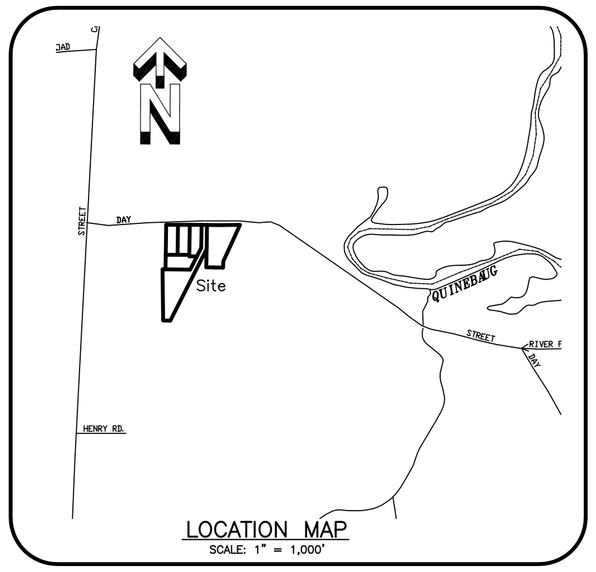
6 LOT SUBDIVISION

PREPARED FOR

Jeffrey Weaver

Day Street
Brooklyn, Connecticut

February 7, 2020



PREPARED BY

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240

Provost & Rovero, Inc.
Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

INDEX OF DRAWINGS

APPROVED BY THE BROOKLYN
INLAND WETLANDS COMMISSION

CHAIRMAN DATE

Expiration date per section 22A-42A of the Connecticut General Statutes. Date: _____

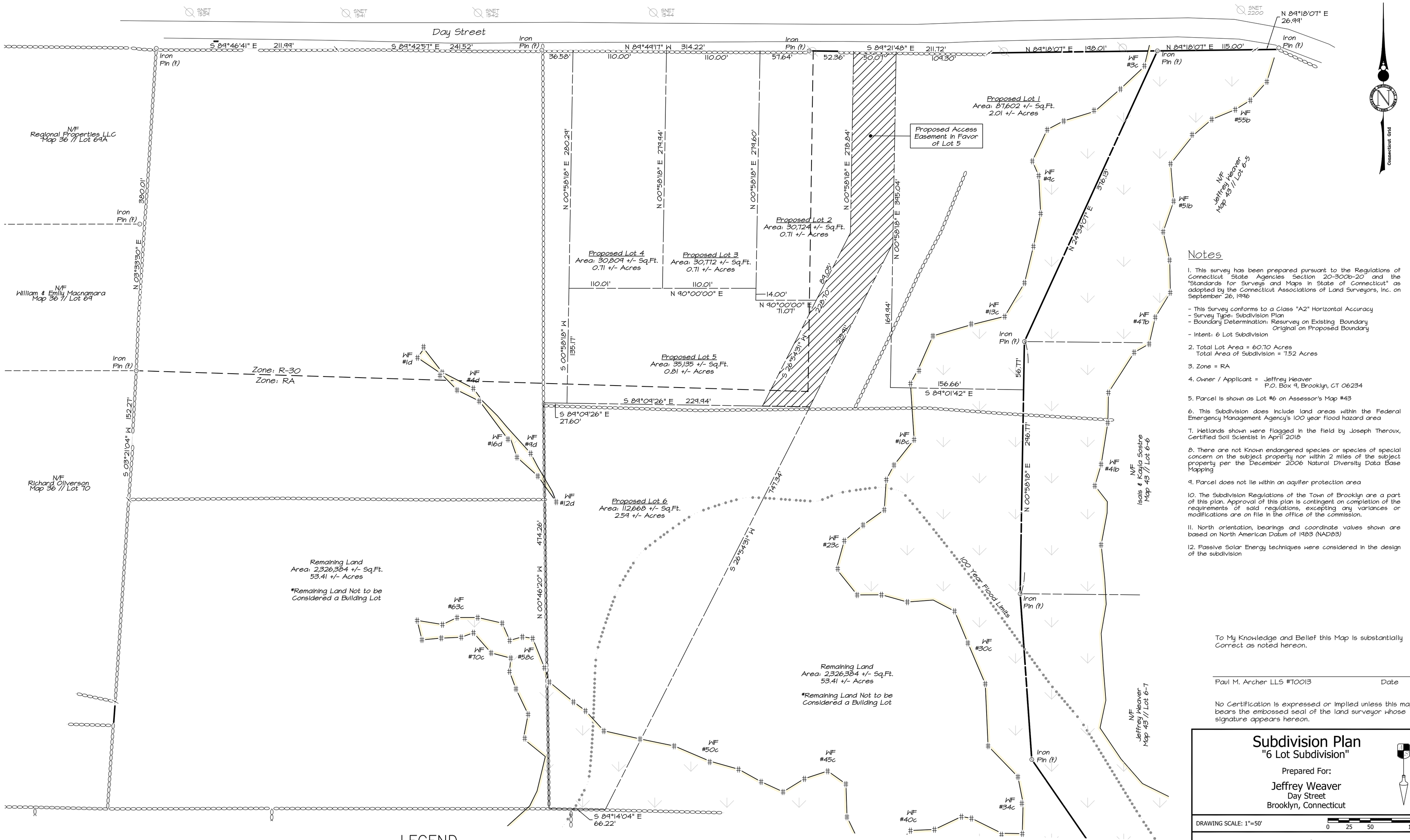
APPROVED BY THE BROOKLYN
PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per section 8.26C of the Connecticut General Statutes. Date: _____

I have reviewed the inland-wetlands shown on this plan and they appear to be substantially the same as those which I delineated in the field.

Certified Soil Scientist



Notes

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996

- This Survey conforms to a Class "A2" Horizontal Accuracy
- Survey Type: Subdivision Plan
- Boundary Determination: Resurvey on Existing Boundary
  Original on Proposed Boundary
- Intent: 6 Lot Subdivision

2. Total Lot Area = 60.70 Acres
   Total Area of Subdivision = 7.52 Acres

3. Zone = RA

4. Owner / Applicant = Jeffrey Weaver
   P.O. Box 9, Brooklyn, CT 06234

5. Parcel is shown as Lot #6 on Assessor's Map #43

6. This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year flood hazard area

7. Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2018

8. There are not known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping

9. Parcel does not lie within an aquifer protection area

10. The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications are on file in the office of the commission.

11. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83)

12. Passive Solar Energy techniques were considered in the design of the subdivision

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #70013 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT LINE
- ZONE LINE
- STONEWALL
- STONEWALL REMAINS
- UTILITY POLE (CL&P 1645)
- 100 YEAR FLOOD LIMIT
- EXISTING INDEX CONTOUR (100)
- EXISTING CONTOUR (100)
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN FOUND
- PROPERTY POINT

REVISIONS	
5/26/2020	Access Right of way

Subdivision Plan
"6 Lot Subdivision"

Prepared For:

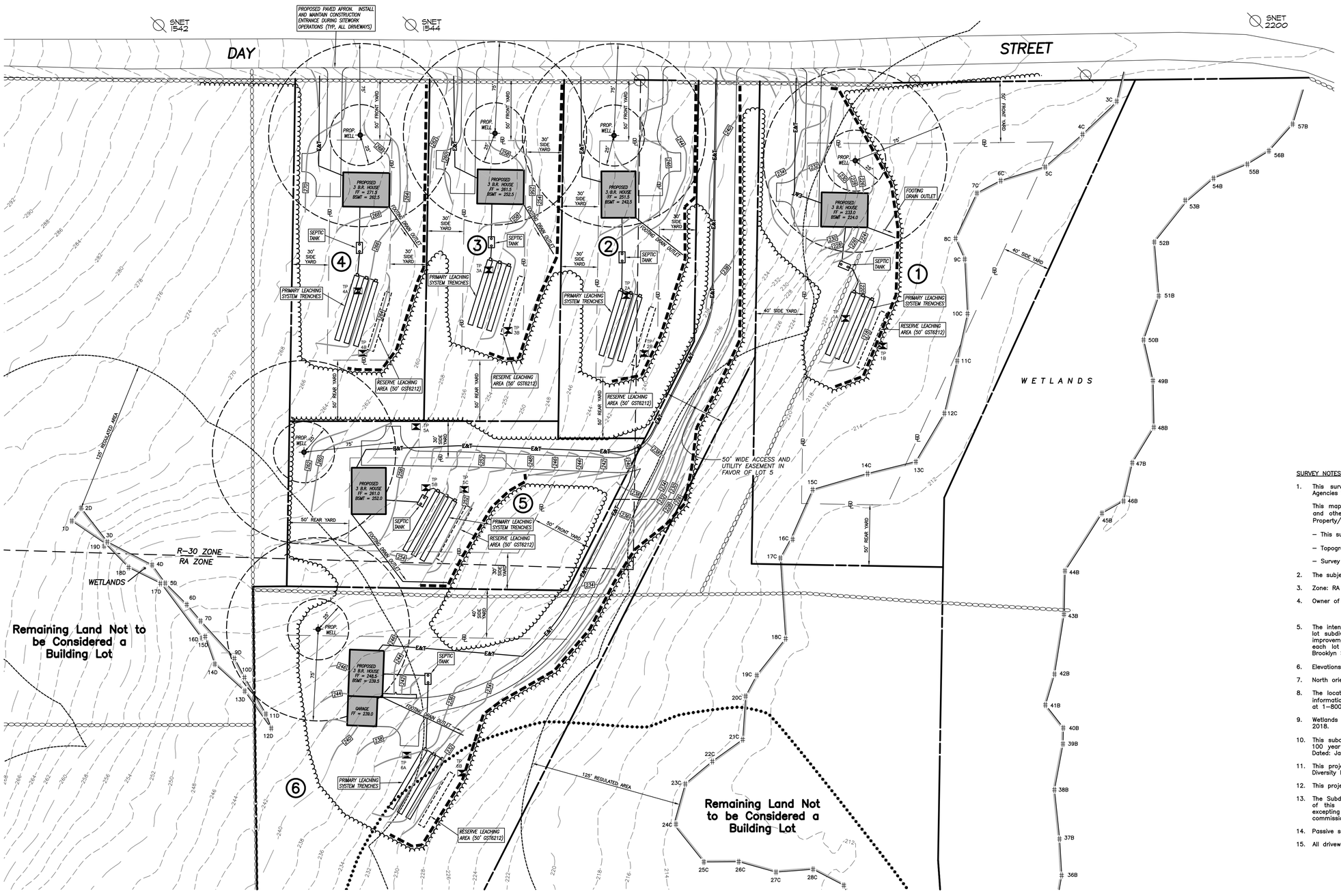
Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=50' (0 25 50 100)

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240

Sheet No.	Project No.	Date:
2 OF 6	1768	February 7, 2020

ARCHER Surveying LLC



LEGEND

- TEST PIT
- WETLAND FLAG
- STONE WALL
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED UTILITIES
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- PROPOSED RETAINING WALL
- BUILDING SETBACK LINE
- 100 YEAR FLOOD ZONE

SURVEY NOTES:

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20–300b–1 through 20–300b–20 as amended on October 26, 2018;

   This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.

   – This survey conforms to a Class "C" horizontal accuracy.

   – Topographic features conform to a Class "T–2" accuracy.

   – Survey Type: General Location Survey.

2. The subject parcel is shown as lot #6, on assessor's map #43.
3. Zone: RA and R–30.
4. Owner of record: Jeffrey Weaver
   P.O. Box 9
   Brooklyn, CT 06234
5. The intent of this survey is to show conceptual development plans for each lot in a 6 lot subdivision. Proposed houses, wells, septic systems, driveways grading and other improvements are conceptual in nature and intended to demonstrate the suitability of each lot for development and compliance with the Brooklyn Zoning Regulations and Brooklyn Subdivision Regulations.
6. Elevations based on NAVD 1988. Contour interval = 2'.
7. North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
8. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1–800–922–4455.
9. Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.
10. This subdivision includes land areas within the Federal Emergency Management Agency's 100 year flood hazard area as shown on Flood Insurance Rate Map 090164 003 A, Dated: January 3, 1985.
11. This project is not located within an area of concern on the December 2019 Natural Diversity Data Base map for the Town of Brooklyn.
12. This project does not lie within an aquifer protection area.
13. The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications which are on file in the office of the commission.
14. Passive solar energy techniques were considered in the design of this subdivision.
15. All driveways with slopes <10% are to be gravel surfaced.

Site Development Plan
"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: 1"=40' 0 40' 80'

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REVISIONS	
DATE	DESCRIPTION

STATE OF CONNECTICUT DAVID J. HELD No. 24287 LICENSED PROFESSIONAL ENGINEER

3/12/2020
ENGINEER DATE

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL M. ARCHER LLS #70013 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

Sheet No.	Project No.	Date:
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ARCHER Surveying LLC

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklyn will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
   - the fence has been overtapped, undercut or bypassed by runoff water,
   - the fence has been moved out of position (knocked over), or
   - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
   - the barrier has been overtopped, undercut or bypassed by runoff water,
   - the barrier has been moved out of position, or
   - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS–2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3–4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent. Additionally, lime may be applied using rates given in Figure TS–1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%–100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent reoccurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 24" or larger in any dimension will be removed or buried.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10–10–10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retill compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 – October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off–site generated runoff with sediment laden runoff generated on–site until after adequate filtration of on–site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub–drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off–site damage that it can cause is reduced. It is generally more expensive to correct off–site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off–site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

DEEP TEST PIT DATA / SOIL DESCRIPTIONS

PERFORMED BY: Sherry McGann

WITNESSED BY: Northeast District Department of Health DATE: 1/27/2020

TEST PIT: 1A

0" - 12"	Topsoil
12" - 32"	OB Fine Sandy Loam
32" - 69"	GR Compact Gravelly Loamy Med Sand
69" - 82"	Ground Water

MOTTLES:	32"
GROUNDWATER:	69"
LEDGE:	NO
ROOTS:	26"
RESTRICTIVE:	NO

TEST PIT: 1B

0" - 11"	Topsoil
11" - 20"	BR Fine Sandy Loam
20" - 36"	TN Med Coarse Sand
36" - 82"	Ground Water

MOTTLES:	34"
GROUNDWATER:	36"
LEDGE:	NO
ROOTS:	20"
RESTRICTIVE:	NO

TEST PIT: 2A

0" - 6"	Topsoil
6" - 21"	RB/OB Fine Sandy Loam
21" - 42"	TN Med Loamy Sand
42" - 88"	GR Mod. Compact Gravelly Loamy Med Sand

MOTTLES:	42"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	33"
RESTRICTIVE:	NO

TEST PIT: 2B

0" - 6"	Topsoil
6" - 22"	RB/OB Fine Sandy Loam
22" - 40"	TN Med Loamy Sand
40" - 96"	GR Mod Compact Gravelly Loamy Med Sand

MOTTLES:	40"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	36"
RESTRICTIVE:	NO

TEST PIT: 3A

0" - 4"	Topsoil
4" - 23"	OB Fine Sandy Loam
23" - 36"	TN Fine Loamy Sand
36" - 96"	TN/GR Mod Compact Gravelly Loamy Med Sand

MOTTLES:	36"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	26"
RESTRICTIVE:	NO

TEST PIT: 3B

0" - 5"	Topsoil
5" - 11"	OB Fine Sandy Loam
11" - 40"	TN Fine-Med Loamy Sand
40" - 96"	GR Mod Compact Gravelly Loamy Med Sand

MOTTLES:	40"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	25"
RESTRICTIVE:	NO

TEST PIT: 4A

0" - 10"	Topsoil
10" - 21"	RB Fine Sandy Loam
21" - 31"	TN Fine Loamy Sand
31" - 90"	GR Compact Gravelly Loamy Fine Sand

MOTTLES:	31"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	31"
RESTRICTIVE:	NO

TEST PIT: 4B

0" - 7"	Topsoil
7" - 17"	RB Fine Sandy Loam
17" - 32"	TN Fine Loamy Sand
32" - 96"	GR/TN Compact Gravelly Loamy Med Sand

MOTTLES:	32"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	28"
RESTRICTIVE:	NO

TEST PIT: 5A

0" - 7"	Topsoil
7" - 36"	OB Fine Sandy Loam
36" - 52"	TN Fine Loamy Sand

MOTTLES:	32"
GROUNDWATER:	NO
LEDGE:	52"
ROOTS:	29"
RESTRICTIVE:	NO

TEST PIT: 5B

0" - 8"	Topsoil
8" - 36"	OB/TN Fine Sandy Loam
36" - 96"	GR/TN Mod.Compact Gravelly Loamy Sand

MOTTLES:	36"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	30"
RESTRICTIVE:	NO

TEST PIT: 5C

0" - 6"	Topsoil
6" - 24"	OB Fine Sandy Loam
24" - 40"	TN Med Loamy Sand
40" - 98"	GR/TN Mod. Compact Gravelly Loamy Fine Sand w/ Cobbles, Stones, Boulders

MOTTLES:	40"
GROUNDWATER:	NO
LEDGE:	NO
ROOTS:	36"
RESTRICTIVE:	NO

TEST PIT: 6A

0" - 7"	Topsoil
7" - 32"	RB Fine Sandy Loam
32" - 80"	GR Compact Gravelly Loamy med Sand w/ Cobbles, Stones

MOTTLES:	32"
GROUNDWATER:	NO
LEDGE:	52"
ROOTS:	30"
RESTRICTIVE:	NO

TEST PIT: 6B

0" - 6"	Topsoil
6" - 34"	RB/OB Fine Sandy Loam
34" - 51"	GR Compact Gravelly Loamy Fine Sand

MOTTLES:	34"
GROUNDWATER:	NO
LEDGE:	51"
ROOTS:	34"
RESTRICTIVE:	NO

PERCOLATION DATA

PERC 1 - DEPTH 20"

TIME	Drop (Inches)
10:23	4.0
10:33	14.0
10:43	18.5
10:54	21.0 Dry

PERCOLATION RATE > 4.4 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

PERCOLATION DATA

PERC 2 - DEPTH 21"

TIME	Drop (Inches)
11:02	5.0
11:15	15.5
11:25	19.5
11:37	22.5 Dry

PERCOLATION RATE > 4 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

PERCOLATION DATA

PERC 3 - DEPTH 20"

TIME	Drop (Inches)
11:13	3.0
11:23	12.0
11:33	16.0
11:43	19.0
11:52	20.0 Dry

PERCOLATION RATE > 9 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

PERCOLATION DATA

PERC 4 - DEPTH 20"

TIME	Drop (Inches)
11:55	4.5
12:05	13.5
12:15	16.0
12:25	18.0

PERCOLATION RATE > 5 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

PERCOLATION DATA

PERC 5 - DEPTH 20"

TIME	Drop (Inches)
11:59	5.0
12:09	18.0
12:16	20.0 Dry

PERCOLATION RATE > 3.5 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

PERCOLATION DATA

PERC 6 - DEPTH 18"

TIME	Drop (Inches)
12:34	5.25
12:47	12.5
12:58	16.0
1:08	18.0

PERCOLATION RATE > 5 MIN./IN.

NOTES:
PERCOLATION TEST PERFORMED ON 1/27/2020
PERFORMED BY Terre Hendricks

SEPTIC SYSTEM DESIGN CRITERIA

LOT 1
TP 1A & 1B
Depth to restrictive layer = 32 in.
Slope % = 9.5 %
Number of Bedrooms = 3
Percolation rate = 4.4 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 2
TP 2A & 2B
Depth to restrictive layer = 40 in.
Slope % = 10.8 %
Number of Bedrooms = 3
Percolation rate = 4.0 min/in
Max. depth into exist. grade = 16 in.
System Size = 495 s.f.

Hydraulic Factor = 18
Flow Factor = 1.50
Perc Factor = 1.00

18 x 1.50 x 1.00 = 27.0'

MLSS = 27.0'

LOT 3
TP 3A & 3B
Depth to restrictive layer = 36 in.
Slope % = 11.4 %
Number of Bedrooms = 3
Percolation rate = 9.0 min/in
Max. depth into exist. grade = 18 in.
System Size = 495 s.f.

Hydraulic Factor = 20
Flow Factor = 1.50
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 4
TP 4A & 4B
Depth to restrictive layer = 31 in.
Slope % = 8.3 %
Number of Bedrooms = 3
Percolation rate = 5.0 min/in
Max. depth into exist. grade = 7 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 5
TP 5B & 5C
Depth to restrictive layer = 32 in.
Slope % = 12.9 %
Number of Bedrooms = 3
Percolation rate = 3.5 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 20
Flow Factor = 1.50
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 6
TP 6A & 6B
Depth to restrictive layer = 32 in.
Slope % = 9.5 %
Number of Bedrooms = 3
Percolation rate = 5.0 min/in
Max. depth into exist. grade = 8 in.
System Size = 495 s.f.

Hydraulic Factor = 24
Flow Factor = 1.50
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

STATE OF CONNECTICUT
DAVID J. HELD
No. 24287
LICENSED PROFESSIONAL ENGINEER

3/12/2020
ENGINEER DATE

Detail Sheet No. 1
"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN

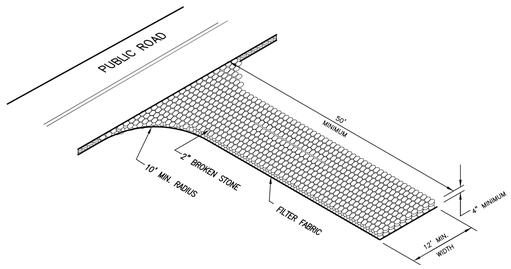
Provost & Rovero, Inc.
Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering
57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@provoinc.com
www.provoinc.com

REVISIONS

DATE	DESCRIPTION

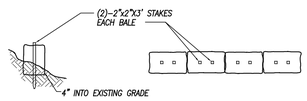
ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779–2240

J:\2020\6\Drawings\2020\6 SP another news.dwg



ANTI–TRACKING PAD

NOT TO SCALE



HAYBALE BARRIER

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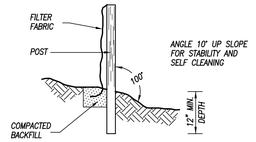
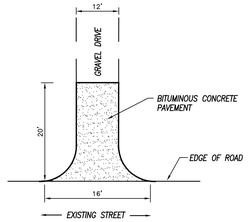


SILT FENCE

NOT TO SCALE

GRAVEL DRIVE DETAIL

NOT TO SCALE



PAVED APRON

SINGLE DRIVE

NOT TO SCALE

STATE OF CONNECTICUT
DAVID J. HELD
No. 24267
LICENSED
PROFESSIONAL ENGINEER

3/12/2020

ENGINEER | DATE

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS

DATE	DESCRIPTION

Detail Sheet No. 2

"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779–2240

Sheet No.	Project No.	Date:
5 OF 6	AS 1033	February 7, 2020

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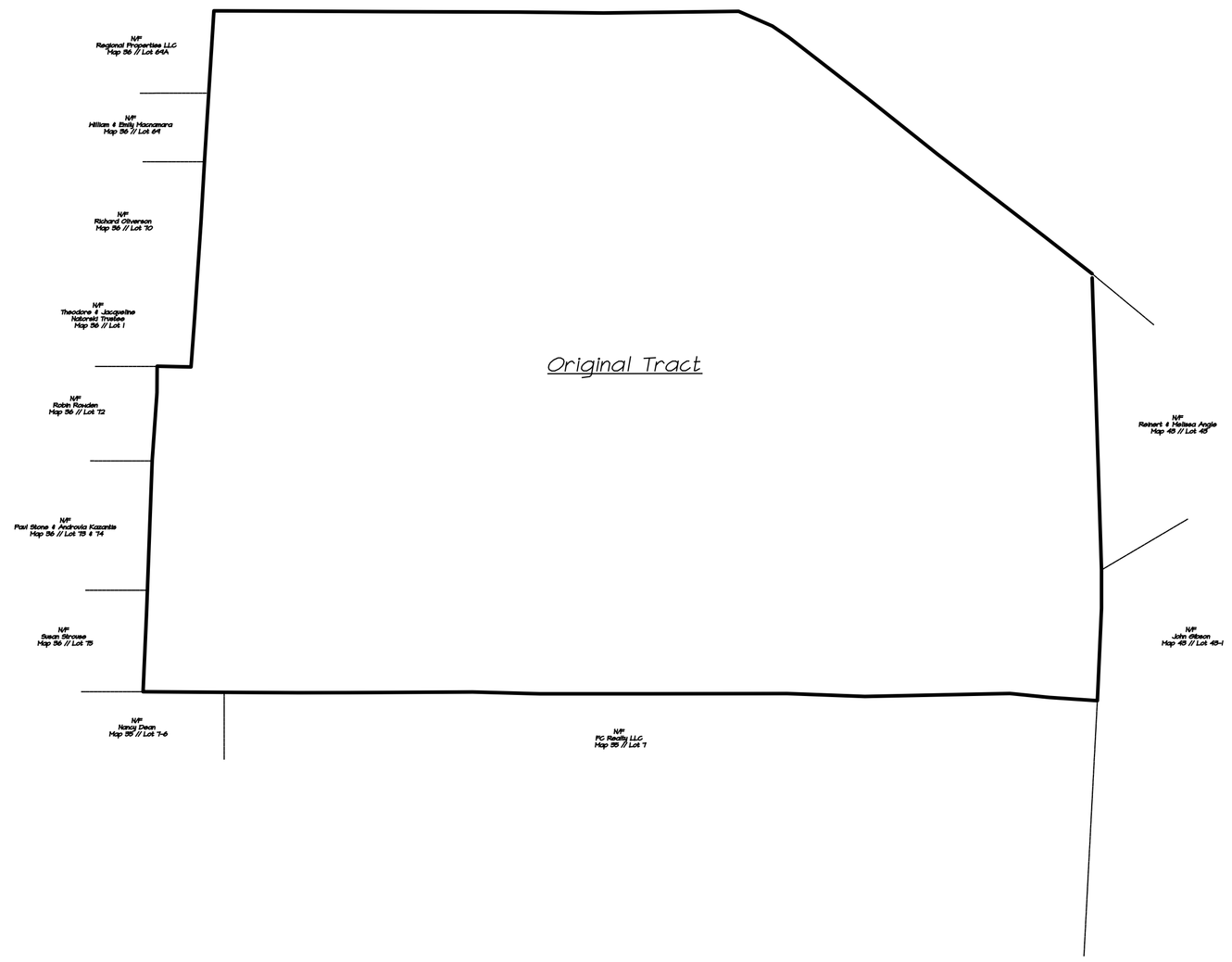

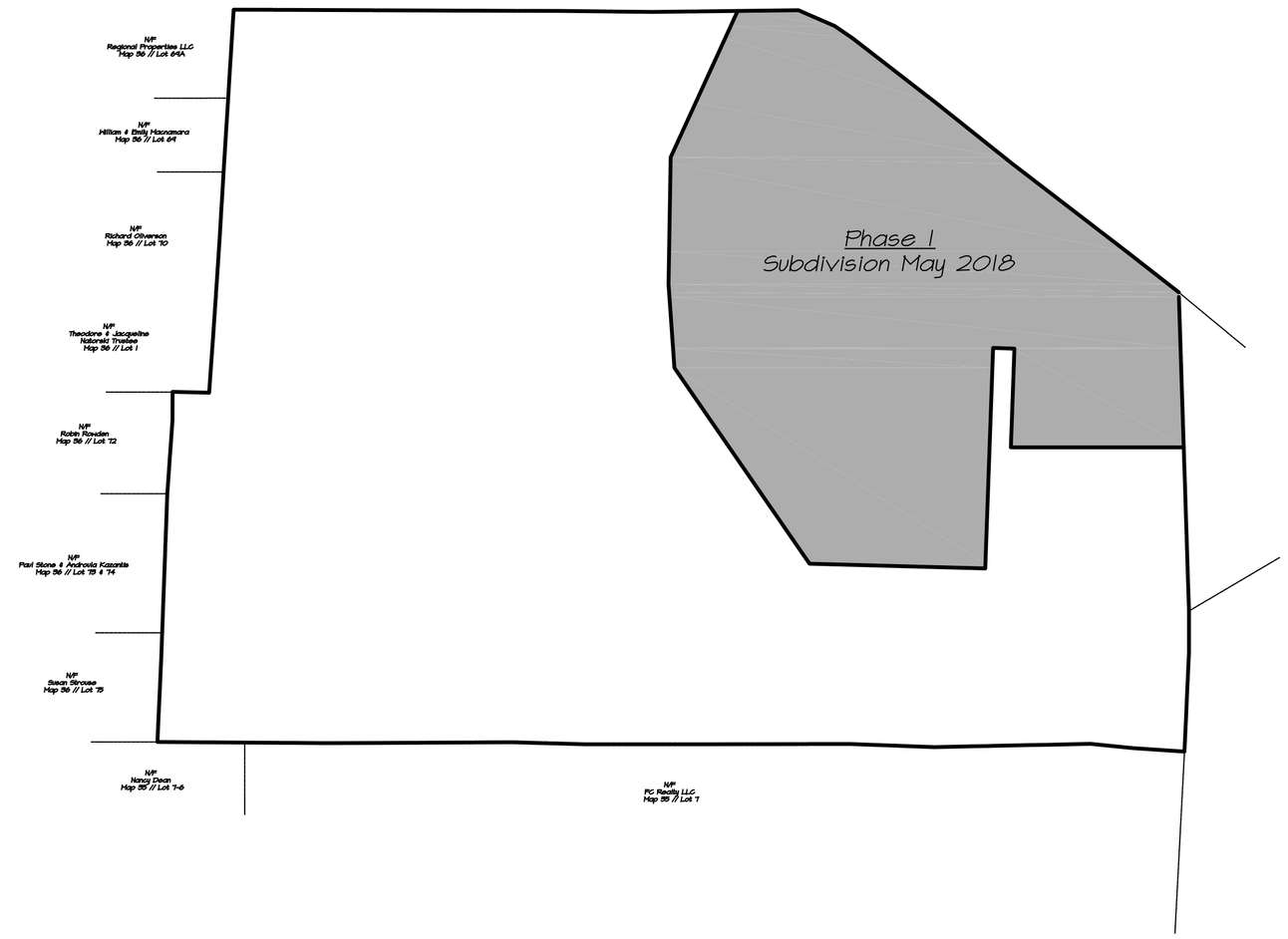

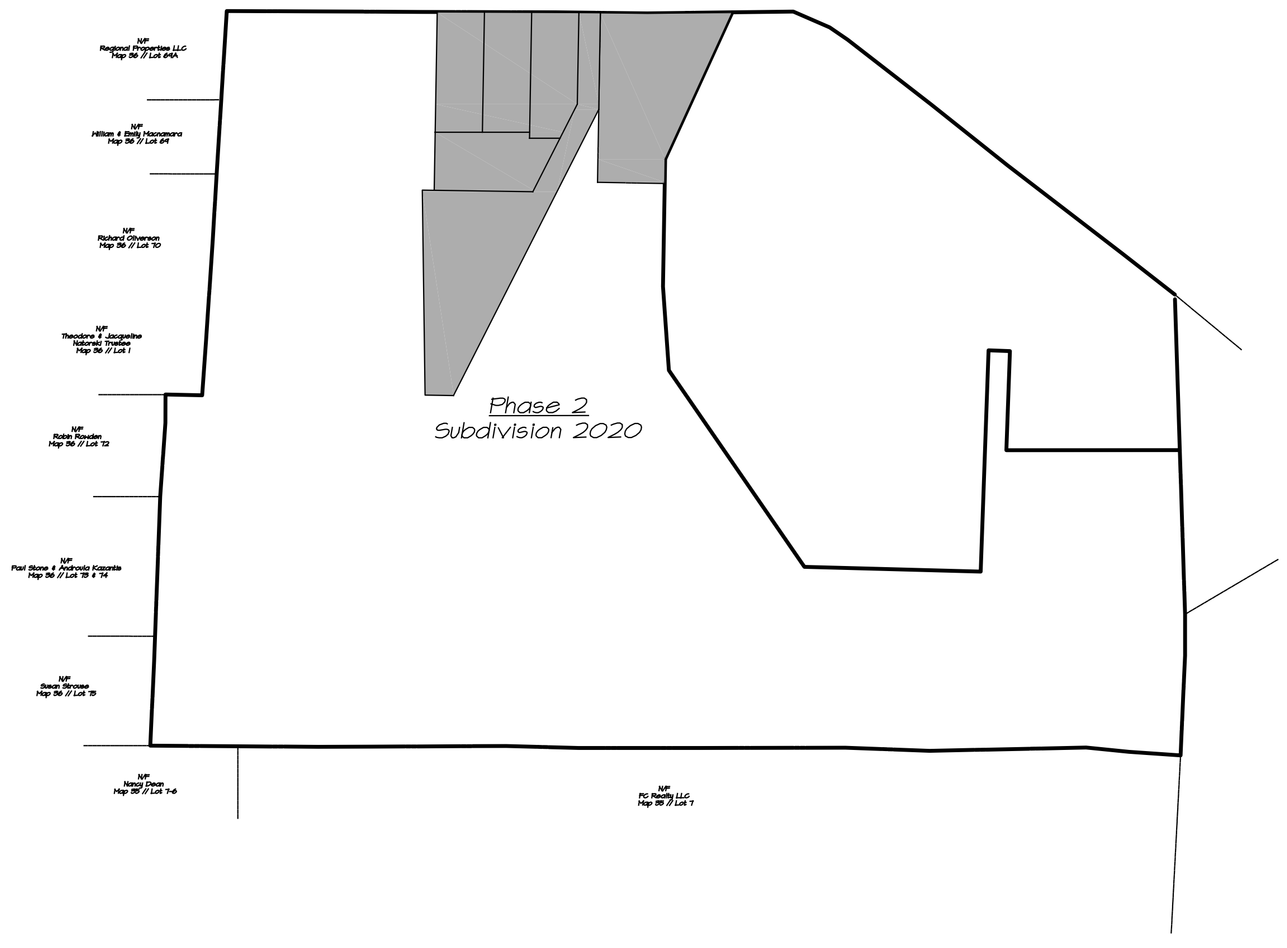

Grantor	Grantee	Date	Vol. / Pg.
	Michael & Sara Lancer	October 1969	48 / 266
Michael & Sara Lancer	Harold Lancer	July 1984	96 / 379
Harold Lancer	Harold Lancer Trustee	July 1997	184 / 89
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 299

History Plan
"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver
Day Street
Brooklyn, Connecticut

REVISIONS	
DATE	DESCRIPTION

ARCHER Surveying LLC
18 Providence Road, Brooklyn, CT
(860) 779-2240

Sheet No.	Project No.	Date:
6 OF 6	1768	February 7, 2020