Total	\$	600.00
State Sales Tax @	\$	0.00
Deposit	(\$)
Deposit	(\$)

Amount Due	\$	600.00

Terms: Due upon receipt

Please Make Check Payable To:

Platt Associates

Fed. I.D. #: 06-1575716



RECEIVED

JUN 03 2020

TOWN OF BROOKLYN

P.O. Box 356 - Route 6 and 169
BROOKLYN, CONNECTICUT 06234

OFFICE OF SELECTMEN
TELEPHONE: 779-3411

TOWN CLERK
TELEPHONE: 774-9543

ASSESSOR
TELEPHONE: 774-5611

TAX COLLECTOR
TELEPHONE: 774-4072

JUDGE OF PROBATE
TELEPHONE: 774-5973

Received Date 6/3/2020
Fee \$ 250 State Fee (\$80.00)

Application # SPG 20-001
Check # 6129

APPLICATION FOR GRAVEL BANK SPECIAL PERMIT

Name of Applicant Paul R. Lehto Phone 860-208-9789
Mailing Address 40 Almada Drive, Brooklyn, CT 06234
Relation owner

Property Owner Paul R. Lehto Phone 860-208-9789
Mailing Address 40 Almada Drive, Brooklyn, CT 06234

Name of Engineer/Surveyor Provost & Rovero, Inc.
Address P.O. Box 191, Plainfield, CT 06374
Contact Person David J. Held, P.E., L.S. Phone 860-230-0856 Fax 860-230-0860

Name of Attorney N/A
Address _____
Phone _____ Fax _____

Property address Allen Hill Road (Riverwalk Drive)
Property Location east of Allen Hill Road
Map # 32 Lot # 148 Zone RA Total Acres 71.34

Maximum Area :
Acres of Gravel Removal 6.7 acres Cubic Yards of Gravel Removal 90,000 cu

Is Application for Renewal? Yes _____ No X
Original Date of Issuance of Permit _____ If Yes, Amount Removed Last Year _____
Issued To: _____

Compliance with Article 13, Gravel Banks
Compliance with Article 5, Special Permit Requirements

The owner and applicant hereby grant the Brooklyn Planning and Zoning Commission, the Board of Selectman, Authorized Agents of the Planning and Zoning Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Zoning regulations and the Subdivision regulations of the Town of Brooklyn

Applicant: Paul Lehto Date 5/20/2020
Owner: Paul Lehto Date 5/20/2020

*Note: All consulting fees shall be paid by the applicant

EARTH EXCAVATION AND REMOVAL CHECK LIST

The following items are required as a part of the excavation plan. Note these are minimum requirements. Other information may be required based on your application

 X Contours at 2' intervals

For renewals:

 Contours as of original permit approval

----- Contours as of date of survey(updated to present) stamped by a licensed land surveyor

 X Amount of material to be removed

For Renewals:

 Amount of material originally approved to be removed

----- Amount of material removed to date, by an annual accounting for each 12 month period of the permit

 Amount of material to be removed during the next year

 Date the permit will next expire if not renewed.

 X Maximum depth of excavation

 X Depths to water table

 X Note measures to be used to protect the water table

 X Location of any stock piles

 X Areas to be restored

 X Restoration Plan

 X Erosion and Sediment Control Plan

 X Erosion and Sediment Control Narrative

 X Erosion and Sediment Control Bond

For renewals:

 Amount of bond that has been filed

 Verification of Erosion and Sedimentation control measures

 X Traffic pattern within the site

 Will any trucks be repaired on site if so, where

 X Location of fueling pad

 Will any equipment or trucks be stored on site

 If so, locate on site

 X Average number of trips per day

 X Maximum number of trips per day

 X Note trucks will be covered when leaving the site

☐ Processing equipment if any and usage
☐ Amount of processing to be done
 ☐ Per year
 ☐ Per month

☐ How will noise issues be addressed
☒ How will dust issues be address
 ☒ Calcium chloride ☒ water ☐ at what frequency
☒ Description of the project, trucks/day, days and hours of operation, completion date etc
☒ Phasing plan
☒ Time frame for project

☐ Site inspection by staff
☐ Compliance with Article 5 Special Permit
☐ Compliance with Article 13 Gravel Banks
 For Renewals:
☐ Inland Wetlands Permit if required
☐ Archeological review
☐ DEP Permit if required

Other items to review

Bond amount may need to be updated regarding the following:

☐ Erosion and Sediment Control
 ☐ Restoration Plan

Inspections will be done through out the year on a Quarterly basis to insure compliance with the original plan and any conditions of renewal

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191
57 East Main Street
Plainfield, CT 06374

Telephone (860) 230-0856
Fax (860) 230-0860
www.prorovine.com

June 2, 2020

Brooklyn Planning & Zoning Commission
69 South Main Street
Brooklyn, CT 06234

RE: Paul R. Lehto – Proposed Gravel Excavation – Easterly of Allen Hill Road – Brooklyn, CT
P&R Job No. 173055

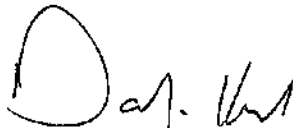
Dear Commissioners:

This narrative is intended to accompany the special permit application for the proposed gravel excavation by Paul R. Lehto. The proposed excavation site is an extension of a previously permitted excavation and will include 6.7 acres and result in the removal of approximately 90,000 cubic yards of material. An application for this project has also been submitted to the Brooklyn Inland Wetlands & Watercourses Commission.

The zoning regulations require an excavation permittee to provide a bond for restoration of the site following excavation activities. As noted above, the subject property was previously permitted for excavation in an area immediately adjacent to the currently proposed excavation site. The Town is currently in possession of the cash bond which was required as part of that previously approved excavation. The current excavation site encompasses 6.7 acres of new site disturbance. We would propose a restoration bond amount of \$10,000.00 per acre or \$67,000.00 for the current proposal. If the applicant wishes to bond by phase, the first excavation phase includes 4.1 acres of disturbance with a resulting bond amount of \$41,000.00. This amount would cover grading the excavation area in accordance with the zoning regulations (2H:1V maximum slopes), spreading on-site stockpiled topsoil and seeding with an appropriate seed mix. For informational purposes, we have included a conceptual subdivision plan as part of this application to demonstrate the feasible reuse of the property following excavation and restoration.

Thank you for your consideration of this application. If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,



David J. Held, P.E., L.S.
Provost & Rovero, Inc.

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191
57 East Main Street
Plainfield, CT 06374

Telephone (860) 230-0856
Fax (860) 230-0860
www.prorovinc.com

June 2, 2020

Paul R. Lehto

P & R Job #173055

APPLICATION PACKAGE CONTENTS – Excavation Special Permit Application

1. Application fee \$3,110.00
2. Special permit application form
3. Application narrative dated 6/2/2020
4. 5 copies of excavation plans dated 6/2/2020

Application Fee Calculation:

Base Fee:	\$ 250.00
State Fee:	\$ 60.00
Public Hearing Fee:	\$ 300.00
50,000 CY-100,000 CY Fee:	<u>\$2,500.00</u>
TOTAL FEE:	\$3,110.00

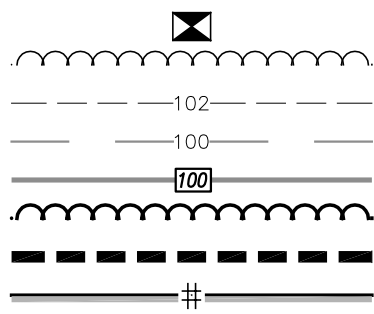
PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

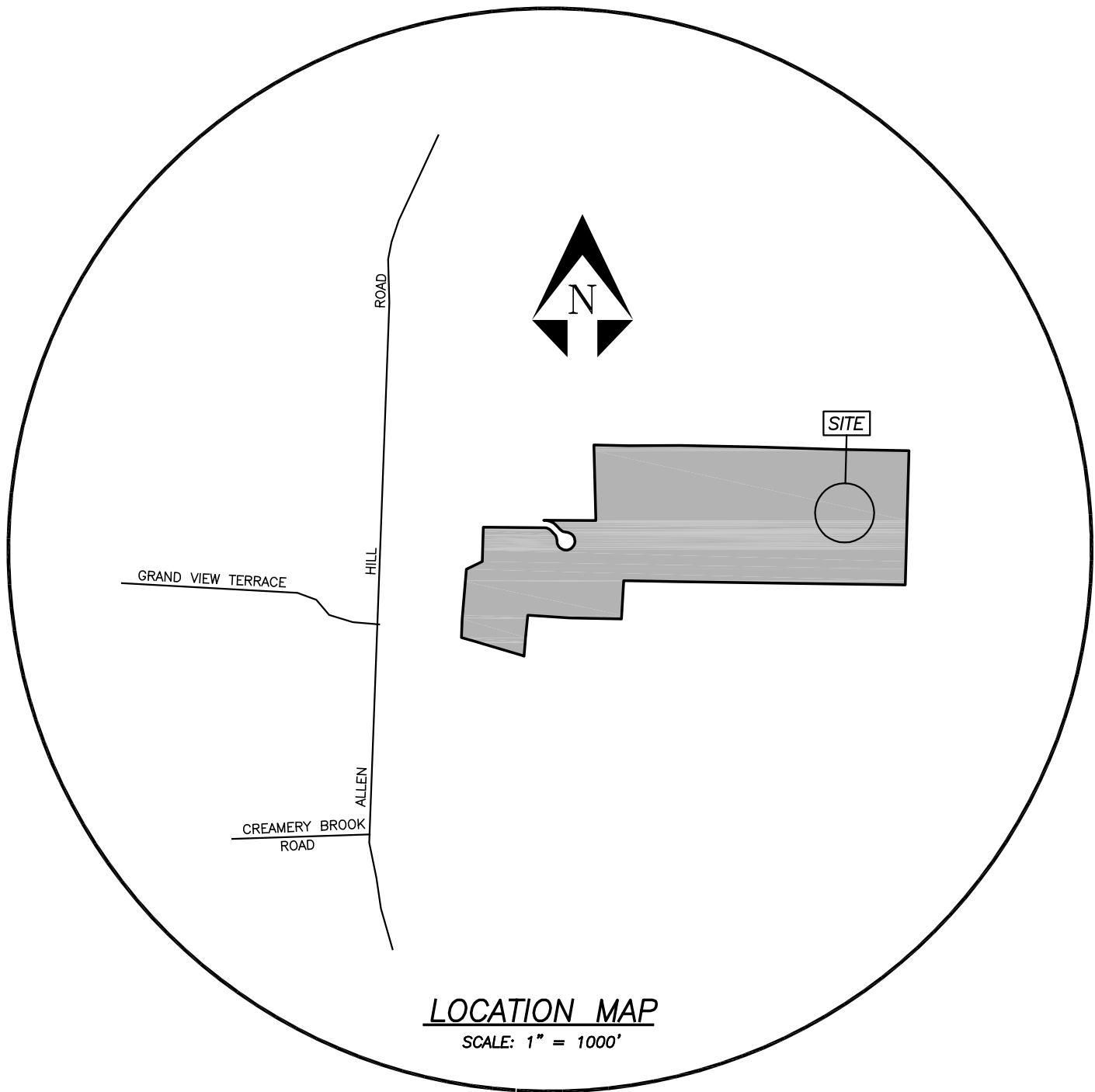
OWNER/APPLICANT:

PAUL R. LEHTO

LEGEND



TEST PIT
EXISTING TREE LINE
EXISTING CONTOUR
EXISTING INDEX CONTOUR
PROPOSED CONTOUR
PROPOSED CLEARING LIMITS
PROPOSED SILT FENCE
LIMIT OF WETLANDS



INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
EXISTING CONDITIONS PLAN	2 OF 7
OVERALL SITE PLAN	3 OF 7
PROPOSED EXCAVATION PLAN	4 OF 7
DETAIL SHEET	5 OF 7
SITE REUSE PLAN	6 OF 7
SITE RADIUS PLAN	7 OF 7

PREPARED BY:

Provost & Rovero, Inc.

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Structural • Mechanical • Architectural Engineering

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Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION

JUNE 2, 2020

APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

CHAIRMAN _____ DATE _____

I HAVE REVIEWED THE FLAGGED INLAND WETLANDS
LOCATION SHOWN ON THIS PLAN AND THEY APPEAR
TO BE SUBSTANTIALLY CORRECT.

Certified Soil Scientist _____ Date _____

ENGINEER _____ DATE _____



LEGEND

	PROPERTY LINE
	REFERENCE LINE
	EASEMENT
	BOUNDARY STONEWALL
	EXISTING TREELINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED CONTOUR
	WETLAND LIMITS
	IRON PIN FOUND
	DRILL HOLE FOUND
	UTILITY POLE
	FENCE POST

Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996.
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - This Survey conforms to a Class "T-3" Vertical Accuracy
- Survey Type: Perimeter Survey
Boundary Determination: Resurvey
Intent: Depict Existing Conditions with Respect to Property Lines
- Parcels shown as 148 on Assessors Tax Map 32 of the Brooklyn Assessors Office
- Property is owned by: Paul Lehto
- Wetlands were delineated in the field by Joseph Theroux, Sept. 2016 and field located by Archer Surveying LLC
- Riverwalk Drive is not a Town Road
- Topographical information obtained through aerial photography by WSP Group

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

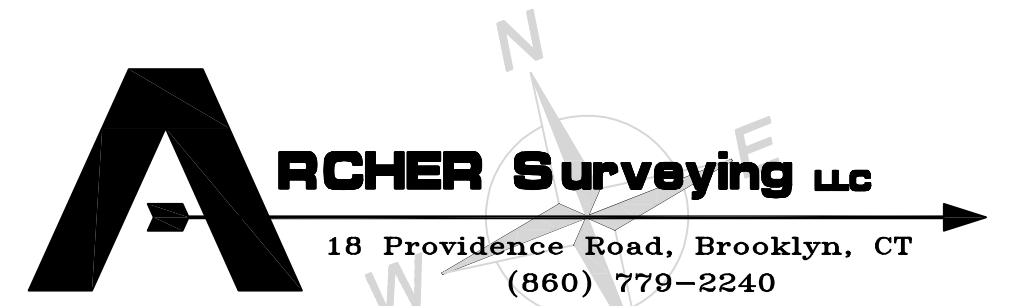
Paul M. Archer LL5 #10013 _____ Date _____

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Existing Condition Plan

Prepared For:
Paul Lehto
Allen Hill Road
Brooklyn, Connecticut

DRAWING SCALE: 1"=125'



Sheet No. 2 OF 7 Project No. 1366 Date: Revised: January 2017 May 8, 2018

C:\Users\Dave\Desktop\0685\173055\Drawings\Gravel phase 2\03 OVERALL SP.dwg Jun 02, 2020 - 2:21 PM

NOTES:

1. The total proposed area of excavation is 6.7 acres.
2. The estimated quantity of material to be exported from the site is 90,000 CY. The grading shown hereon is intended to show the material to be removed from the site. Final grades may vary from those shown hereon based on the material encountered and the use of any imported soil which may be used to create final grades.
3. The contractor/owner shall monitor excavation progress to ensure the suitability of the remaining material for final reuse/development of the site. Additional test pits may be required during excavation progress to ensure that suitable natural material is left in place to provide separation to groundwater and/or ledge.
4. Excavation shall be completed in accordance with all applicable MSHA rules, regulations and requirements.
5. Excavation shall begin at the northerly end of phase 1 utilizing a down cutting technique to ensure that the disturbed site area retains all runoff from the disturbed area (bowl effect). Perimeter silt fence and/or staked hay bales shall be installed as shown prior to grubbing and stripping topsoil.
6. Stumps shall not be buried. They shall be either chipped or removed from the site.
7. All topsoil and subsoil stripped from the excavation area shall be retained on site in the designated stockpile area for use in final site restoration. Topsoil and subsoil shall be stripped and stockpiled separately.

APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN

DATE

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

CHAIRMAN

DATE

ENGINEER

DATE

OVERALL SITE PLAN

PREPARED FOR

PAUL R. LEHTO

PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

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info@prorovinc.com
www.prorovinc.com

150 75 0 150
GRAPHIC SCALE IN FEET

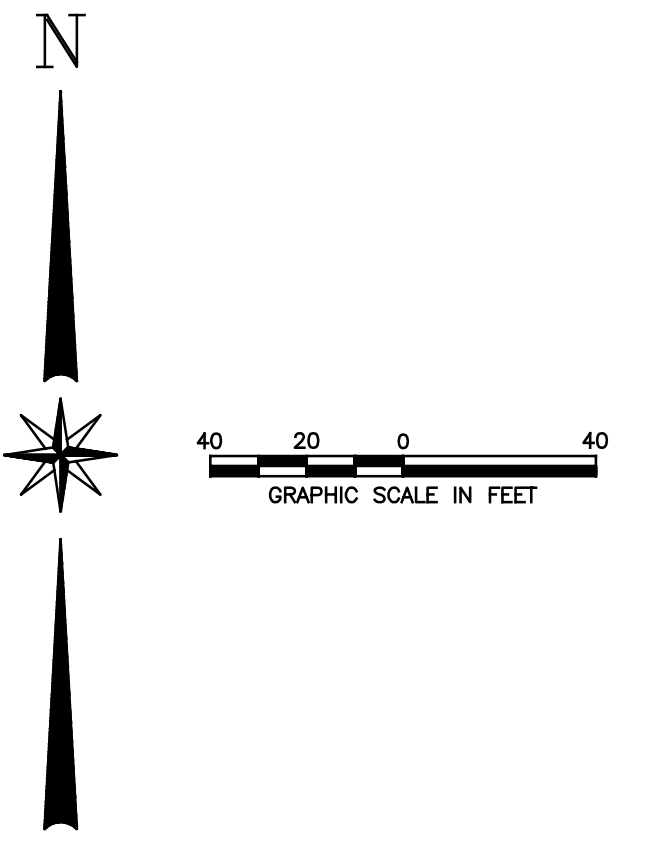
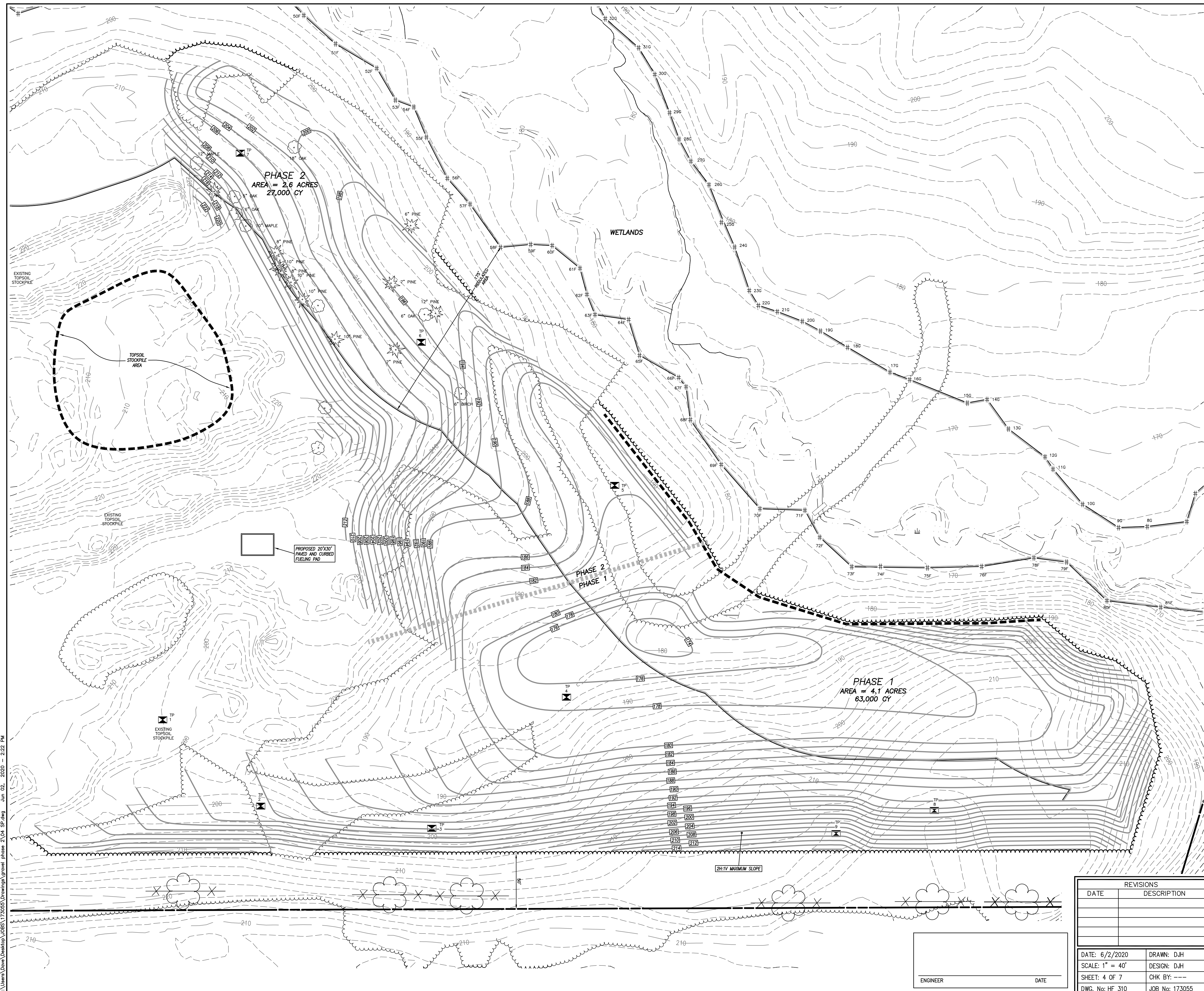
REVISIONS	
DATE	DESCRIPTION

DATE: 6/2/2020	DRAWN: DJH
SCALE: 1" = 150'	DESIGN: DJH
SHEET: 3 OF 7	CHK BY: ---
DWG. No: HF 310	JOB No: 173055

LEGEND

	TEST PIT
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED CLEARING LIMITS
	PROPOSED SILT FENCE
	LIMIT OF WETLANDS

N



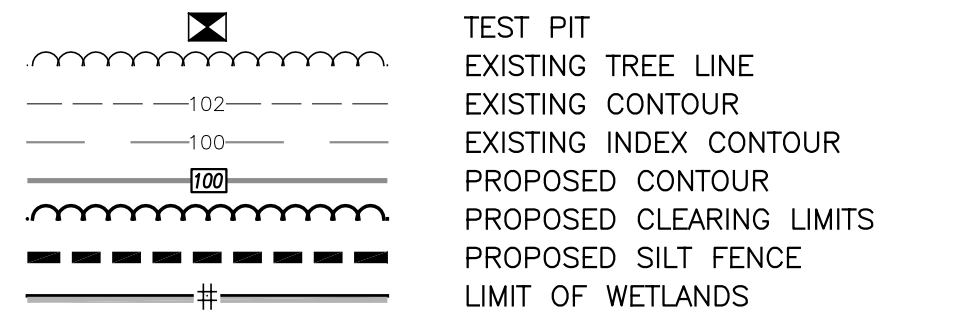
APPROVED BY THE BROOKLYN INLAND
WETLANDS COMMISSION

CHAIRMAN	DATE
----------	------

APPROVED BY THE BROOKLYN PLANNING
& ZONING COMMISSION

CHAIRMAN _____ DATE _____

LEGEND



NOTES:

1. The total proposed area of excavation is 6.7 acres.
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PROPOSED EXCAVATION PLAN

PREPARED FOR

PAUL R. LEHTO

PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

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Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION

DATE: 6/2/2020	DRAWN: DJH
SCALE: 1" = 40'	DESIGN: DJH
SHEET: 4 OF 7	CHK BY: ---
DWG. No: HF 310	JOB No: 173055

ENGINEER _____ DATE _____

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

- Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
- Soil Survey of Connecticut, N.R.C.S.

SILT FENCE INSTALLATION AND MAINTENANCE:

- Dig a 6" deep trench on the uphill side of the barrier location.
- Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
- Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
- Inspect and repair barrier after heavy rainfall.
- Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
- Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
- Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

- Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
- Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
- Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
- Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
- Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, disking, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedlings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and soil erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent reoccurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

- Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
- Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
- Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
- Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
- Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
- Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent

phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.

- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

- Grade and landscape around buildings and septic systems to divert water away from them.

EXCAVATION NOTES:

- No blasting is anticipated for completion of the work shown. If blasting is required, the owner is responsible for obtaining all necessary permits.
- There are no anticipated sales of excavated materials to the public from the subject site.
- Bulk storage of fuel and lubricants for excavation equipment is not allowed on site. All fueling and lubrication of equipment shall be completed on the fueling pad. Fuel trucks shall be equipped with a spill kit and any spills shall be cleaned immediately. No equipment service work which is likely to result in the release of fuel or lubricants shall take place on site.
- The emergency contact for operations at this site is Paul Lehto (860) 208-9789.
- The allowable hours of operation for excavation shall be 7:00 AM to 6:00 PM, Monday through Friday and 7:00 AM to 12:00 noon on Saturday. No operations shall be allowed on Sundays, Christmas, New Years Day, Memorial Day, Fourth of July, Labor Day and Thanksgiving except by special permission of the Brooklyn Planning & Zoning Commission.
- The owner and/or site operator shall provide adequate dust control to prevent any off-site nuisance. The preferred dust control measure is the application of water to vehicular travel areas. The application of calcium chloride may also be used.
- The owner/operator shall install any necessary barricades or barriers to provide protection around the perimeter of open excavation faces and steep slopes.
- Excavation operations shall be completed in accordance with all appropriate Mine Safety & Health Administration (MSHA) rules and regulations.
- There is to be no on-site processing of excavated materials.
- The estimated total number of truck trip ends entering or exiting the site is 11,200 during the excavation duration. The estimated daily average number of truck trip ends entering or exiting the site is 60 during the excavation duration. The estimated maximum number of daily truck trip ends entering or exiting the site is 80.
- The site operator is responsible for determining the most appropriate means and methods for excavating material. In general, excavation shall begin with stripping and stockpiling of topsoil and subsoil which will be utilized for site restoration. Topsoil (A horizon) and subsoil (B horizon) shall be stockpiled separately. Removal of material should be accomplished with a downcutting technique to ensure complete internal drainage at all times.
- All trucks leaving the site shall have the loads covered.
- Prior to the start of excavation work, two elevation bench marks shall be installed on the perimeter of the work area for monitoring purposes. Benchmarks shall be maintained or replaced as necessary as the work progresses.
- It is anticipated that all excavation work will be completed with the use of one (1) wheel loader (Cat 980 or equivalent), one (1) 50 ton excavator (Cat 349 or equivalent), and tri-axle dump trucks (16± CY capacity). Additional equipment may be utilized for final site restoration.

RESTORATION NOTES:

The restoration requirements described below will be applicable to the 6.7 acre permitted area.

- Restoration of disturbed areas shall take place following the completion of excavation in the respective phase. The respective phase shall have subsoil and topsoil spread and be seeded and mulched no later than the end of the growing season for the calendar year following completion of excavation operations. Mulching and seeding shall be completed in accordance with the recommendations of the New York State Revegetation Procedures Manual for Surface Mining Reclamation. Sufficient restoration bonding should be maintained as required by the Town to cover the restoration cost for the permitted excavation area. The sediment/infiltration basin in the lowest part of the site shall not be restored with topsoil and vegetation until the completion of excavation in phase 2.
- Final restoration shall begin with establishing the required subgrade elevations. Proposed grades shown are approximate and may be adjusted to match field conditions at the time of restoration. In general, all disturbed slopes shall be graded to a 30% maximum

gradient.

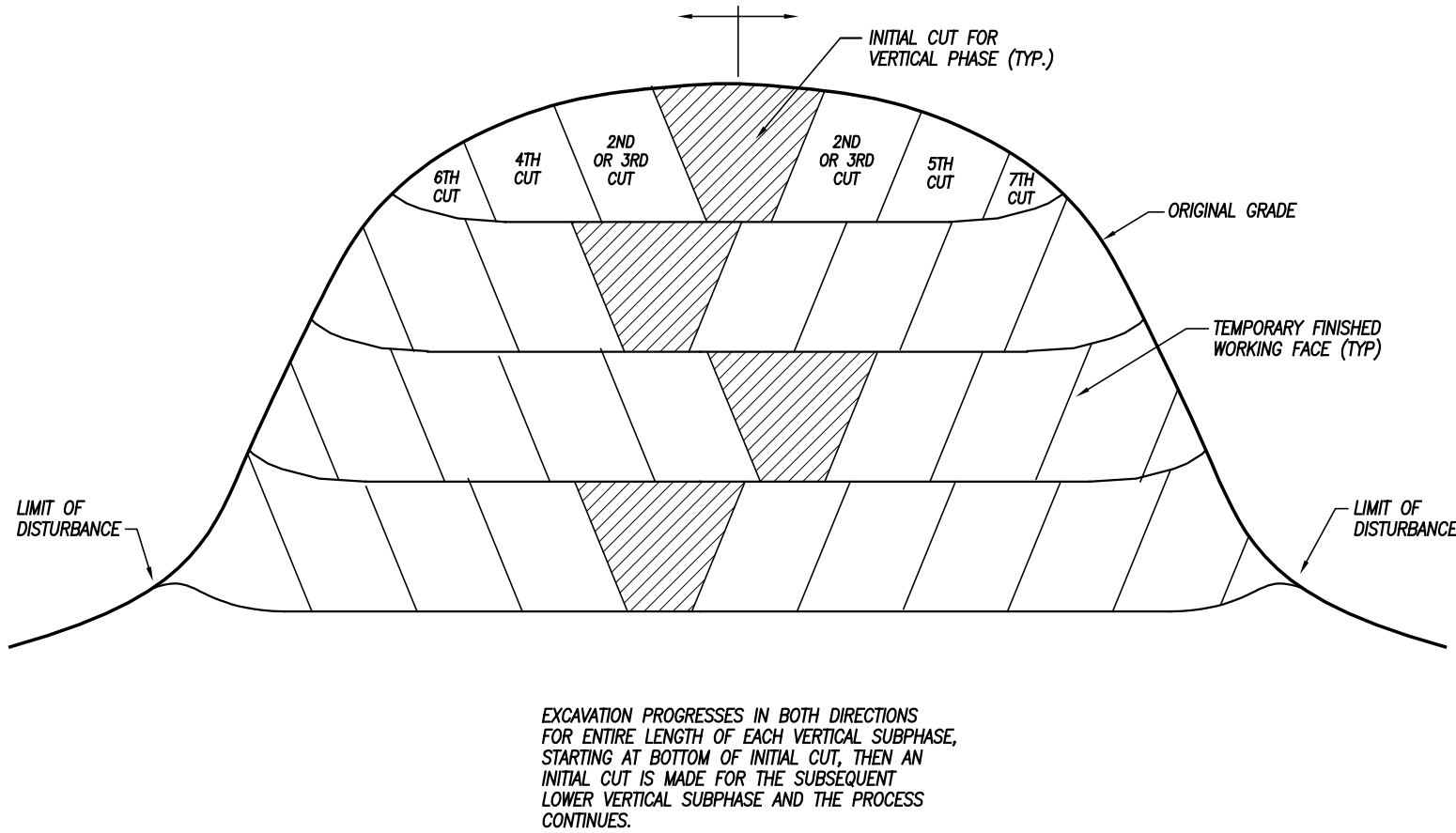
- Prepare the restoration area by spreading subsoil (B horizon) material to a uniform depth.
- Complete restoration by spreading on-site stockpiled topsoil (A horizon) to an approximate minimum thickness of 6" and seeding for a permanent vegetative cover. On-site topsoil stockpiles may be supplemented with composted organic matter, wood chips and imported topsoil as necessary to provide a suitable planting medium.
- Spread seed for a permanent vegetative cover over the prepared restoration area. The permanent vegetative cover may be a suitable wildlife habitat mix or the following mixture which is suitable for use in all locations:

Variety	Lbs./Acre
Switchgrass (Blackwell, Shelter, Cave-in-rock)	4.0
Big Bluestem (Niagra, Kaw)	4.0
Little Bluestem (Blaze, Aldous, Camper)	2.0
Sand Lovegrass (NE-27, Bend)	1.5
Bird's-foot Trefoil (Empire, Viking)	2.0
TOTAL	13.5

- Hay or straw mulch shall be utilized on slopes to provide temporary stabilization during establishment of permanent vegetative cover. In general, no slopes greater than 2H:1V will be allowable.
- Fertilizer and lime shall be provided as required to establish a permanent vegetative cover based on laboratory soil testing results.
- Restoration cover vegetation shall be maintained by the permit holder or applicant for a minimum of 24 months prior to the release of any restoration bonding.
- In lieu of the manual application of mulch and fertilizer, the restoration area may be planted with hydroseeding methods with a suitable tackifier, mulch and fertilizer mix.

TEST PIT OBSERVATIONS - AUGUST 7, 2017

TEST PIT	DEPTH	PROFILE
1	0-96" No GWT No ledge No mottling	Topsoil and subsoil
2	0-12" 12-18" 18-84" No GWT No ledge No mottling	Topsoil Subsoil Coarse sand and gravel
3	0-18" 18-34" 34-84" No GWT No ledge No mottling	Topsoil Subsoil Coarse sand and gravel
4	0-43" 43-64" 64-138" GWT @ 111" No ledge No mottling	Topsoil and organics Subsoil Coarse sand and gravel
5	0-8" 8-18" 18-57" 57-104" No GWT No ledge No mottling	Topsoil Subsoil Fine silty sand Fine-medium silty sand and gravel
6	0-7" 7-24" 24-131" No GWT No ledge No mottling	Topsoil Subsoil Coarse sand and gravel
7	0-7" 7-17" 17-96" No GWT No ledge No mottling	Topsoil Subsoil Coarse sand and gravel
8	0-12" 12-75" 75-117" No GWT No ledge No mottling	Topsoil Subsoil Medium/coarse sand and gravel
9	0-10" 10-20" 20-138"	Topsoil Subsoil Coarse sand & gravel

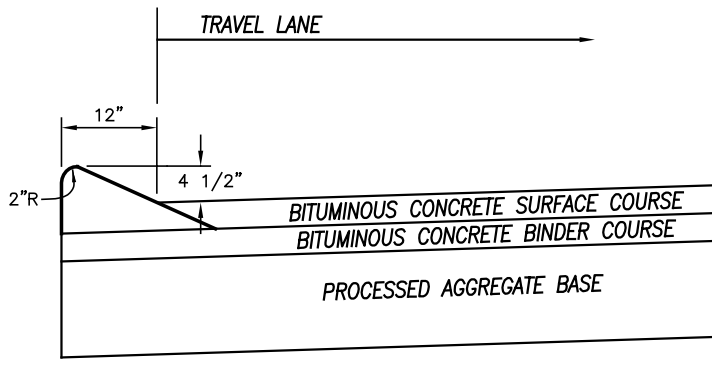


DETAIL SHOWING "DOWNCUTTING" EXCAVATION METHOD

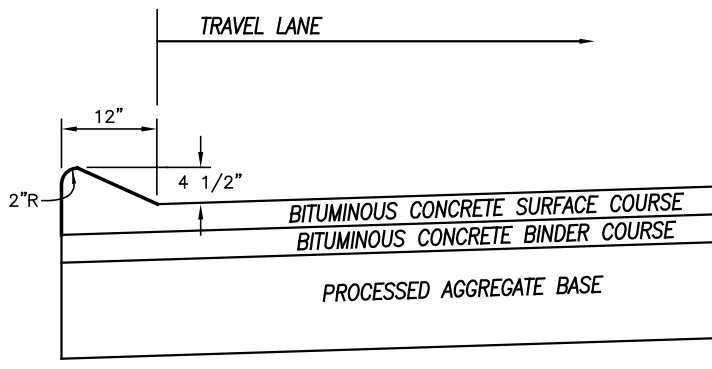
NOT TO SCALE

ENGINEER	DATE
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REVISIONS	
DATE	DESCRIPTION
DATE: 6/2/2020	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 5 OF 7	CHK BY: ---
DWG. No: HF-310	JOB No: 173055



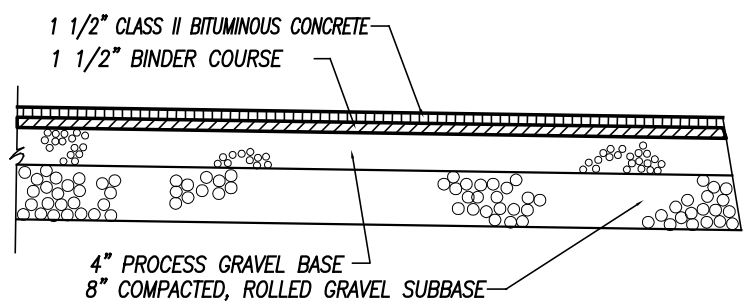
ALTERNATE 1 - CURB ON BINDER



ALTERNATE 2 - MONOLITHIC CONSTRUCTION

CAPE COD CURBING

NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

APPROVED BY THE BROOKLYN INLAND WETLANDS COMMISSION	
CHAIRMAN	DATE
APPROVED BY THE BROOKLYN PLANNING & ZONING COMMISSION	
CHAIRMAN	DATE

DETAIL SHEET

PREPARED FOR

PAUL R. LEHTO

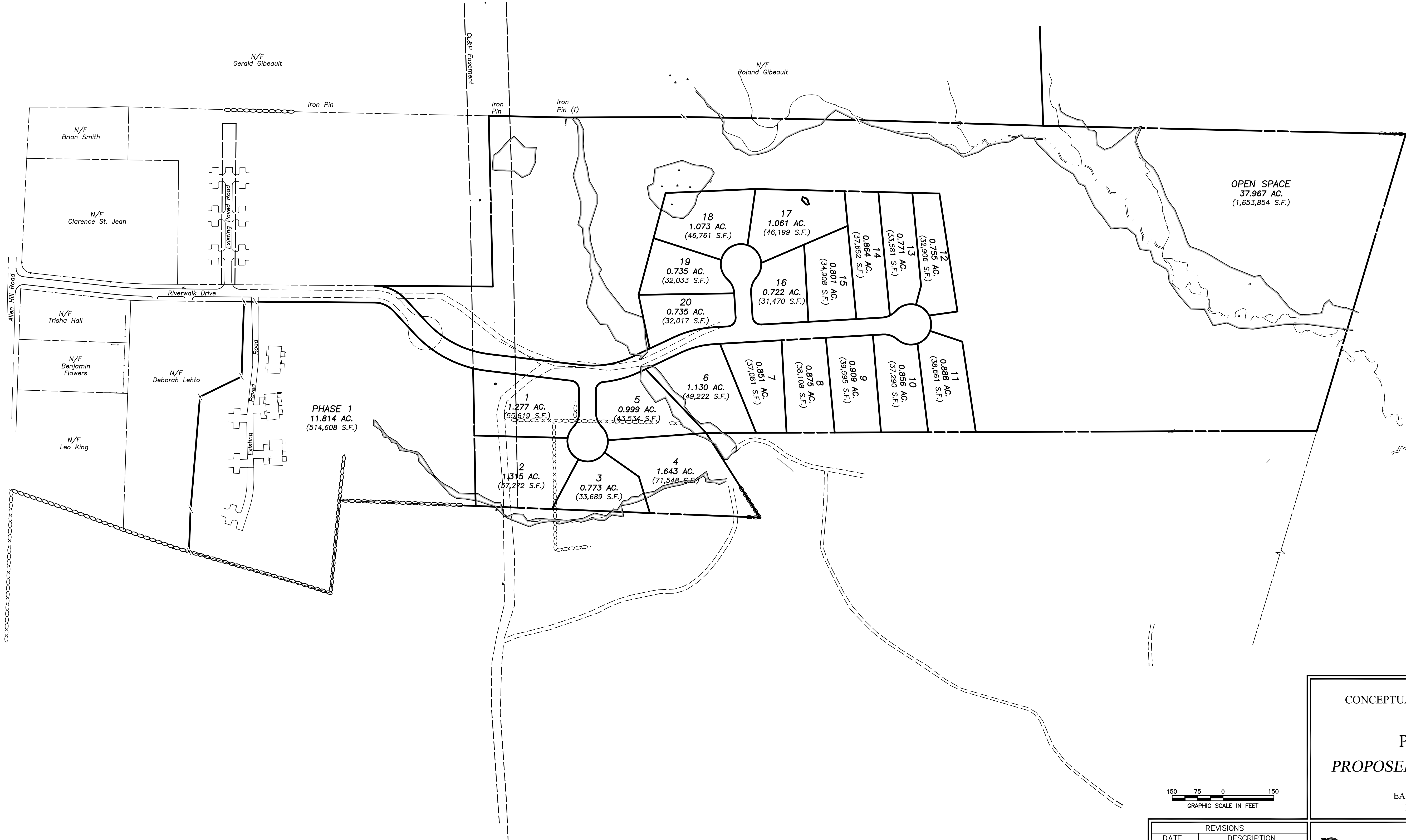
PROPOSED GRAVEL EXCAVATION

EASTERLY OF ALLEN HILL ROAD
BROOKLYN, CONNECTICUT

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

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info@prorovinc.com
www.prorovinc.com



SITE REUSE PLAN
CONCEPTUAL CONSERVATION SUBDIVISION
PREPARED FOR
PAUL R. LEHTO
PROPOSED GRAVEL EXCAVATION
EASTERLY OF ALLEN HILL ROAD
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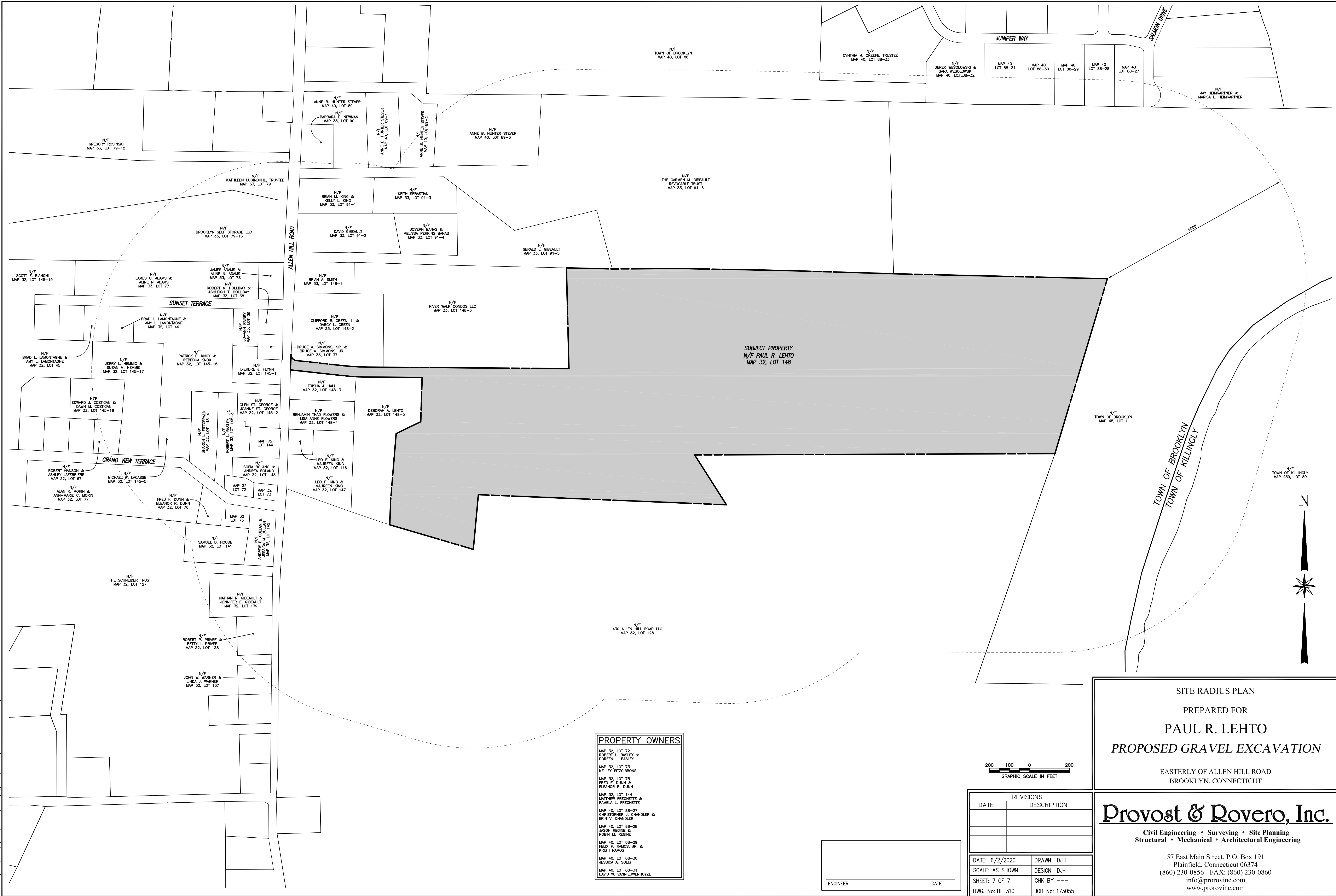


REVISIONS	
DATE	DESCRIPTION

DATE: 6/2/2020	DRAWN: DJH
SCALE: 1" = 150'	DESIGN: DJH
SHEET: 6 OF 7	CHK BY: ---
DWG. No: HF 310	JOB No: 173055

ENGINEER	DATE
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C:\Users\Dave\Desktop\0685\173055\Drawings\gravel phase 2\LOT SITE RADIUS MAP.dwg Jun 02, 2020 -- 2:23 PM



TOWN OF BROOKLYN

Expenditure Report

From Date: 6/1/2020

To Date: 6/30/2020

Fiscal Year: 2019 - 2020

Account Number	Description	Adj. Budget	Current	YTD	Balance	Encumbrance	Budget Bal	%Bud
1005.41.4153.51620	Planning & Zoning-Wages PT	\$0.00	\$0.00	\$175.00	(\$175.00)	\$0.00	(\$175.00)	0.00%
1005.41.4153.51900	Planning & Zoning-Wages-Rec. Secretary	\$3,500.00	\$0.00	\$2,325.00	\$1,175.00	\$0.00	\$1,175.00	33.57%
1005.41.4153.53020	Planning & Zoning-Legal Services	\$5,000.00	\$0.00	\$22,339.20	(\$16,339.20)	\$0.00	(\$16,339.20)	-272.32%
1005.41.4153.53200	Planning & Zoning-Professional Affiliations	\$120.00	\$0.00	\$50.00	\$70.00	\$0.00	\$70.00	58.33%
1005.41.4153.53220	Planning & Zoning-In Service Training	\$1,000.00	\$0.00	\$525.00	\$475.00	\$0.00	\$475.00	47.50%
1005.41.4153.53400	Planning & Zoning-Other Professional Services	\$2,500.00	\$0.00	\$0.00	\$2,500.00	\$0.00	\$2,500.00	100.00%
1005.41.4153.55400	Planning & Zoning-Advertising & Legal Notices	\$2,500.00	\$44.10	\$1,799.36	\$700.64	\$0.00	\$700.64	28.03%
1005.41.4153.55500	Planning & Zoning-Printing & Publications	\$2,000.00	\$0.00	\$217.93	\$1,782.07	\$0.00	\$1,782.07	89.10%
1005.41.4153.55800	Planning & Zoning-Transportation	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
1005.41.4153.56900	Planning & Zoning-Other Supplies	\$500.00	\$0.00	\$13.29	\$486.71	\$0.00	\$486.71	97.34%
1005.41.4153.56950	Planning & Zoning-State Marshal Surveyor/Support	\$3,500.00	\$0.00	\$0.00	\$3,500.00	\$0.00	\$3,500.00	100.00%
Grand Total:		\$21,620.00	\$44.10	\$27,444.78	(\$5,824.78)	\$0.00	(\$5,824.78)	-26.94%

End of Report

TOWN OF BROOKLYN

Revenue Report

From Date: 6/1/2020

To Date: 6/30/2020

Fiscal Year: 2019 - 2020

Account Number	Description	Adj. Budget	Current	YTD	Balance	Encumbrance	Budget Bal	%Bud
1005.00.0000.42203	Planning & Zoning Fees	(\$9,000.00)	(\$450.00)	(\$7,715.00)	(\$1,285.00)	\$0.00	(\$1,285.00)	14.28%
Grand Total:		(\$9,000.00)	(\$450.00)	(\$7,715.00)	(\$1,285.00)	\$0.00	(\$1,285.00)	14.28%

End of Report

ZRC 20-001 rev – A proposal to make amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4.

Sample Motion

Move to approve the proposal to make the following amendments to the Zoning Regulations concerning accessory buildings, excavation operations, and other various corrections including Sec. 3.A.5.2.1, 3.B.5.2.1, 3.C.5.2.1, 4.A.4.2.1, 4.B.4.2.1, 4.C.4.2.1, 3.C.2.4.5, 4.D.2.1.5, 6.K.2.2, 6.O.4.1, 6.P.3.3, 7.B.5.4. with the finding that they will aid in the protection of public health, safety, welfare, and property values and are consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations. The regulations shall become effective 15 days from the date of publication on the website.

ZC 20-001 – Zone Boundary Change to R-30/RA boundary on south side of Day St., Applicant: Jeff Weaver, proposed adjustment to match proposed lot lines in subdivision.

Sample Motion

Move to approve the zone boundary change with the finding that it is suitable for the location, will aid in the protection of protect public health, safety, welfare, and property values and is consistent with the Plan of Conservation and Development and the intent of the Zoning Regulations. The zone boundary change shall become effective 15 days from the date of publication on the website.

SD 20-001 – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots.

Sample motion:

Move to approve the application SD 20-001 – 6-Lot Subdivision, Applicant: Jeff Weaver, 8 acres on south side of Day St., (Map 43, Lot 6) in the RA and R-30 Zones; Proposed creation of six residential lots in the R-30 and RA Zones in accordance with all final plans, documents and testimony submitted with the application and including the following conditions:

The following items shall be corrected on the Final Subdivision Plans which will be submitted in paper for checking to the Land Use Office prior to being printed on archival material (mylar):

-

Prior to the endorsement by the Commission of the Final Subdivision Plan(s) for filing in the office of the Town Clerk:

- The approval and/or review letters from the Inland Wetlands and Watercourses Commission, the Northeast District Department of Health, and the Planning and Zoning Commission shall be added to the Final Subdivision Plan(s).
- A Shared Driveway and Maintenance Agreement for the shared driveway in a form acceptable to the Town Attorney shall be filed simultaneously with the recording of the subdivision mylars in the office of the Town Clerk.
- All boundary pins and monuments shall be set and field verified by the surveyor.

At the time of sale of any building lot:

- Because the undeveloped land is recommended for fee-in-lieu of open space by the Conservation Commission, at the time of sale of any of the six new building lots, a payment in lieu of open space dedication shall be paid by the applicant to the Town in the amount of \$ 1,000 per lot in accordance with the requirements of CT General Statutes 8-25 and Brooklyn Subdivision Regulation Sec. 8. An open space lien may be placed on the building lots to ensure that the fee-in-lieu of open space is paid at the time of sale.

Prior to the issuance of a Zoning Permit on any lot:

- The developer shall notify the Zoning Enforcement Office and Town Planner at least seven days in advance of any site work to schedule a pre-construction meeting.
- Prior to any lots being developed, driveway permits must be obtained from the Road Foreman in accordance with the adopted policy concerning driveways. No stonewalls, mature trees, or ledge within the r.o.w. shall be removed or modified unless necessary for safety. The responsibility of clearing, grubbing, blasting, and earthmoving within the Town of Brooklyn r.o.w. shall be the responsibility of the individual lot developer. Any cutting of trees greater than 30" d.b.h. for sightlines shall require prior approval by the Town of Brooklyn Tree Warden upon finding that the removal of trees is unavoidable to guarantee adequate driveway sightlines.
- The applicant and/or individual lot developers shall minimize impacts to natural features both on private lots and in the Town of Brooklyn r.o.w. to the greatest extent possible. This shall include but is not limited to the preservation of stonewalls, the protection of mature trees lining any public road, and the minimization of clearing and grading.
- Stonewalls must be finished on the edges prior to the issuance of a Certificate of Zoning Compliance on any lot containing a stone wall.

SPG 20-001 – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148) in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres.

Move to schedule a public hearing for SPG 20-001 – Gravel Special Permit, Paul R. Lehto, 71.34 acres on the east side of Allen Hill Road (Map 32, Lot 148) in the RA Zone; Excavation of approximately 90,000 cubic yards of sand and gravel on 6.7 acres, to be held at a regular meeting of the Planning and Zoning Commission to be held on July 21, 2020 at 6:30 p.m., access via web and phone to be provided on the meeting agenda to be posted on the Town of Brooklyn, CT website.

SPG 19-003 Gravel Special Permit, Strategic Commercial Realty d/b/a Rawson Materials, 30 acres on south side of Maynard Road, removal of 1,050,000 cubic yards of material

Sample Motion to Correct

Move to correct item #10 from the approval of SPG 19-003 granted at the June 3, 2020 meeting of the Planning and Zoning Commission to specify that the permit renewal date is June 3, 2021.

SPG 19-004 Gravel Special Permit, Strategic Commercial Realty d/b/a Rawson Materials, 206 acres on south side of Rukstella Road, removal of 1,551,000 cubic yards of material

Sample Motion to Correct

Move to correct item #9 from the approval of SPG 19-004 granted at the June 3, 2020 meeting of the Planning and Zoning Commission to specify that the permit renewal date is June 3, 2021.

SP 08-005 Modification #2 – Walmart, 450 Providence Road (Map 41, Lot 10) Re-striping of eight (8) wider pick-up stalls, new parking lot directional signs and pavement markings, new exterior wall sign.

Sample motion

Move to correct the number of parking spaces from the approval of SP 08-005 mod 2 to specify that the number of new designated spaces to be added is ten (10).