

**Brooklyn Inland Wetlands Commission  
Regular Meeting Agenda  
Tuesday, June 9, 2020  
Clifford B. Green Memorial Center  
69 South Main Street  
6:00 p.m.**

**To join this meeting via the web or phone, follow the below instructions:**

**Web**

**[www.webex.com](http://www.webex.com)**

**On the top right, click Join**

**Enter meeting information: 715450584**

**Enter meeting password: TrEEs2536**

**Click join meeting**

**Phone**

**Dial 1-408-418-9388**

**Enter meeting number 715450584**

**You can bypass attendee number by pressing #**

**Call to Order:**

**Roll Call:**

**Seating of Alternates:**

**Public Commentary:**

**Additions to Agenda:**

**Approval of Minutes:**

1. Regular Meeting Minutes March 10, 2020.

**Continued Public Hearing:**

**Public Hearings:**

1. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing. (public hearing suspended due to COVID 19)

**Old Business:**

1. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing. (public hearing suspended due to COVID 19)

2.. 121019A Hearing for violation at 260 Woodward Road, Owner Richard and Sandra Duval. Cease and Desist order on 12/2/19 for site work consisting of excavating material from the channel of Sandy Brook, excavating material from an existing ford in Sandy Brook, and depositing excavated material on the bank of Sandy Brook, in the upland review area and/or wetlands.

3. 031020A Darko Krsulic/Owner, Evan Sigfridson/Applicant 293 Hartford Rd, Map 16, Lot 39, RA Zone; Demolish remainder of collapsed coop, dig and pour frost walls for proposed 24 x 32 ft accessory building.

4.. 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6 lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading.

**New Business:**

1. Ernest Robillard, 509 Hartford Road, Agricultural exemption for two new barns near pond.
2. 051220A Patrick Riley, 211 Windham Road, Map 8, Lot 6-3, RA Zone; Construction of single-family dwelling, driveway, well, septic system, grading, tree clearing within 85 feet of a wetland.
3. DR20-002 Grant Hill Road, Map 4, Lot 4 Timber Harvest, Michael Sokolowsky/Owner, Donald Dubois/Forester

**Communications:**

1. Budget Update.
2. Wetlands Agent Monthly Report.

**Public Commentary:**

**Adjourn:**

  
Jeffrey Andrews, Chairman



# INLAND WETLANDS & WATERCOURSES COMMISSION

RECEIVED

FEB 10 2020

Date \_\_\_\_\_

## TOWN OF BROOKLYN CONNECTICUT

Application # W 021120B  
Check # 1304

### APPLICATION FOR INLAND WETLANDS PERMIT

Name of Applicant VACHON BROOKLYN, LLC Phone 401-692-1459  
Mailing Address 957 WASHINGTON ST, ATTLEBORO, MA 02703  
Applicants Interest in the Property OWNER

Property Owner SAMIR Phone P.C.  
Mailing Address \_\_\_\_\_

Name of Engineer/Surveyor KILLINGLY ENGINEERING ASSOCIATES, LLC  
Address P.O. Box 421, KILLINGLY, CT 06241  
Contact Person NORMAND THIBEAULT, JR Phone 860-779-7299 Fax \_\_\_\_\_

Name of Attorney N/A  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_

Property location/Address \_\_\_\_\_  
Map # 41 Lot # 13A/14 Zone PC Total Acres 10.526 Acres of Wetlands 3.96

Purpose and Description of the Activity CONSTRUCTION OF (2) 16' WIDE ACCESS DRIVEWAYS TO ACCESS PROPOSED NEW VEHICLE STORAGE LOTS. DRIVE TO THE LARGER OF THE 2 PROPOSED PARKING AREAS WILL BE IN AN AREA HISTORICALLY USED FOR AN AGRICULTURAL CROSSING

#### Wetlands Excavation and Fill:

Fill Proposed \_\_\_\_\_ Cubic Yds \_\_\_\_\_ Sq ft 3,110  
Excavation Proposed \_\_\_\_\_ Cubic Yds 0 Sq ft 0  
Location where material will be placed: On Site ✓ Off Site \_\_\_\_\_  
Total Regulated Area altered: Sq ft 3,110 Acres \_\_\_\_\_

Explain any alternatives that were considered ① CONSIDERED WIDER DRIVEWAYS  
② CONSIDERED EXPANDING EXISTING AREAS BUT THAT OPTION PROVIDED LIMITED AREA AND NO OPPORTUNITY FOR STORMWATER TREATMENT

#### Mitigation Measures if Required:

Wetlands or watercourses created: Cubic Yds \_\_\_\_\_ Sq ft 3,986 Acres \_\_\_\_\_

Is parcel located within 500ft of an adjoining Town? No

Is the activity located within the watershed of a water company as defined in CT General Statutes 25-32a?

No

#### REQUIREMENTS

- Application Fee \$ \$ 1,050.00 State Fee (\$60.00) \$ 60.00
- Completion of DEP Reporting Form
- Compliance with the Inland Wetlands & Watercourses Regulations
- Three (30) copies of all materials required shall be submitted
- Pre application meeting with the Wetlands Agent is recommended to examine the scope of the activity
- Site Plan showing location of the wetlands (Commission may require a soil scientist to identify the wetlands), existing and proposed conditions
- Compliance with the 2002 Erosion & Sedimentation Control Manual
- If the proposed activity is deemed to be a "significant impact activity" a Public Hearing is required along with the following information:
  - Names and addresses of abutting property owners
  - Additional Information as contained in Article 6.17

Other applications if required:

Application to State of Connecticut DEP  
Inland Water Resources Division  
79 Elm St.  
Hartford, Ct. 06106 1-860-424-3019

Department of the Army  
Corps of Engineers  
696 Virginia Road  
Concord, Ma. 01742 1-860-343-4789

The owner and applicant hereby grant the Brooklyn Inland Wetlands and Watercourses Commission, the Board of Selectman, Authorized Agents of the Inland Wetlands and Watercourses Commission or Board of Selectman, permission to enter the property to which the application is requested for the purpose of inspection and enforcement of the Inland Wetlands and Watercourses Regulations of the Town of Brooklyn.

Applicant:  Date                     

Owner:  Date                     

\*Note : All consulting fees shall be paid by the applicant



**Statewide Inland Wetlands & Watercourses Activity Reporting Form**

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

**PART I: Must Be Completed By The Inland Wetlands Agency**

1. DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
2. ACTION TAKEN (see instructions, only use one code): \_\_\_\_\_
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

**PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant**

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): BROOKLYN  
does this project cross municipal boundaries (check one)? yes ☐ no ☒  
if yes, list the other town(s) in which the action is occurring (print name(s)): \_\_\_\_\_
6. LOCATION (see instructions for information): USGS quad name: DANIELSON or number: 43  
subregional drainage basin number: 3700
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): VACHON BROOKLYN, LLC
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): \_\_\_\_\_  
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☒ description: CONSTRUCTION OF PAVED PARKING FOR VEHICLE DISPLAY
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): D
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 2, 12, 14
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):  
wetlands: 0.071 acres open water body: \_\_\_\_\_ acres stream: \_\_\_\_\_ linear feet
12. UPLAND AREA ALTERED (must provide acres): ±2.5 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0.91 acres

DATE RECEIVED:

**PART III: To Be Completed By The DEEP**

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

## REGULATIONS

\$250

**\*Included in Pan Review Fee but may be subject to the payment of Additional Fees as set forth in this ordinance.**

**ZONING BOARD OF APPEALS**

ALL APPLICATIONS

\$250

**WETLANDS**

NON REGULATED USE (DOCUMENTATION FEE)

\$100

REGULATED USES:

RESIDENTIAL (SINGLE LOT)

\$150

SUBDIVISION APPLICATION  
lot

\$150 plus \$150 per

within the regulated area

COMMERCIAL/INDUSTRIAL

\$200 ✓

ADDITIONAL FEE BASED ON TOTAL  
IMPERVIOUS SURFACE INCLUDED IN  
COMMERCIAL/INDUSTRIAL APPLICATION:

&lt; 20,000 SQ FT

\$ 400 ✓

21,000 – 50,000 SQ FT

\$ 800

&gt; 51,000 SQ FT

\$1200

SIGNIFICANT ACTIVITY FEE (public hearing)

\$ 250 + other fees ✓

UPLAND REVIEW FEE

\$ 50

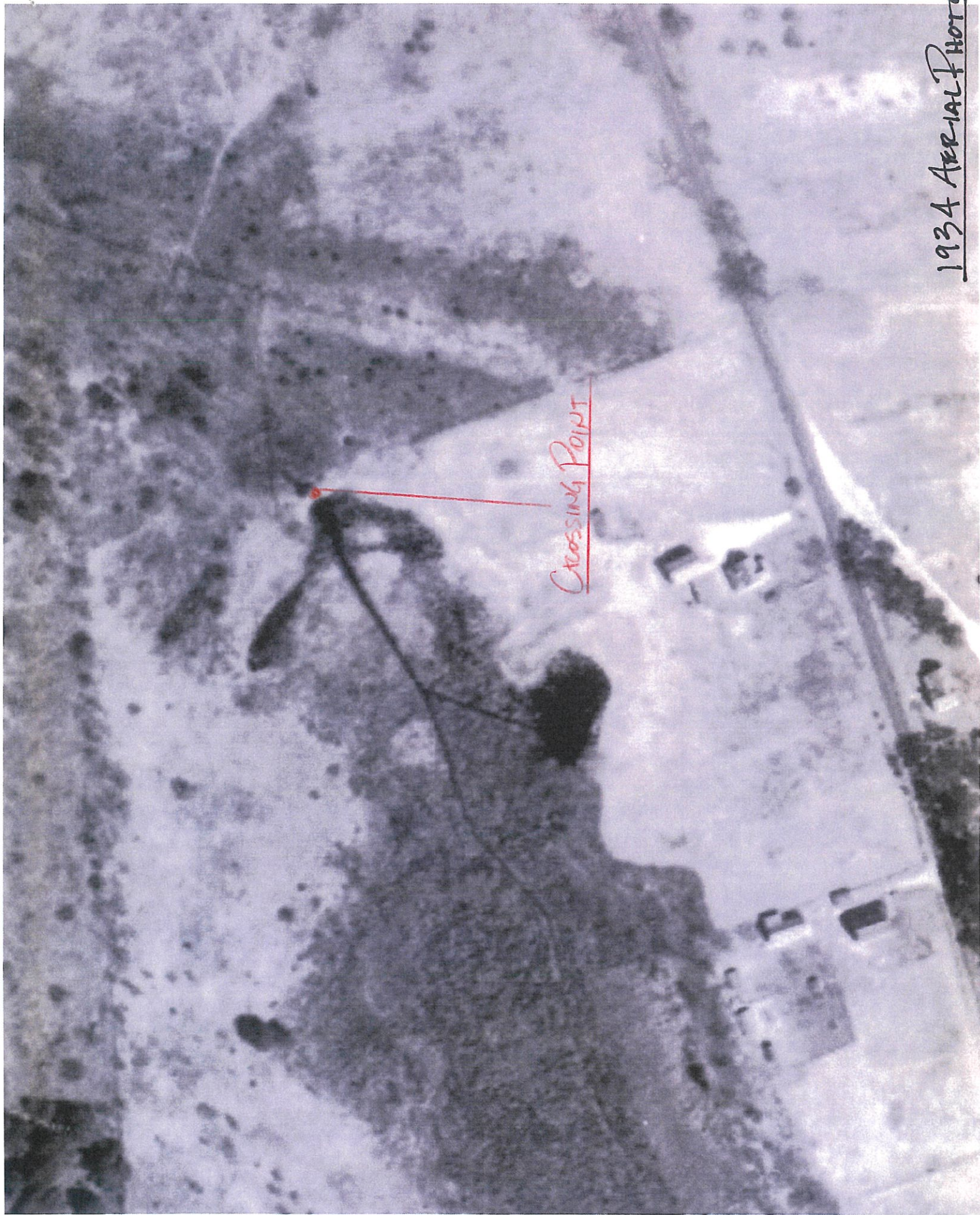
*1 WWC & P/E ⇒ ADD \$200 PUBLICATION FEE ✓*

**All fees payable pursuant to this ordinance are non refundable.**

**In addition to any other remedies permitted by law, any Land Use Application submitted after work has started on a project shall be subject to a surcharge of \$500.**

**IN ADDITION TO THE FEES SET FORTH ABOVE PAYABLE TO THE TOWN OF BROOKLYN, EACH APPLICATION IS SUBJECT TO AN ADDITIONAL CHARGE PAYABLE TO THE STATE**





1934 Aerial Photo





1:4,514

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

WGS\_1984\_web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

Enter Map Description



### Legend

Town

Buildings 2012

Parcels

CONN LIGHT & POWER CO  
PO BOX 270  
HARTFORDCT06141-2335

MARQUIS GARY W & MICHELLE D  
43 WESTVIEW DR  
BROOKLYNCT6234

MORGAN THE PATRICIA A REVOCABLE TRUS  
49 WESTVIEW DR  
BROOKLYNCT6234

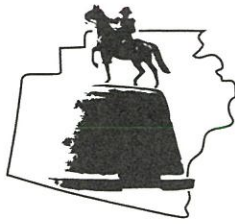
CASTLE REALTY LLC  
PO BOX 266  
STONINGTONCT06378-0156

ALDIN ASSOCIATES LIMITED PARTNERSHIP  
77 STERLING ROAD  
EAST HARTFORDCT6108

JEWETT CITY SAVINGS BANK  
PO BOX 335  
JEWETT CITYCT06351-0335

KCTT PROPERTIES LLC  
520 PROVIDENCE RD  
BROOKLYNCT6234

VACHON BROOKLYN LLC  
957 WASHINGTON ST  
ATTLEBOROMA2703



## Brooklyn Land Use Department

69 South Main Street  
Brooklyn, CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒ Zoning Enforcement ☐ Blight Enforcement ☐

SITE INSPECTION NUMBER

1 2 3 4 5

512 Providence Rd.

2/25/2020

Address

Date

Japanese knotweed is present on the site. It may be difficult to keep it from growing in/around the basins. There are no pipes visible at the supposed historic wetland crossing. Mr Thibault says there used to be a pipe here.

There are no sediment controls shown at the historic wetland crossing. I asked for revised plans showing double-staked hay bales and silt fence where wetland filling is proposed.

At the front wetland proposed alteration area, only silt fence is shown. I recommend double-staked hay bales and silt fence along the edge of disturbance.

Commission Representative

M. Washburn

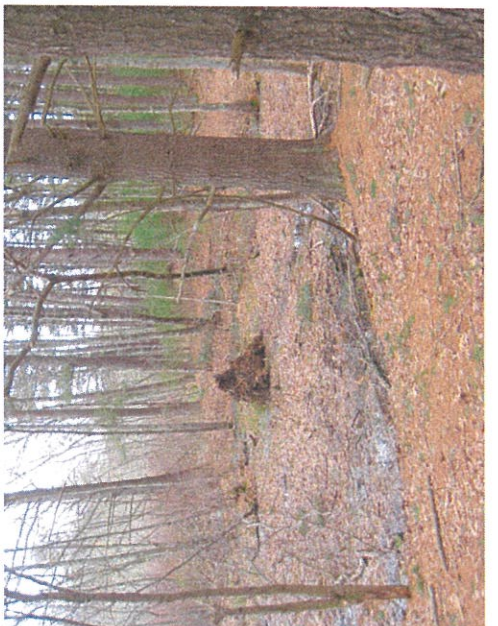
Owner or Authorized Signature

Thibault













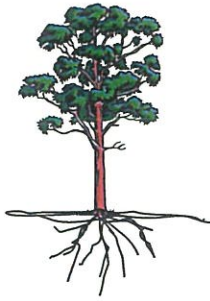






RECEIVED

MAR 09 2020



## Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Wetland Impact Assessments

Wetland Delineations and Permitting ~ E&S/Site Monitoring

Wetland Function & Value Assessments

3/5/20

Killingly Engineering Associates  
P.O. Box 421  
Dayville, CT. 06241

Re: Wetland function/value and impact assessment report for proposed parking expansion for Vachon Chevrolet, Providence Road, Brooklyn, Connecticut.

Dear Mr. Glaude,

At your request, I have reviewed the site plans entitled: "PROPOSED PARKING EXPANSION, "VACHON CHEVROLET" PROVIDENCE ROAD (ROUTE 6) BROOKLYN CONNECTICUT, dated 1/7/2020 and the above referenced property for the purposes of assessing the wetland functions and values and potential impacts to the inland wetlands and watercourses in proximity to the proposed parking area expansion.

The wetland function and value assessment was conducted on 2/26/20.

### Existing Conditions

The property composed by two separate lots is 10.52 acres in size and is located on the north side of Providence Road, (Route 6), in Brooklyn, CT.

The southeast portion of the site is occupied by the car dealership with both paved and gravel parking areas. The remaining portion of the property is occupied by a large palustrine forested/scrub-shrub wetland & watercourse complex and adjacent forested uplands.

### Upland Review Areas

The 125 foot upland review area around the delineated forested/scrub-shrub wetland/watercourse is vegetated in the overstory with a mix of white pine and mixed hardwoods in the sawtimber and polewood size classes. The mixed hardwoods include white and scarlet oaks, and red maple.

The understory is comprised of polewood and saplings in these species as well as shrub species such as highbush blueberry. Herbaceous vegetation includes hay scented ferns and miscellaneous grasses.

## **Wetlands**

A palustrine forested/scrub-shrub wetland/watercourse was delineated in the central portion of the property. (See wetland delineation report). The wetland was inundated on the date of the delineation, (11/14/19) and the assessment, (2/26/20).

This area has formed due to the presence of a perched or seasonal ground water table that provides the hydrology to allow it to remain inundated throughout the year.

The wetland/watercourse is vegetated around its perimeter with scarlet oaks, white pine and red maple in the sawtimber size classes.

The majority of this wetland/watercourse is densely vegetated with red maple saplings and typical wetland shrub species such as highbush blueberry, speckled alder, sweet pepperbush, winterberry and spicebush.

Herbaceous vegetation included sphagnum moss, sensitive & cinnamon ferns, sedges, rushes, skunk cabbage, tussock sedges and misc. grasses. Floating duckweed was also noted in one area.

Wildlife tracks/sign found and directly observed in and adjacent to the wetland/watercourse included mammals and bird species such as: white tailed deer, eastern coyote, red tailed fox, raccoon gray & red squirrels, red tailed hawk, American crow, red wing blackbird, and numerous songbird species.

Due to the time of year, no amphibians or reptiles were observed although undoubtedly the main wetland/watercourse serves as habitat for numerous species.

A small depressed area containing wetland soils was also delineated in the northeast portion of the property, (delineated by the "C" series flags). This area was most likely a historic excavation, in which these wetland soils have formed due to prolonged wetness.

The perimeter of this area is vegetated in the overstory with red maple sawtimber and polewood, and the understory is comprised of shrubs such as highbush blueberry, and speckled alder. Herbaceous vegetation included sensitive and cinnamon ferns. Sedges were found within the inundated portion of the wetland.

It is my opinion that this small wetland may possibly serve as vernal habitat, although no wood frogs, salamanders or egg masses were found on the date of the assessment, (2/25/20).

## **Wetland Functions and Values**

The forested/scrub-shrub wetland/watercourse, and the small wetland were inspected to determine wetland functions and values utilizing the Army Corps. Of Engineers methodology as outlined in "The Highway Methodology Workbook Supplement".

This methodology recognizes 8 separate wetland functions: groundwater recharge/discharge, floodflow alteration/storage, fish/shellfish habitat, sediment/toxicant/pathogen retention, nutrient removal/retention/transformation, production export, sediment/shoreline stabilization and wildlife habitat. The 4 wetland values include: recreational value, educational/scientific value, uniqueness/heritage value and threatened/endangered species habitat.

For each wetland function or value to be determined, 2 to 31 different considerations/or qualifiers are considered as rationale to apply or eliminate that specific function or value.

#### **Palustrine forested/scrub-shrub wetland/watercourse functions:**

The following is a list of the wetland functions exhibited by this wetland/watercourse and their descriptions:

**Floodflow alteration:** the large wetland/watercourse exhibits flood storage potential due to the flat topography, and valuable properties, structures and resources are located adjacent to the wetland.

**Ground water recharge and discharge:** Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

**Sediment/toxicant retention:** herbaceous vegetation, shrubs and flat topography in the wetlands can effectively trap sediments/toxicants from surface flows from the adjacent topography and gravel parking areas.

**Nutrient removal/retention:** herbaceous and shrub vegetation in the wetlands can effectively trap and utilize potential nutrients before reaching watercourses. Nitrogen fixing bacteria in wetland soils also trap nitrogen. Although with no current sources of nutrients present, this wetland has little opportunity to provide this function.

**Production export:** numerous tree, shrub and herbaceous plant species in the wetlands provide food, berries and seeds for wildlife. Amphibians provide food for birds and mammals.

**Sediment and shoreline stabilization:** Roots from herbaceous grasses and plants, shrub species and trees found in wetlands bind and stabilize soils which helps prevent erosion along steeper edges of wetlands. Although with no significant currents or shoreline waves, this wetland/watercourse has little opportunity to provide this function.

**Wildlife habitat:** Numerous amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat. Wildlife habitat is another primary function of this wetland.

This wetland did not exhibit the wetland functions of fish habitat due to the lack of significant deep water habitat areas capable of sustaining fish.

### **Palustrine forested Scrub-shrub Wetland/Watercourse Values**

The following wetland values were exhibited by this wetland/watercourse:

**Educational/scientific value:** this wetland/watercourse is relatively undisturbed, contains multiple wetland classes, and is considered as valuable wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

**Uniqueness/heritage value:** this wetland/watercourse serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as valuable wildlife habitat.

**Visual/aesthetic value:** the wetland/watercourse is visible from multiple viewing locations, it contains a diversity of vegetation that turns vibrant colors during different seasons, it is considered valuable wildlife habitat, and is not significantly disturbed.

This wetland/watercourse did not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

### **"C Series" Wetland Functions:**

The following is a list of the wetland functions exhibited by this wetland and their descriptions:

**Ground water recharge and discharge:** Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

**Wildlife habitat:** It is possible that amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat.

This wetland did not exhibit the wetland functions of floodflow alteration, sediment/toxicant retention, nutrient removal/retention, production export, sediment & shoreline stabilization and fish habitat due to the lack of floodwater storage capacity, its small area, lack of dense vegetation, lack of significant deep water habitat areas capable of sustaining fish, and it is not associated with stream flows or a large body of water.

### **"C Series" Wetland Values**

The following wetland values were exhibited by this wetland:

**Educational/scientific value:** this wetland is relatively undisturbed, and is considered as wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

**Uniqueness/heritage value:** this wetland serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as wildlife habitat.



This wetland did not exhibit the visual/aesthetic value as it is not visible to the public, and does not contain vegetation that turn vibrant colors. It does not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

### **Potential wetland impacts**

The project plans and site were reviewed to assess the potential impacts to the wetlands from the proposed parking area expansion.

On the two parcels, an expansion of the existing parking areas is proposed, one area in the northern portion of both of the lots, and one in the southern portion of lot 13A.

#### **Northern parking area:**

In order to access the uplands in the northern portion of the parcels, a 1,860 square foot direct wetland disturbance is proposed for the 12 foot wide paved access drive. This will consist of excavation and installation of two 30 inch diameter class IV concrete pipes which will be filled along the bottom with native soil material.

Within the majority of the 125 foot upland review area and remaining uplands, the 12 foot wide access drive and a 340 foot long by 60 foot wide paved parking area is proposed with a storm water treatment basin located to the south of the parking area. In the bottom of the storm water basin, a 2,850 square foot wetland mitigation is also proposed. This area is designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

The clearing limits and E&S measures shown on the plans vary from approx. 40 feet in width to immediately adjacent to the wetlands.

The topsoil stockpile is shown a reasonable distance from the wetlands and silt fencing is shown along the southern side.

#### **Southern parking area:**

In order to access the proposed 112 foot long by 44 foot wide paved parking area, a 1,250 square foot direct wetland disturbance is proposed for the construction of the access road.

To the north of the paved parking area, a storm water treatment basin is shown, and in the bottom of the basin a 1,150 square foot wetland mitigation is proposed. This area is also designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

Also shown on the project plans are proposed plantings of common spicebush and sweetgale shrubs along the northern edge of the storm water treatment basin, to help revegetate and stabilize the side slopes.

The clearing limits and E&S measures on the plans for the most part are depicted immediately adjacent to the wetlands.

No topsoil stockpile is shown for this small construction area so I would assume that the topsoil will be hauled off site, or stored elsewhere on site, preferably with silt fencing around the perimeter.

#### **E&S Measures:**

The submitted project plans show the proposed E&S measures around the perimeter of the clearing limits adjacent to the wetlands as silt fencing and/or staked hay bales.

*It would be my recommendation that the E&S measures be installed as soon as possible after the initial timber cutting and before the stumping and topsoil removal operation. It is during this phase where the most likely opportunity will occur for erosion and sedimentation. In some areas the slopes adjacent to the wetlands are steep, and the excavation, filling and grading are proposed directly adjacent to the wetlands.*

*Along the clearing limits adjacent to the wetlands, I would recommend either super silt fencing or silt fencing backed by staked hay bales should be proposed and implemented. This silt fencing will also prevent reptiles and amphibians from entering the excavation areas.*

*I would recommend that the storm water basins be constructed first before the remaining areas so they can serve as temporary sediment basins until the parking areas are constructed.*

*I would also recommend that E&S inspections be conducted on a frequent basis during the land clearing/stumping/topsoil stripping phases, and prior to significant storm events.*

#### **Direct wetland impacts:**

The combined direct wetland disturbance for both of the wetland crossings totals 3,110 square feet. In this area all the specifically listed wetland functions and values for each wetland will be negated.

It is my opinion however, that the proposed 4,000 square foot wetland mitigation will compensate for this loss.

#### **Potential short term impacts:**

The potential short term impacts associated with the land clearing, stumping, top soil stripping and construction would be limited to potential sediment discharges during significant storm events.

Provided that the proposed/recommended E&S measures/inspections are correctly implemented and maintained throughout the project timeframe, the disturbance directly

adjacent to the wetlands will not significantly impact the wetlands or their existing functions due to erosion and sedimentation. Once the top soils are removed, the well-drained, sandy/gravelly soils will allow for good infiltration of storm water runoff until the construction is complete.

The quick and permanent establishment of vegetation in the disturbed areas is crucial to the prevention of erosion. To minimize the potential for these impacts, E&S control measures have been incorporated into the project plans on sheet 5 of 5.

### **Potential long term impacts:**

#### **Wetland hydrology**

I see no direct or long term impacts to the wetland hydrology as a result of the proposed access roads, parking areas or storm water treatment basins. As the access drives and parking areas are paved, storm water runoff will be an input to the existing hydrology, through some minor overland flow, but mostly through the storm water basins, as ground water recharge or as direct discharge during significant storm events after treatment.

#### **Water quality:**

Due to the incorporation of the paved parking surfaces, stone water quality trenches, storm water treatment basins, and some direct infiltration of storm water in the well-drained, sandy, gravelly soils, I see no significant or adverse impacts to the existing water quality of the wetlands from storm water discharges.

#### **Adjacent upland wildlife habitat**

Potential long term impacts to the upland habitat from the project would include the loss of a significant portion of the URA serving as riparian zones and upland wildlife habitat adjacent to the wetlands. This intrusion will force wildlife into the narrow vegetated corridor in and around the wetlands during and after the construction timeframe, and into other areas where the uplands are not disturbed. However, because this vegetated wildlife corridor is not proposed to be totally cleared and still exists in minimal widths in some areas, the wetlands and adjacent riparian zone will still provide for some wetland function and wildlife habitat.

It is my opinion that the proposed 4,000 square foot wetland mitigation will help compensate for these impacts to the upland/riparian habitat.

In summary, the design of the project implements features intended to minimize or eliminate potential impacts to the wetlands such as storm water runoff, significant loss of wetland habitat, and erosion and sedimentation associated with construction activities.

I feel these proposed measures are adequate to protect the wetlands provided that the recommended erosion and sedimentation control features are implemented and maintained throughout the excavation and reclamation timeframe.

The construction of the proposed 4,000 square foot wetland mitigation will assist in the remaining wetlands ability to provide the same wetland functions and values they currently provide.

If you have any questions concerning the site assessment or this report, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "J. R. Theroux", with a stylized, flowing script.

Joseph R. Theroux  
Certified Forester and Soil Scientist  
Member SSSSNE, NSCSS, SSSA



neccog

ashford - brooklyn - canterbury - chapin - eastford - hampton - killingly - plainfield  
pomfret - putnam - scotland - sterling - thompson - union - voluntown - woodstock

March 23, 2020

Ms. Jana Roberson, AICP  
Director of Community Development / Town Planner  
Town of Brooklyn  
5 Wolf Den Road  
P.O. Box 356  
Brooklyn, CT 06234

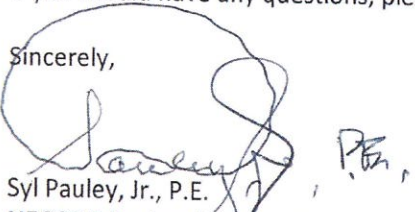
SUBJECT: Proposed Parking Expansion  
Vachon Chevrolet  
Assessor's Map 41, Lot Nos. 13A & 14  
Providence Road (Route 6)  
Brooklyn, Connecticut

Dear Ms. Roberson:

As you requested, I have reviewed the developer's consulting engineer's plans for the above captioned project. A copy of my comments are enclosed pertaining to my review of the plans, consisting of five sheets, entitled "Proposed Parking Expansion, 'Vachon Chevrolet', Providence Road (Route 6), Brooklyn, Connecticut, Prepared for Vachon Brooklyn, LLC.," which were created by Killingly Engineering Associates, dated January 2020 with revision date of March 10, 2020.

If you should have any questions, please do not hesitate to email me at [syl.pauley@neccog.com](mailto:syl.pauley@neccog.com).

Sincerely,

  
Syl Pauley, Jr., P.E.  
NECCOG Regional Engineer

SP/s

cc: File

JRLtr\_ProposedParkingExpansionVachonChevrolet\_Xmit 03202020 Review Cmts.doc

majority of the visual/sound barrier created by the existing mature forest in this area between the house and the proposed development is going to be removed, only to be replaced by young plantings that will take many years to reestablish the buffer. Therefore, has the impact of lighting and noise on the adjacent residence been evaluated to determine if there will be any significant impact to it?

3. How will snow removal be handled in this area so as not to impact the adjacent wetlands (salt or other ice removal chemicals) and proposed landscaping?
4. It is unclear on how the "island" in the middle of the proposed parking area is going to be constructed, i.e., raised island with landscaping; raised island paved with no landscaping; flush with whatever in between; etc.? Can this area be used as a rain garden to mitigate some of the runoff from the pavement?
5. Is there any consideration to provide some form of "tall" landscaping in the center island, considering how much impervious pavement is being proposed?
6. As an aid to construction, it would be helpful to include a cross-section profile from the detention basin outlet structure to just beyond the level spreader.

#### **SHEET 5 OF 5 – DETAIL SHEET**

1. In the "Stormwater Basin Outlet Detail," a smooth outer wall PVC pipe may be less susceptible to upheaval or degradation (breakage) by icing conditions than a corrugated type of pipe. It is recommended that this be evaluated by the designer. Furthermore, over time, ultraviolet rays in sunlight degrades unprotected plastic pipe, which causes it to lose structural integrity and stability. Considering this, concrete may be a better choice.
2. In the "Stone Berm" detail, what specific type of filter fabric should be used to minimize sediment transport and at the same time allow the efficient transmission of water toward the outlet structure? This should be specified in the detail. Also, what are the conditions as to when the berm should be replaced to function as designed due to sediment build up?
3. It is recommended that the "Silt Fence – Backed with Haybales" detail title be modified to read "Super Silt Fence (Silt Fence Backed with Haybales or Wood Chip Berms)."
4. In the "Chain Link Fence Detail" the gauge of the fence fabric and size of the selvage should be specified and also what type of material it is manufactured from (galvanized steel, PVC coated steel, etc.). The same goes for the posts and hardware, too, and depth of bury/concrete anchorage for the posts.
5. In the "Stone Berm" detail, will CONNDOT crushed stone M.01.01 #3 remain stable at a 2:1 angle of repose?
6. In the "Slope Stabilization Detail" it is recommended that the slope be 3:1 or flatter, **NOT** 2:1 or steeper, as shown.
7. In the "Bituminous Lip Curb" detail it is recommended that the curb be formed on the binder course (locked in) for better stability/longevity, which should provide more resistance to deformation by snowplowing operations or other vehicle impacts.

By: 

Syl Pauley, Jr., P.E., NECCOG Regional Engineer

# Killingly Engineering Associates

## Civil Engineering & Surveying

P.O. Box 421 Killingly, CT 06241  
Phone: 860-779-7299  
www.killinglyengineering.com



March 30, 2020

Ms. Jana Roberson, AICP  
Director of Community Development/Town Planner  
Town of Brooklyn Department of Planning  
Clifford B. Green Memorial Center  
69 South Main Street  
Brooklyn, CT 06234

**RE: Proposed Parking Expansion  
Vachon Chevrolet**

Dear Ms. Roberson;

In response to NECCOG review comment on the aforementioned project, we offer the following:

### **Sheet 2 of 5 – Existing Conditions**

1. The CGS random points referenced on the survey plan were used to establish the horizontal location of the project and have no bearing on the design. These points are not located adjacent to the site and we do not see the need or purpose of providing coordinates or creating a large-scale diagram of their locations at the expense of our client. Additionally, the Town of Brooklyn's regulations do not require such information.

### **Sheet 3 of 5 – Site Development Plan No. 1**

1. A note has been added to the plan to direct the contractor to remove the anti-tracking construction entrance prior to installing the first course of pavement. This has also been noted on sheet 5 of 5 in the development schedule/sequence of operations.
2. The note "silt fence backed with staked haybales or wood chip berms" has been modified to read the same on all sheets.

### **Sheet 4 of 5 – Site Development Plan No. 2**

1. Slopes in the detention basin have been modified so that they do not exceed 2:1 (center berm only). We have also noted that jute netting shall be installed to stabilize the basin after topsoil and seed have been applied. The center berm is designed to extend detention time in the basin and we do not anticipate erosive conditions once stabilized.
2. A detail for the lighting fixture with the make and model number has been added to the plans. We have also enclosed a cut sheet for the lighting as well. The chosen fixtures will be mounted no higher than 12' and are dark sky compliant. In addition, the landscaping proposed between the parking and the residences to the north will provide a very good vegetated buffer; cut sheets for the chosen plantings is included with this submission. Currently, the existing pine trees do not provide any visual buffer. As with most larger pine trees, there are minimal branches at the bottoms of the trees up to 20' or more. With regard to noise, this area will be utilized to store inventory and will not be accessed by the general public unless accompanied by a sales representative.
3. Snow will be stockpiled at the top of the slope adjacent to the proposed stormwater basin. Sheet 5 of the plans specify that no salt or chemical applications for snow removal shall be used.



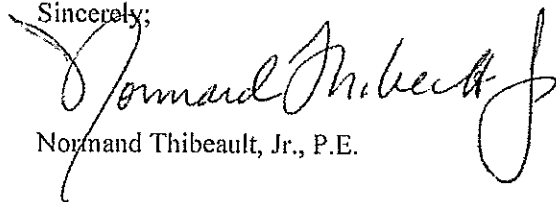
4. The island in the center of the site will be depressed. We will incorporate rain garden plantings into the island to promote stormwater treatment and infiltration.
5. As the center island will be utilized in the capacity of a rain garden, we do feel that taller vegetation would be appropriate.
6. A cross section of the basin outlet has been added to the plans as requested.

**Sheet 5 of 5 – Detail Sheet**

1. The manufacturer of ADS N-12 HDPE pipe states a life expectancy of 100 years. For the upright outlet structure, the base will be embedded in concrete to anchor it in place to prevent upheaval and the depth of bury for the outlet pipe will for the most part be installed below frost level. We have utilized this design and application for dozens of projects throughout the years and we are not aware of any failures for this application. Additionally, the installation of the outlet pipe and structure in this location does not present any structural constraints (i.e. it is not an installation subject to traffic). It is our professional opinion that HDPE pipe is sufficient for this application.
2. For the stone berm, specifications for the filter fabric have been called out and conditions for maintenance are defined.
3. The silt fence detail has been modified to read “super silt fence” as requested.
4. The detail for the fence installation has been modified as requested. In addition, neighbors who attended the public hearing for wetlands requested an 8’ fence in lieu of a 6’ fence which has been accommodated.
5. In our experience, the 2:1 angle of repose for the DOT #3 stone is stable. Section 5-10-12 of the 2002 CT Guidelines for Soil and Erosion Control (“the 2002 Guidelines”) specify slopes no steeper than 1:1 and heights no greater than 3’.
6. We have modified the slope stabilization detail to call for application on slopes 2:1 or flatter per 5-4-10 of the 2002 Guidelines.
7. Bituminous curb installation detail has been modified accordingly as requested.

We trust that the plans as modified address the March 23<sup>rd</sup> review comments. Please feel free to contact us if there are any further questions or concerns.


Sincerely;





Normand Thibeault, Jr., P.E.





Legend


 512 Providence Rd

 Baker's Dozen

 CVS Pharmacy | Photo

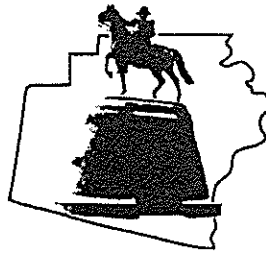
 Feature 1

 Premier Chevrolet

 Savings Institute Bank & Trust







## Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒ Zoning Enforcement \_\_\_\_\_ Blight Enforcement \_\_\_\_\_

### SITE INSPECTION NUMBER

1 2 3 4 5

260 Woodward Road

4/23/2020

Address

Date

I inspected with Rich Oliverson and photos were taken. The ford has been restored to repair the breach. There is now a retaining wall on the bank of the brook where there was previously a pile of fill. Disturbed soils have been mulched with hay.

It looked like a few stones on the ford are sticking up higher out of the water than ~~previously~~ on earlier inspections. It looked like the ford may have been widened (?)

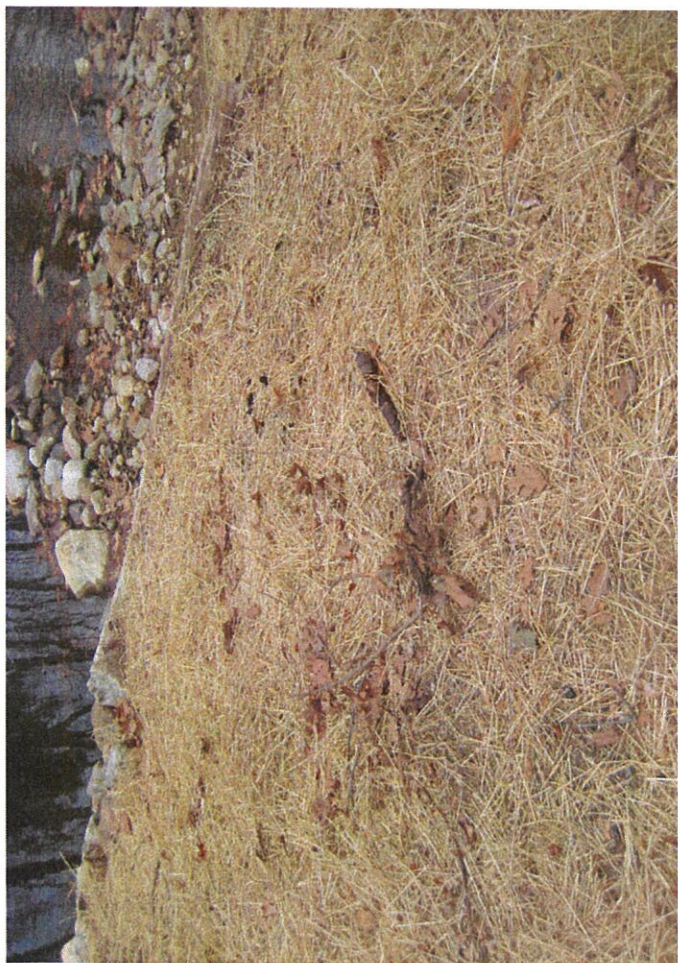
Refer to previous photos.

Commission Representative

M. Washburn

Owner or Authorized Signature











**Brooklyn Inland Wetlands and Watercourses Commission**

**69 South Main Street, Suite 22**

**Brooklyn, CT 06234**

**(860) 779-3411 ext. 31 and ext. 12**

**CERTIFIED #** \_\_\_\_\_

9489 0090 0027 6166 5940 07

**NOTICE OF WETLANDS VIOLATIONS AND  
WETLANDS ENFORCEMENT ORDER**

Seth Duval  
Po Box 883  
260 Woodward Road  
Brooklyn, CT 06234

February 13, 2020

Seth Duval:

The Brooklyn Inland Wetlands Commission ("IWWC") has determined that at 260 Woodward Road in Brooklyn, CT (Assessors Map 11, Lot 25A) you did the following work without a permit and in violation of the IWWC Regulations and the CT Wetlands Statutes:

You used a backhoe to dig soil and large stones out of the channel of Sandy Brook.

You used a backhoe to breach the existing ford across Sandy Brook.

You deposited material dug out of the channel of Sandy Brook with a backhoe onto the bank of Sandy Brook, and into the adjacent wetlands and/or upland review area.

You are hereby directed to take the following action and steps to correct the Violations by April 14, 2020:

1. Cease and desist from digging/excavating in the channel of Sandy Brook.
2. Restore the ford to its condition prior to the unpermitted work.
3. Remove the fill you placed on the bank of Sandy Brook, and into the adjacent wetlands and/or upland review area.

4. Deposit the fill outside the 175-foot upland review area to Sandy Brook.
5. Stabilize the area where fill has been removed, and all other disturbed areas in the 175-foot upland review area to Sandy Brook by seeding and mulching the disturbed areas with hay.

The IWWC and/or its agent are authorized to inspect the subject property, at reasonable times. During the pendency of the Wetlands Enforcement Order.

The terms of this Notice of Wetlands Violation and Wetlands Enforcement Order shall be met under the timeline set by the IWWC.

**Failure to comply with this Order may result in fines and/or legal action against you in Superior Court.**

Sincerely,



Margaret Washburn  
Brooklyn Wetlands Enforcement Officer  
(860) 779-3411 ext. 31  
[m.washburn@brooklynct.org](mailto:m.washburn@brooklynct.org)

**Brooklyn Inland Wetlands and Watercourses Commission**

**69 South Main Street, Suite 22  
Brooklyn, CT 06234  
(860) 779-3411 ext. 31 and ext. 12**

**CERTIFIED #** \_\_\_\_\_

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**NOTICE OF WETLANDS VIOLATIONS AND  
WETLANDS ENFORCEMENT ORDER**

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Po Box 883  
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Brooklyn, CT 06234

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Sincerely,



Margaret Washburn  
Brooklyn Wetlands Enforcement Officer  
(860) 779-3411 ext. 31  
[m.washburn@brooklynct.org](mailto:m.washburn@brooklynct.org)



---

I, Seth Duval, with the understanding that I will be able to repair the ford through Sandy Brook located at 260 Woodward Rd, and to the best of my ability, return it to it's original form, with limited use of equipment, and move loose material off the site using a bucket loader, hereby withdraw my permit application.

Electronic Signature: *Seth Duval*

Seth Duval 02/12/2020



370 Porter Pond Rd., Moosup, Connecticut 06354  
860.836.1081(cell)

phone: 860.556.3886

## Soil Report

Project # 20200208

Requested By: Seth Duval

Site Inspection Date: February 8, 2020

**Project Title and Location:** 260 Woodward Rd, Brooklyn, CT along Sandy Brook

### Delineated Methodologies

- ☒ *Inland and Watercourses Act, Sections 22a-36 through 22a-45, General Statutes of CT, 1974*
- ☒ *1987 Federal Manual for Identifying and Delineating Jurisdictional Wetlands*
- ☐ *Federal Manual Data Forms attached*

### Method for Identification of Map Units

#### Wetlands

- ☒ High Intensity field identification by Soil Scientist
- ☒ Field Marking (plastic flagging) for survey.
  - Wetlands Flagging Color: Orange, Wetland Lettering Watercourse Flagging color:
  - Numbering Sequence of wetland flagging: W-1 to W-13, W-15 to W-25
- ☐ GPS Coordinates Provided
- ☒ Field Plotting:
  - ☐ Topographical Map
  - ☒ Aerial photography

Scale: Scale bar provided

Contour:

#### Non Wetland Soils

- ☐ High Intensity field identification by Soil Scientist
- ☒ Medium Intensity identification from *USDA, Soil Conservation Service Maps*

### Method of Soil Identification

Spade and Auger

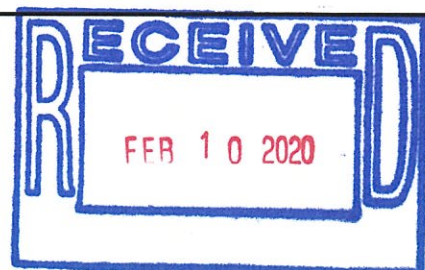
### Attachments

- ☒ Site Flag Locations
- ☒ Summary of Soil Conditions
- ☒ Photographic Log

The Natural Resource Conservation Service Official Soil Series Descriptions were used to describe the soils indicated under the Summary of Soil Conditions on page 2.

All wetland boundary lines established by the undersigned Soil Scientist are subject to change until officially adopted by local, state or federal regulatory agencies. Boundaries were established by undersigns best professional opinion utilizing guidelines from both state and federal agencies.

Roger J Gibson, Jr.  
Connecticut Certified Soil Scientist





370 Porter Pond Rd., Moosup, Connecticut 06354 phone: 860.556.3886  
860.836.1081(cell)

## **Summary of Soil Conditions**

Project #20200208  
Site Inspection Date: February 8, 2020

Requested By: Seth Duval

**Project Title and Location:** 260 Woodward Rd, Brooklyn, CT along Sandy Brook

### **Wetland Soils:**

#### **Timakwa series**

The Timakwa series consists of very deep, very poorly drained soils formed in woody and herbaceous organic materials over sandy deposits in depressions on lake plains, outwash plains, till plains, moraines, and flood plains.

#### **Natchaug series**

The Natchaug series consists of very deep, very poorly drained soils formed in woody and herbaceous organic materials overlying loamy deposits in depressions on lake plains, outwash plains, till plains, moraines, and flood plains.

### **Non-wetland Soils:**

#### **Hinckley series**

The Hinckley series consists of very deep, excessively drained soils formed in glaciofluvial materials. They are nearly level through very steep soils on outwash terraces, outwash plains, outwash deltas, kames, kame terraces, and eskers.

#### **Gloucester series**

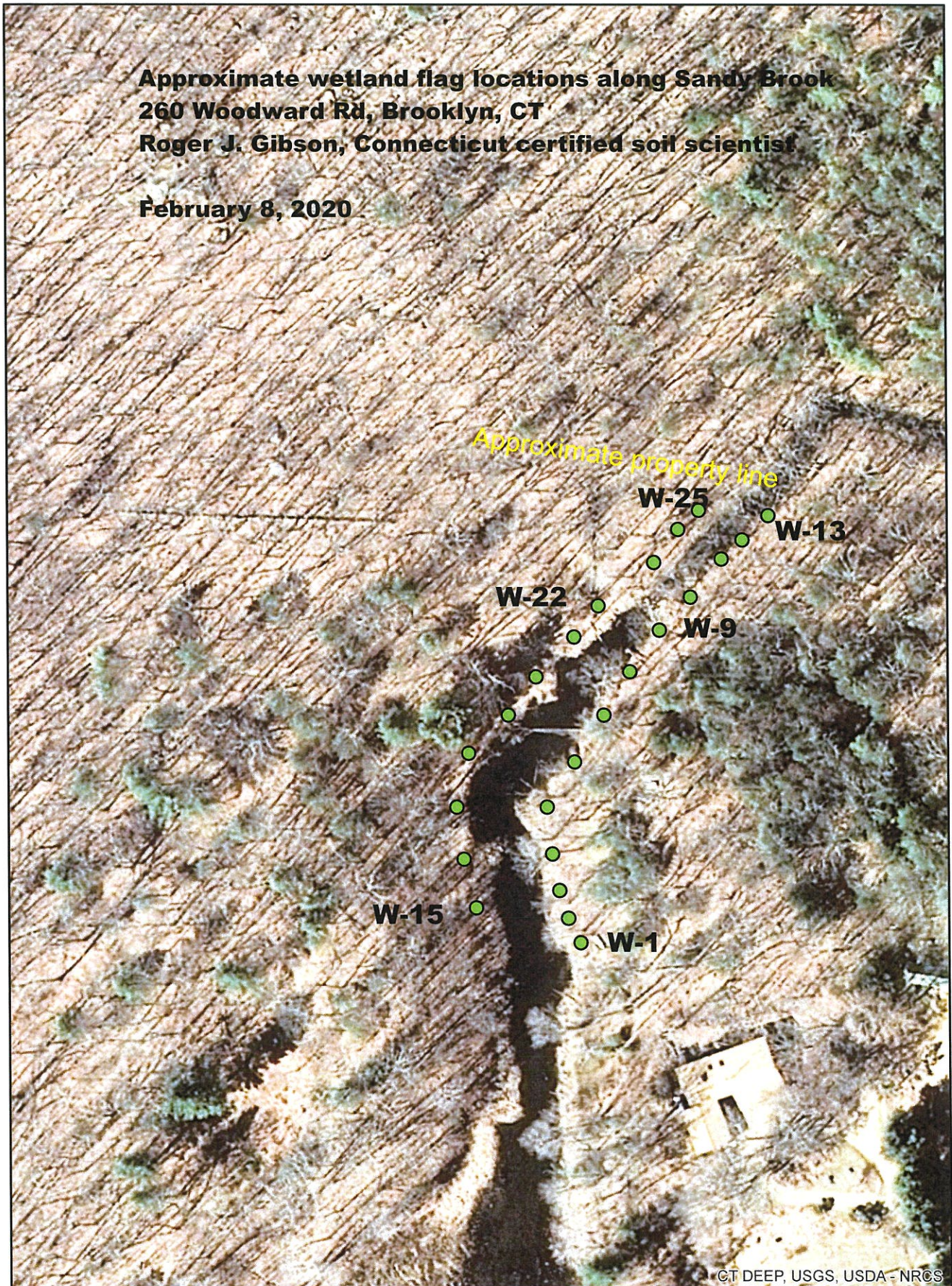
The Gloucester series consists of very deep, somewhat excessively drained soils formed in sandy till. They are nearly level through very steep soils on ground moraine uplands and moraines.

### **Remarks:**



**Approximate wetland flag locations along Sandy Brook  
260 Woodward Rd, Brooklyn, CT  
Roger J. Gibson, Connecticut certified soil scientist**

**February 8, 2020**





## PHOTOGRAPHIC LOG

## Client Name:

Seth Duval

260 Woodward Rd  
Brooklyn, Connecticut

## Project Assignment:

Delineate from crossing in Sandy Brook 175'  
upstream and downstream or to property line.

## Photo No. Date:

1

2/8/2020

## Direction of Photo Taken:

Southeast

## Description:

View towards flag W-1 upslope  
within higher portion  
of Highbush Blueberries  
(*Vaccinium corymbosum*).



## Photo No. Date:

2

2/8/2020

## Direction of Photo Taken:

South

## Description:

View south of wetland limit.  
Soil change within steep slope.





## PHOTOGRAPHIC LOG

**Client Name:**

Seth Duval

260 Woodward Rd  
Brooklyn, Connecticut

**Project Assignment:**

Delineate from crossing in Sandy Brook 175'  
upstream and downstream or to property line.

**Photo No. Date:**

3

2/8/2020

**Direction of Photo Taken:**

Southwest

**Description:**

View upstream at ford.  
Delineated wetland flags shown  
with orange ribbon.



**Photo No. Date:**

4

2/8/2020

**Direction of Photo Taken:**

Northeast

**Description:**

View downstream from ford.  
Wetland flagging terminated at  
said property boundary (not  
surveyed).





## PHOTOGRAPHIC LOG

**Client Name:**

Seth Duval

260 Woodward Rd  
Brooklyn, Connecticut

**Project Assignment:**

Delineate from crossing in Sandy Brook 175'  
upstream and downstream or to property line.

**Photo No. Date:**

5

2/8/2020

**Direction of Photo Taken:**

South

**Description:**

Wetland flag W-15 in  
background.



**Photo No. Date:**

6

2/8/2020

**Direction of Photo Taken:**

Northeast

**Description:**

Wetland flag W-23 shown with  
view downstream from Ford.







## Brooklyn Land Use Department

69 South Main Street  
Brooklyn, CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒ Zoning Enforcement \_\_\_\_\_ Blight Enforcement \_\_\_\_\_

### SITE INSPECTION NUMBER

1 2 3 4 5

260 Woodward Rd

11/25/19

Address

Date

I met Seth Dural, inspected + took photos. There is an old cart path to the stream from the house. Seth has been maintaining a ford by hand throwing rocks on it from year to year. The ford used to extend across Sandy Brook; water flowed through the stones or over the stones.

Seth used a backhoe to dig out material to re-establish the ford. He removed part of the ford because he wanted to put in some bigger rocks. The goal is to be able to drive a Kubota tractor, a backhoe + a pickup truck for the purpose of harvesting tops left over from logging. There was a beaver dam at the ford until it washed out about 2 years ago. Seth agrees to fill out an application for a wetlands permit and submit before Dec. 10<sup>th</sup>.

Commission Representative

M. Washburn

Owner or Authorized Signature

Seth Dural



260 Creamery Brook Rd. 11-25-19













RECEIVED

MAR 05 2020

Date \_\_\_\_\_

INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONECTICUT

Application # 031020A

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT EVAN SIGFRIDSON MAILING ADDRESS 125 FITZGERALD RD BROOKLYN  
APPLICANT'S INTEREST IN PROPERTY Contractor PHONE 860 774 2075 EMAIL evan@sigfridson.com

PROPERTY OWNER IF DIFFERENT DARKO KRSLIC PHONE \_\_\_\_\_  
MAILING ADDRESS 293 HARTFORD RD EMAIL darkoval012@gmail.com

ENGINEER/SURVEYOR (IF ANY) \_\_\_\_\_  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS \_\_\_\_\_  
MAP # 19 LOT # 39 ZONE \_\_\_\_\_ TOTAL ACRES 7 ACRES OF WETLANDS ON PROPERTY \_\_\_\_\_

PURPOSE AND DESCRIPTION OF THE ACTIVITY Demolish remainder of collapsed coop dig and  
pour frost walls for proposed 24x32 Accessory building

WETLANDS EXCAVATION AND FILL:

FILL PROPOSED 0 CUBIC YDS 0 SQ FT \_\_\_\_\_  
EXCAVATION PROPOSED 0 CUBIC YDS 0 SQ FT \_\_\_\_\_  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE 0 OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT 0 ACRES 0

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY \_\_\_\_\_ SQFT \_\_\_\_\_ ACRES \_\_\_\_\_

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? No IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? No

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE  
SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION  
DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: [Signature] DATE 2/12

OWNER: [Signature] DATE 2.13.20



## REQUIREMENTS

\_\_\_\_\_ APPLICATION FEE \$ \_\_\_\_\_ STATE FEE (\$60.00) \_\_\_\_\_

\_\_\_\_\_ COMPLETION OF CT DEEP REPORTING FORM

\_\_\_\_\_ ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

\_\_\_\_\_ PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

\_\_\_\_\_ SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

\_\_\_\_\_ COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

\_\_\_\_\_ IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP  
INLAND WATER RESOURCES DIVISION  
79 ELM ST.  
HARTFORD, CT. 06106  
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
696 VIRGINIA ROAD  
CONCORD, MA. 01742  
1-860-343-4789

STAFF USE ONLY:

\_\_\_\_\_ DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

\_\_\_\_\_ PERMIT REQUIRED:

\_\_\_\_\_ AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ AUTHORIZED BY IWWC

\_\_\_\_\_ SIGNIFICANT ACTIVITY/PUBLIC HEARING

\_\_\_\_\_ NO PERMIT REQUIRED

\_\_\_\_\_ OUTSIDE OF UPLAND REVIEW AREA

\_\_\_\_\_ NO IMPACT

\_\_\_\_\_ CHAIR, BROOKLYN IWWC

\_\_\_\_\_ WETLANDS OFFICER

\_\_\_\_\_ TIMBER HARVEST





## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:  
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3<sup>rd</sup> Floor, Hartford, CT 06106

### PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN (enter one year and month): Year \_\_\_\_\_ Month \_\_\_\_\_
2. ACTION TAKEN (enter one code letter): \_\_\_\_\_
3. WAS A PUBLIC HEARING HELD (check one)? Yes \_\_\_\_\_ No \_\_\_\_\_
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): BROOKLYN  
Does this project cross municipal boundaries (check one)? Yes \_\_\_\_\_ No ☒  
If Yes, list the other town(s) in which the action is occurring (type name(s)): \_\_\_\_\_
6. LOCATION (see directions for website information): USGS Quad Map Name: \_\_\_\_\_ or Quad Number: 42  
Subregional Drainage Basin Number: 3711
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): EVAN SIGFRIDSON
8. NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): 293 HARTFORD RD  
Briefly describe the action/project/activity (check and type information): Temporary ☒ Permanent \_\_\_\_\_  
Description: FOUNDATION EXCAVATION
9. ACTIVITY PURPOSE CODE (enter one code letter): A
10. ACTIVITY TYPE CODE(S) (enter up to four code numbers): 2 12 \_\_\_\_\_
11. WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):  
Wetlands: 0 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED (type in acres as indicated): 0 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO





## **STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM**

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for each action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package as well.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is accurate and that it reflects the final action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following page.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15<sup>th</sup> day of the following month to the Department of Energy and Environmental Protection (DEEP). Do not mail this cover page or the instruction page. **Please mail only the completed yellow reporting form to:**

Wetlands Management Section  
Inland Water Resources Division  
Department of Energy & Environmental Protection  
79 Elm Street, 3<sup>rd</sup> Floor  
Hartford, CT 06106

Questions may be directed to the DEEP's Wetlands Management Section at (860) 424-3019.



# INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report each action taken by the Agency. Complete the form as described below.

PLEASE PRINT CLEARLY

## PART I: To Be Completed By the Inland Wetlands Agency Only

1. Enter the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed. Enter ONE year and month per form.
2. Enter ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. *Do not submit a reporting form for withdrawn applications.* Do not enter multiple code letters (for example: if an enforcement notice was given and subsequent permit issued - two forms for the two separate actions are to be completed).
  - A = A Permit Granted by the Inland Wetlands Agency (*not including map amendments, see code D below*)
  - B = Any Permit Denied by the Inland Wetlands Agency
  - C = A Permit Renewed or Amended by the Inland Wetlands Agency
  - D = A Map Amendment to the Official Town Wetlands Map - or -  
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
  - E = An Enforcement Notice of Violation, Order, Court Injunction, or Court Fines
  - F = A Jurisdictional Ruling by the Inland Wetlands Agency (i.e.: activities "permitted as of right" or activities considered non-regulated)
  - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
  - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "Yes" if a public hearing was held in regards to the action taken; otherwise check "No".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

**PART II: To Be Completed by the Inland Wetlands Agency or the Applicant** - If Part II is completed by the applicant, the applicant must return the form to the Inland Wetlands Agency. The Inland Wetlands Agency must ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.  
  
Check "Yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "No" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. See the following website for USGS Quad Map names and numbers:  
[http://ct.gov/deep/lib/deep/gis/resources/Index\\_NamedQuadTown.pdf](http://ct.gov/deep/lib/deep/gis/resources/Index_NamedQuadTown.pdf) 47 ~ 48  
  
ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If the action/project/activity is located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn - CLEAR's website: [http://clear.uconn.edu/data/map\\_set/index.htm](http://clear.uconn.edu/data/map_set/index.htm) 3711
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief description of the action/project/activity.



9. **CAREFULLY REVIEW** the list below and enter ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N".

- |   |   |
|---|---|
| A = Residential Improvement by Homeowner                  | I = Storm Water / Flood Control               |
| B = New Residential Development for Single Family Units   | J = Erosion / Sedimentation Control           |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation         |
| D = Commercial / Industrial Uses                          | L = Routine Maintenance                       |
| E = Municipal Project                                     | M = Map Amendment                             |
| F = Utility Company Project                               | N = State Agency Project                      |
| G = Agriculture, Forestry or Conservation                 | P = Other (this code includes the approval of |
| H = Wetland Restoration, Enhancement, Creation            | concept plans with no-on-the-ground work)     |

10. Enter between one and four code numbers to best characterize the project or activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You must provide code 12 if the activity is located in an established upland review area (buffer, setback). You must provide code 14 if the activity is located BEYOND the established upland review area (buffer, setback) or NO established upland review area (buffer, setback) exists.

- |   |  |
|---|--|
| 1 = Filling   | 8 = Underground Utilities (no other activities)    |
| 2 = Excavation  | 9 = Roadway / Driveway Construction                |
| 3 = Land Clearing / Grubbing (no other activity)            | 10 = Drainage Improvements                         |
| 4 = Stream Channelization                                   | 11 = Pond, Lake Dredging / Dam Construction        |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only)               | 14 = Activity in Upland                            |
| 7 = Culverting (not for roadways)                           |  |

**Examples:** Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality *does not* have an established upland review area must use code 14; other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14; other possible codes are 1 and 2. Permitted dredging of a pond must use code 11; other possible codes are 12 and 5.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body". For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream". Remember that these figures represent only the acreage altered not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. Enter zero if there is no alteration.

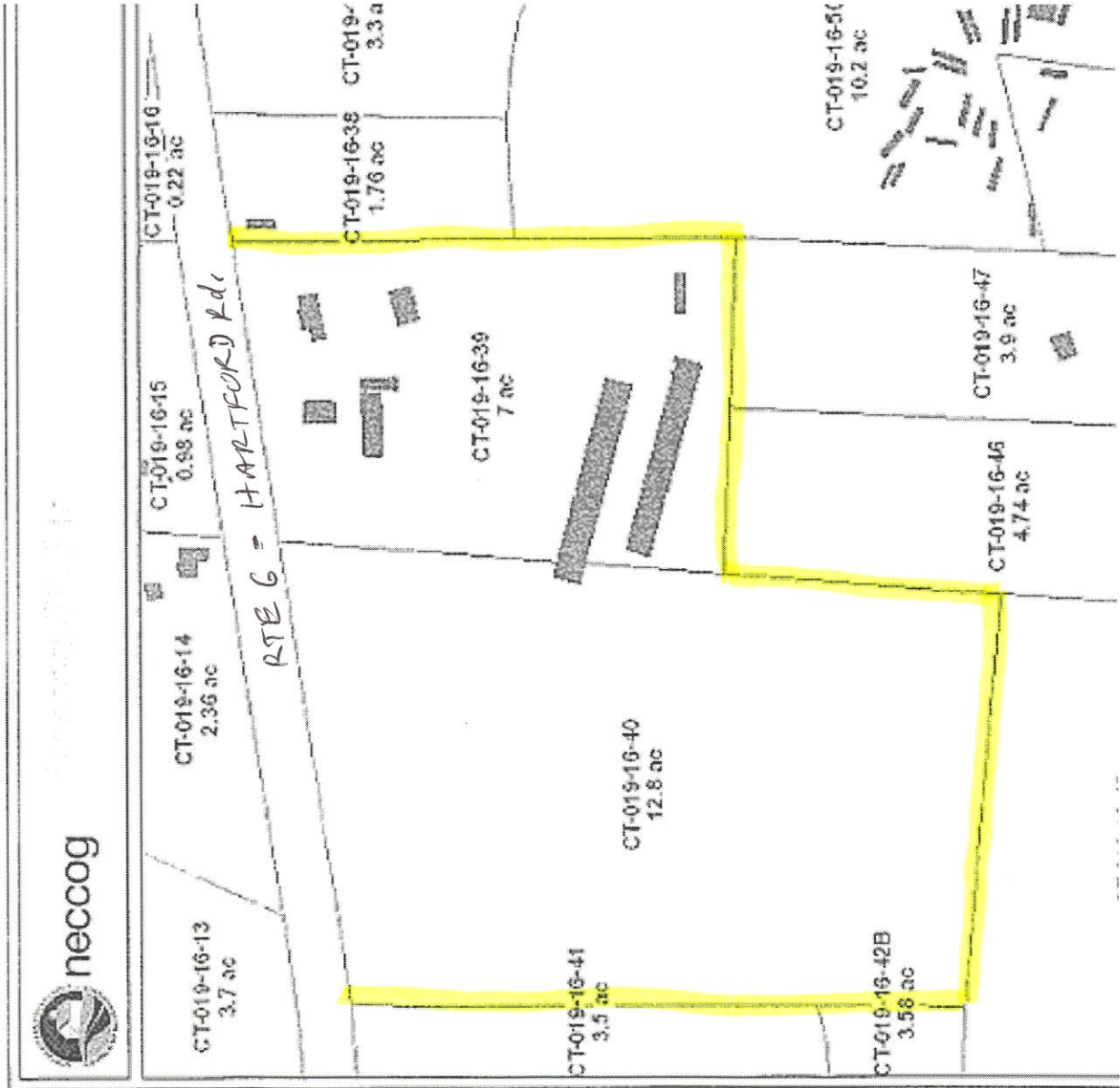
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agency permits, denials, amendments, and enforcement actions. Inland wetlands agencies may have established an upland review area (also known as a buffer or setback) in which activities are regulated. Agencies may also regulate activities beyond these established areas. You MUST provide all information in ACRES including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. Enter zero if there is no alteration. Remember that these figures represent only the upland acreage altered as a result of an activity regulated by the inland wetlands agency, or as a result of an agent approval.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, and enforcement actions. **NOTE** restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses (question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered). You MUST provide all information in ACRES including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. Enter zero if there is no restoration, enhancement or creation.

**PART III: To Be Completed By The DEEP** - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

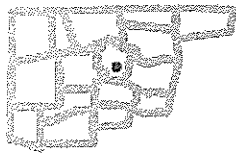


Brunzi





Planning and Zoning

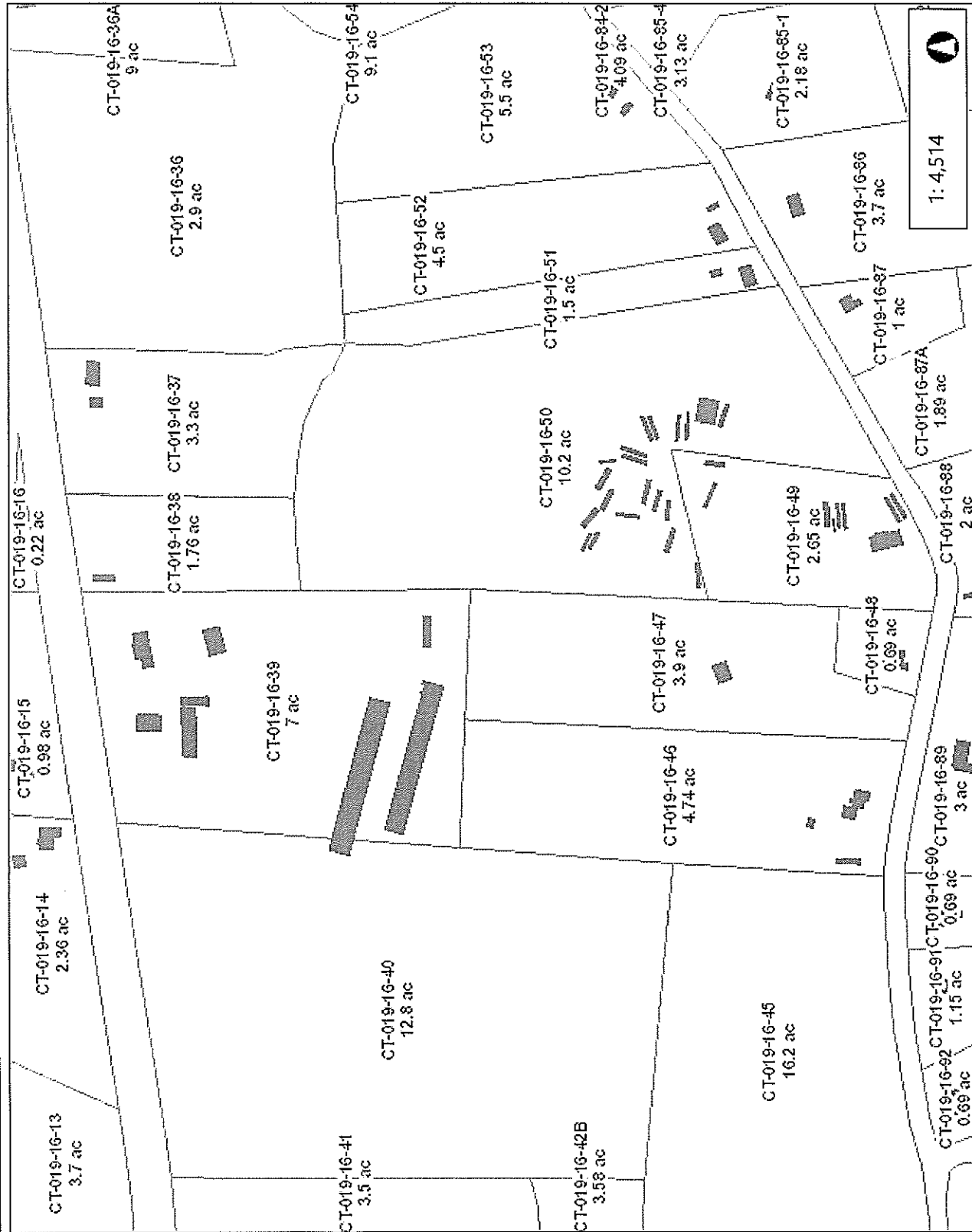


### Legend

- Town
- Buildings 2012
- Parcels

### Notes

Enter Map Description



1: 4,514



0.1 Miles

0.07

0

0.1

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

WGS, 1984, Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



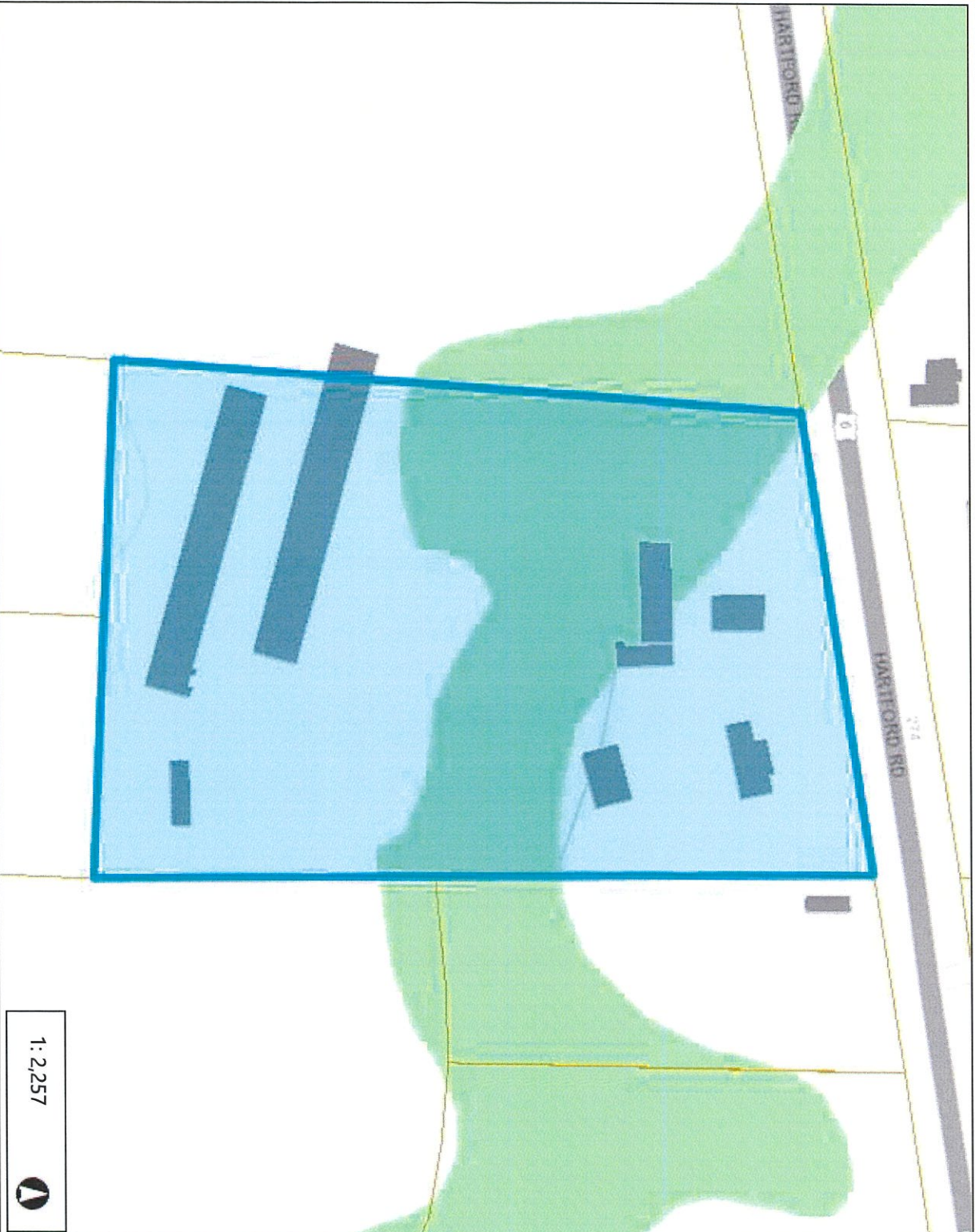
## Google Maps 293 Hartford Rd





neccoog

Neccoog GIS Site



1:2,257



0.1  
0  
0.04  
0.1 Miles  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

#### Legend

- Town
- Buildings 2012
- Parcels
- Wetlands
- Alluvial and Floodplain Soils
- Poorly Drained and Very Poorly Dre

#### Notes

Enter Map Description



RECEIVED

INLAND WETLANDS & WATERCOURSES COMMISSION  
TOWN OF BROOKLYN, CONECTICUT

MAR 05 2020

Date \_\_\_\_\_

Application # 031020B

APPLICATION -- INLAND WETLANDS & WATERCOURSES

APPLICANT JOE WEAR MAILING ADDRESS P.O. Box 9  
APPLICANT'S INTEREST IN PROPERTY owner PHONE 860 757 9432 EMAIL \_\_\_\_\_

PROPERTY OWNER IF DIFFERENT \_\_\_\_\_ PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_ EMAIL \_\_\_\_\_

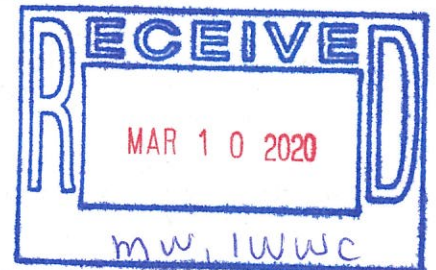
ENGINEER/SURVEYOR (IF ANY) Anchor Surveying LLC  
ATTORNEY (IF ANY) \_\_\_\_\_

PROPERTY LOCATION/ADDRESS DAV ST  
MAP # 43 LOT # 6 ZONE RA/RS TOTAL ACRES 602 ACRES OF WETLANDS ON PROPERTY 21.1

PURPOSE AND DESCRIPTION OF THE ACTIVITY 6 Lot SUBDIVISION, WORK IN  
UPLAND, REVIEW, SEPTIC SYSTEM, DRIVEWAY, RESIDENTIAL  
HOUSE, WELL, MAJOR EROSION

WETLANDS EXCAVATION AND FILL:  
FILL PROPOSED \_\_\_\_\_ CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
EXCAVATION PROPOSED \_\_\_\_\_ CUBIC YDS \_\_\_\_\_ SQ FT \_\_\_\_\_  
LOCATION WHERE MATERIAL WILL BE PLACED: ON SITE \_\_\_\_\_ OFF SITE \_\_\_\_\_  
TOTAL REGULATED AREA ALTERED: SQ FT \_\_\_\_\_ ACRES \_\_\_\_\_

EXPLAIN ALTERNATIVES CONSIDERED (REQUIRED): None



MITIGATION MEASURES (IF REQUIRED): WETLANDS/WATERCOURSES CREATED: CY \_\_\_\_\_ SQFT \_\_\_\_\_ ACRES \_\_\_\_\_

IS PARCEL LOCATED WITHIN 500FT OF AN ADJOINING TOWN? no IF YES, WHICH TOWN(S) \_\_\_\_\_  
IS THE ACTIVITY LOCATED WITHIN THE WATERSHED OF A WATER COMPANY AS DEFINED IN CT GENERAL STATUTES 25-32A? \_\_\_\_\_

THE OWNER AND APPLICANT HEREBY GRANT THE BROOKLYN IWWC, THE BOARD OF SELECTMAN AND THEIR AUTHORIZED AGENTS PERMISSION TO ENTER THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTION AND ENFORCEMENT OF THE IWWC REGULATIONS OF THE TOWN OF BROOKLYN. IF THE COMMISSION DETERMINES THAT OUTSIDE REVIEW IS REQUIRED, APPLICANT WILL PAY CONSULTING FEE.

NOTE: DETERMINATION THAT THE INFORMATION PROVIDED IS INACCURATE MAY INVALIDATE THE IWWC DECISION AND RESULT IN ENFORCEMENT ACTION.

APPLICANT: Jeffrey Weaner DATE 3/5/2020

OWNER: Jeffrey Weaner DATE 3/5/2020

**REQUIREMENTS**

APPLICATION FEE \$ 1050 STATE FEE (\$60.00) 60 100 Publication 10/1/80  
NOV 2 0 8AM

COMPLETION OF CT DEEP REPORTING FORM

ORIGINAL PLUS COPIES OF ALL MATERIALS REQUIRED - NUMBER TO BE DETERMINED BY STAFF

PRE-APPLICATION MEETING WITH THE WETLANDS AGENT IS RECOMMENDED TO EXAMINE THE SCOPE OF THE ACTIVITY

SITE PLAN SHOWING LOCATION OF THE WETLANDS WITH EXISTING AND PROPOSED CONDITIONS. APPLICANT MAY BE REQUIRED TO HAVE A CERTIFIED SOIL SCIENTIST IDENTIFY THE WETLANDS.

COMPLIANCE WITH THE CONNECTICUT EROSION & SEDIMENTATION CONTROL MANUAL

IF THE PROPOSED ACTIVITY IS DEEMED TO BE A "SIGNIFICANT IMPACT ACTIVITY" A PUBLIC HEARING IS REQUIRED ALONG WITH THE FOLLOWING INFORMATION:

- o NAMES AND ADDRESSES OF ABUTTING PROPERTY OWNERS
- o ADDITIONAL INFORMATION AS CONTAINED IN IWWC REGULATIONS ARTICLE 7.6

ADDITIONAL INFORMATION/ACTION NEEDED:

OTHER APPLICATIONS MAY BE REQUIRED. CONTACT THESE AGENCIES FOR FURTHER INFORMATION:

APPLICATION TO STATE OF CONNECTICUT DEEP  
INLAND WATER RESOURCES DIVISION  
79 ELM ST.  
HARTFORD, CT. 06106  
1-860-424-3019

DEPARTMENT OF THE ARMY CORPS OF ENGINEERS  
696 VIRGINIA ROAD  
CONCORD, MA. 01742  
1-860-343-4789

STAFF USE ONLY:

DECLARATORY RULING: AS OF RIGHT & NON-REGULATED USES (SEE IWWC REGULATIONS SECTION 4)

PERMIT REQUIRED:

AUTHORIZED BY STAFF/CHAIR (NO ACTIVITY IN WETLANDS/WATERCOURSE AND MINIMAL IMPACT)

CHAIR, BROOKLYN IWWC

WETLANDS OFFICER

AUTHORIZED BY IWWC

SIGNIFICANT ACTIVITY/PUBLIC HEARING

NO PERMIT REQUIRED

OUTSIDE OF UPLAND REVIEW AREA

NO IMPACT

CHAIR, BROOKLYN IWWC

WETLANDS OFFICER

TIMBER HARVEST





## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

### PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
2. ACTION TAKEN (see instructions, only use one code): \_\_\_\_\_
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): Brooklyn  
does this project cross municipal boundaries (check one)? yes ☐ no ☒  
if yes, list the other town(s) in which the action is occurring (print name(s)): \_\_\_\_\_
6. LOCATION (see instructions for information): USGS quad name: \_\_\_\_\_ or number: \_\_\_\_\_  
subregional drainage basin number: \_\_\_\_\_
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Jeff Wagon
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): Dm St  
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☐ description: \_\_\_\_\_
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): B
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 2 3 12
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):  
wetlands: 0 acres open water body: \_\_\_\_\_ acres stream: \_\_\_\_\_ linear feet
12. UPLAND AREA ALTERED (must provide acres): \_\_\_\_\_ acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/Fax 860-774-1308 WWW.NDDH.ORG

March 31, 2020

Jeffrey Weaver  
PO Box 9  
Brooklyn, CT 06234

**SUBJECT: FILE #20000161 – DAY STREET #, MAP #43, LOT #6, BROOKLYN, CT**

Dear Jeffrey Weaver:

Upon review of the Subdivision Plan (ARCHER SURVEYING, LLC, PROJECT NO# AS 1033, DRAWN FEBRUARY 7, 2020) submitted to this office on 03/13/2020 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development.

Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots: 1, 4, & 6 will require an Engineer's plan. Lots: 2, 3 & 5 will require a Surveyor's plan to be submitted to NDDH for review prior an Approval to Construct.
2. Proposed lots are based on 3 bedroom dwellings. If proposed number of bedrooms are increased, septic system designs must be updated per the Connecticut Technical Standards for subsurface sewage disposal standards.
3. If approved septic system area is relocated additional soil testing may be required.

Be advised you must receive approval from the appropriate commissions in the Town of Brooklyn prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

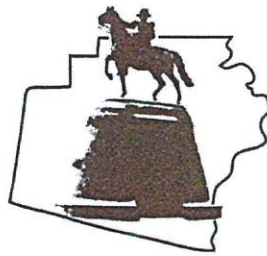
Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Sherry McGann, RS  
Registered Sanitarian-NDDH

cc: Town of Brooklyn; Archer Surveying, LLC.; Keven Racine





## Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒

Zoning Enforcement ☐

Blight Enforcement ☐

### SITE INSPECTION NUMBER

1 2 3 4 5

Jeff Weaver Subdivision  
Day St.

3-16-2020

Address

Date

I met Jeff Weaver. We inspected  
both sets of flags. There are no  
wetlands issues.

I took photographs.

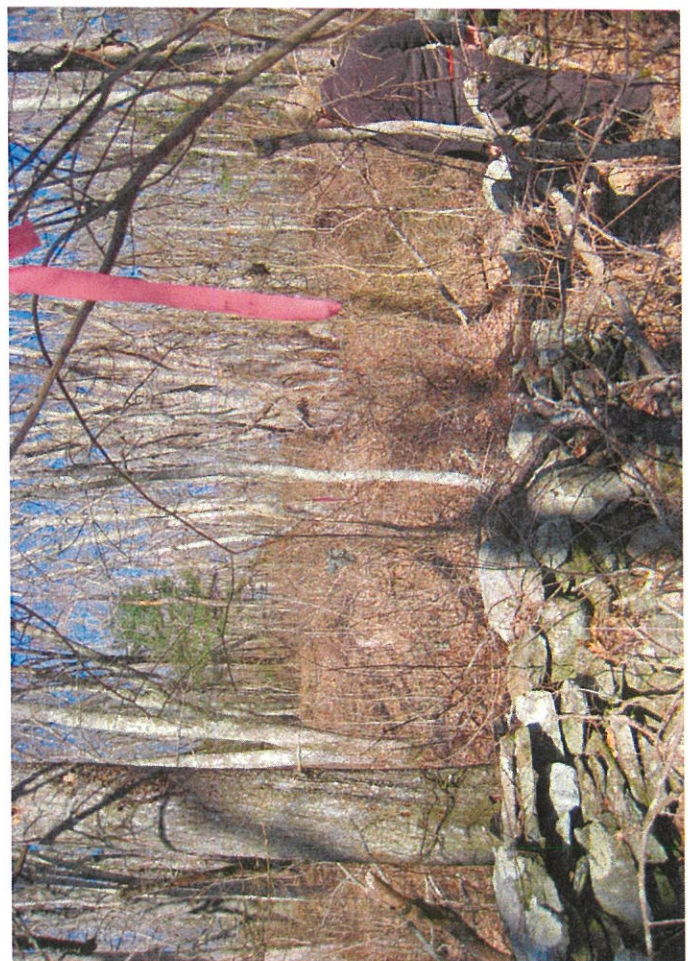
Commission Representative

Margaret Washburn

Owner or Authorized Signature

Jeff Weaver









# **NORTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS**

## **ENGINEERING PLAN REVIEW**

### **PERTAINING TO**

### **6-LOT SUBDIVISION**

### **(ASSESSOR'S MAP 43, LOT 6)**

### **DAY STREET**

### **BROOKLYN, CT**

(April 23, 2020)

The comments contained herein pertain to my review of plans, consisting of six sheets, entitled "6-Lot Subdivision, Prepared for Jeffrey Weaver, Day Street, Brooklyn, Connecticut" prepared by Archer Surveying, LLC and Provost & Rovero, Inc., dated February 7, 2020.

#### **Sheet 3 of 6 – Site Development Plan**

1. The wells depicted for Lots 2 thru 4 are very close to Day Street pavement. During the winter, and over many previous decades, chemicals such as sodium chloride, magnesium chloride, etc. have been and are used for deicing. Has the application of these chemicals been evaluated on whether or not they are present in groundwater that will be used for drinking purposes for the future homes to be constructed there? Lot 1 may be considered for this, too, since it is adjacent to the road pavement.
2. The vast majority of the Lot 1 is in the regulated wetland upland review area as well as about half of Lot 6. This may be of concern and should be taken under consideration with respect to future improvements to the building lots after a house is constructed, e.g. additional pavement or impaired impervious areas that could contribute detrimental runoff toward the wetland without any regulatory oversight by the Inland Wetlands and Watercourses Commission or the Planning and Zoning Commission.

#### **Sheet 4 of 6 – Detail Sheet No. 1**

1. Proposed grading along the east side of the proposed driveway in the vicinity of Lot No. 5 is drawn at a 2:1 slope. I recommend that the slope be no less than 3:1 to better establish vegetative growth and reduce the chance of soil erosion, with a note to this effect be included under the heading "Development Control Plan."
2. Note 1 under "Development Control Plan" states that development of the site will be the responsibility of a lot owner. This being the case, I believe it is important that a permanent grass seed mix be spelled out under the heading "Permanent Vegetative Cover" to be sure that all of the development receives a uniform seed treatment.



## Sheet 5 of 6 – Detail Sheet No. 2

1. A utility trench detail should be included for any underground utility installations. A water service trench detail should also be included. Both details should include detectable warning tape.
2. A typical detail of the foundation underdrain size, material, pipe class strength, rodent protected outlet and riprap splash pad should be included on this sheet.

By: \_\_\_\_\_  
Syl Pauley, Jr., P.E., NECCOG Regional Engineer

Brooklyn Inland Wetlands  
Commission

P.O. Box 356

Brooklyn, Connecticut 06234

9489 0090 0027 6215 9003 60

CERTIFIED#

March 16, 2020

Ernest Robillard  
509 Hartford Road  
Brooklyn, CT 06234

RE: Duly Authorized Agent Approval, Owner, Ernest Robillard, 509 Hartford Road, Map 9 Lot 6-2; in the RA Zone; Construct a 19-ft x 30-ft barn approximately 106 feet from a pond, including minimal excavation to level the soil surface (no more than 6 inches of digging). Any excavated material is to be spread between the existing house and the existing fence located between the existing house and Route 6 at 509 Hartford Road on Map 9 Lot 6. The barn shall be constructed on a 6- to 12-inch processed gravel base.

Dear Mr. Robillard,

On March 3, 2020, I conducted an inspection and took photographs for the zoning permit and Duly Authorized Agent Approval for the Brooklyn Inland Wetlands Commission. The proposed work is described above. In accordance with Section 4.3 of the of the Town of Brooklyn IWWC Regulations, as Duly Authorized Agent, I hereby authorize the construction of the proposed barn as a Use as of Right (Agriculture). The proposed barn is to be constructed in accordance with the attached sketches you provided.

If you have any questions, please contact Margaret Washburn, Wetlands Agent at 860-779-3411, Extension 31.

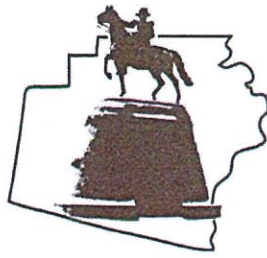
Signed,

*Margaret Washburn*

Margaret Washburn  
Wetlands Enforcement Agent

CC: acl, File, Brooklyn IWWC





## Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒

Zoning Enforcement ☒

Blight Enforcement ☐

### SITE INSPECTION NUMBER

① 2 3 4 5

509 Hartford Rd.

3-3-2020

Address

Date

I met Ernie Robillard.

I inspected + took photos of the location of the proposed 19' x 30' barn.

There are no zoning issues. All setbacks are met.

The barn ~~area~~ will be in the rear yard of the primary structure - the barn.

☐ Issue zoning permit.

Commission Representative

M. Washburn

Owner or Authorized Signature

Ernie Robillard



proposed barn site ↓



proposed barn site ↑



Barn to be 106' +/- from this pond ↑



Barn to be 106' +/- from this pond ↓







# North Atlantic Millwork Corp.

22 Patton Road  
P.O. Box 4800  
Rumford, RI 02916



**MARVIN WINDOWS  
ARE MADE TO ORDER.**

"THE PEOPLE WHO CARE"

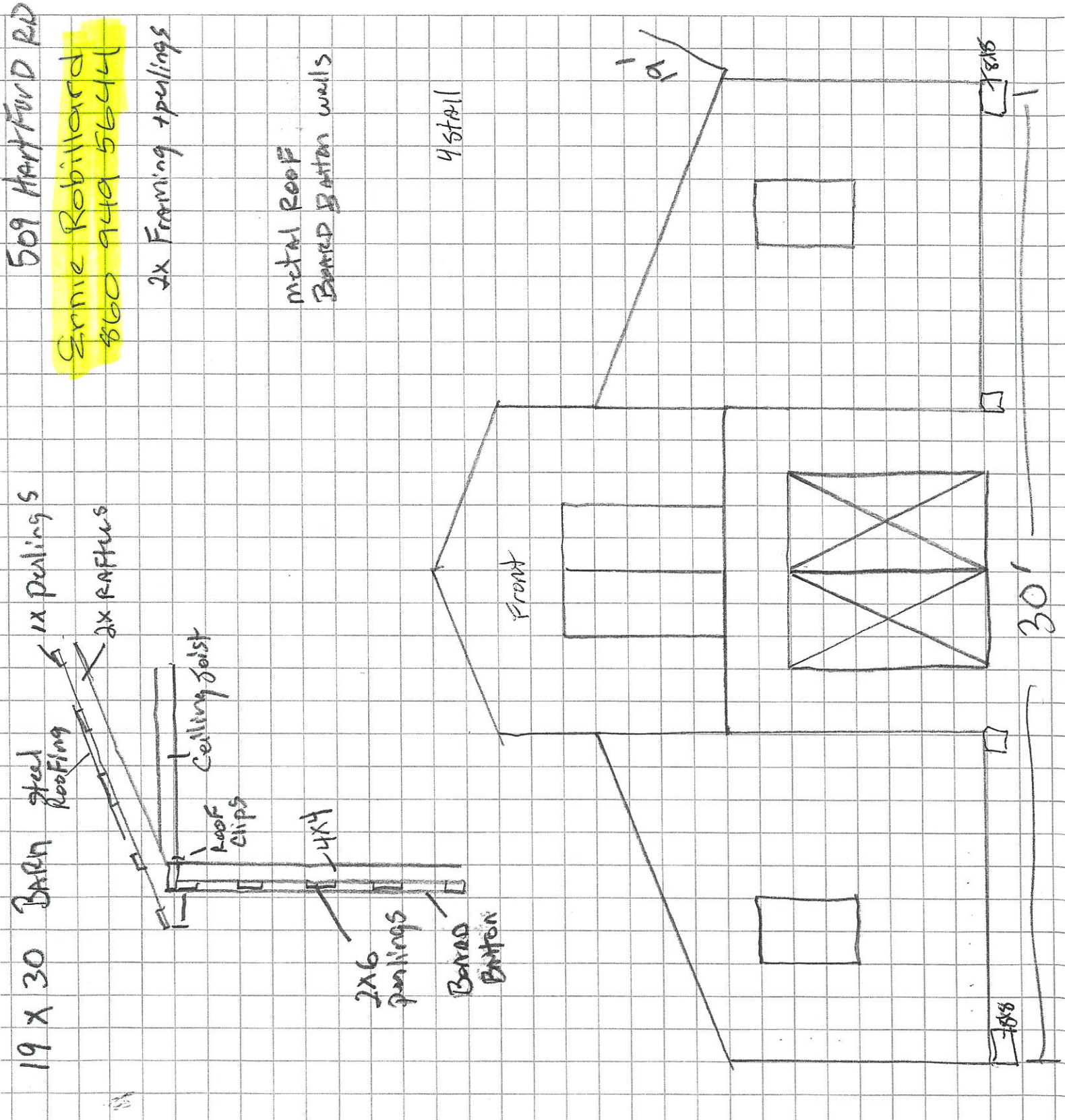
Leo Palizza  
ARCHITECTURAL REPRESENTATIVE

N.E. WATTS  
1-800-556-6858

RI WATTS  
1-800-443-0999

LOCAL  
(401) 438-5800

FAX  
(401) 434-6509



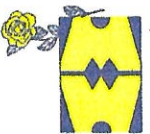




"THE PEOPLE WHO CARE"

North Atlantic Millwork Corp.

22 Patton Road  
P.O. Box 4800  
Rumford, RI 02916



MARVIN WINDOWS  
ARE MADE TO ORDER

Leo Palizza  
ARCHITECTURAL REPRESENTATIVE

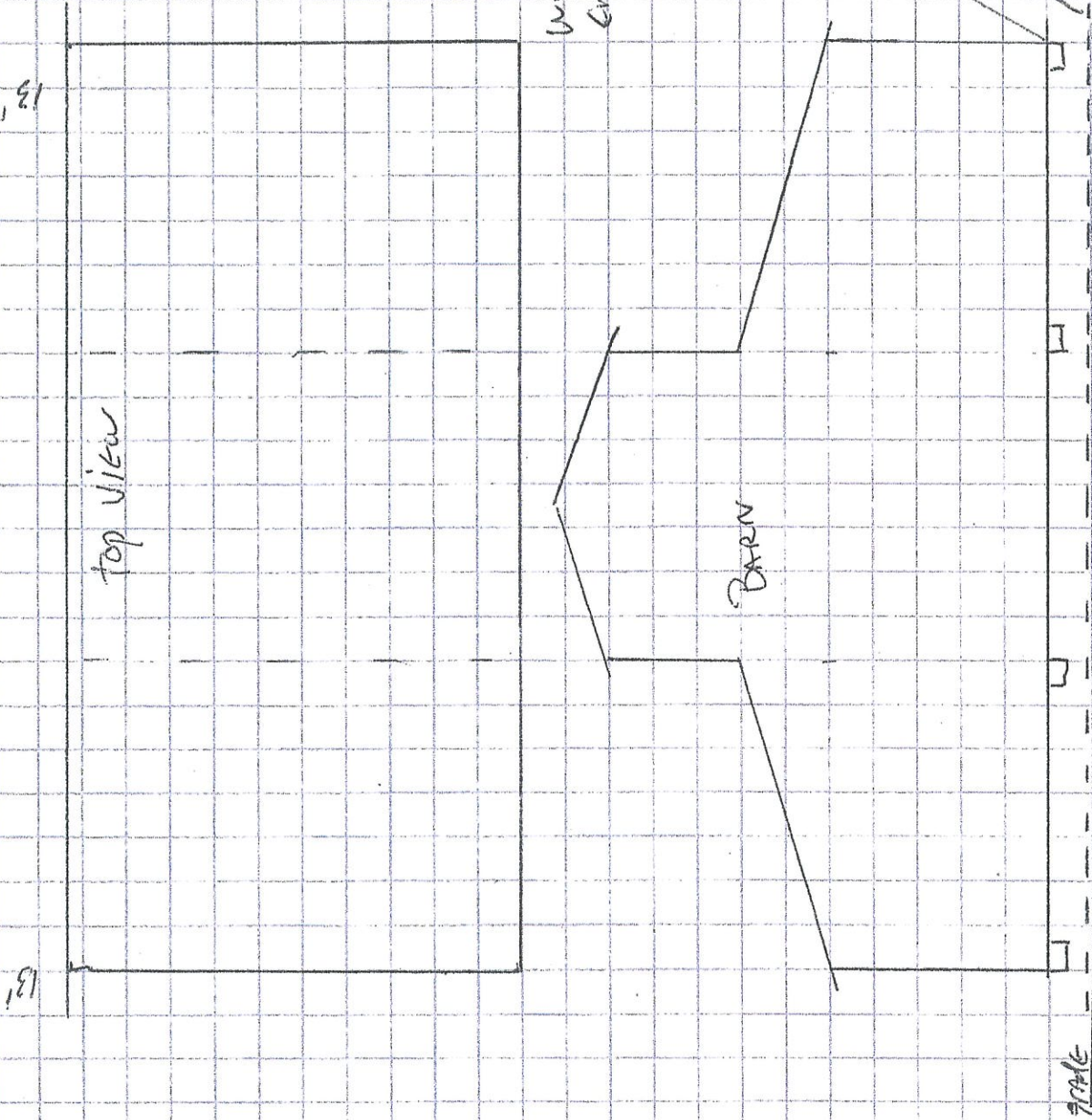
N.E. WATTS  
1-800-556-6858

RI WATTS  
1-800-443-0999

LOCAL  
(401) 438-5800

FAX  
(401) 434-6509

Boundary



will Dig out 6" - nothing top Soil is mostly gravel Base

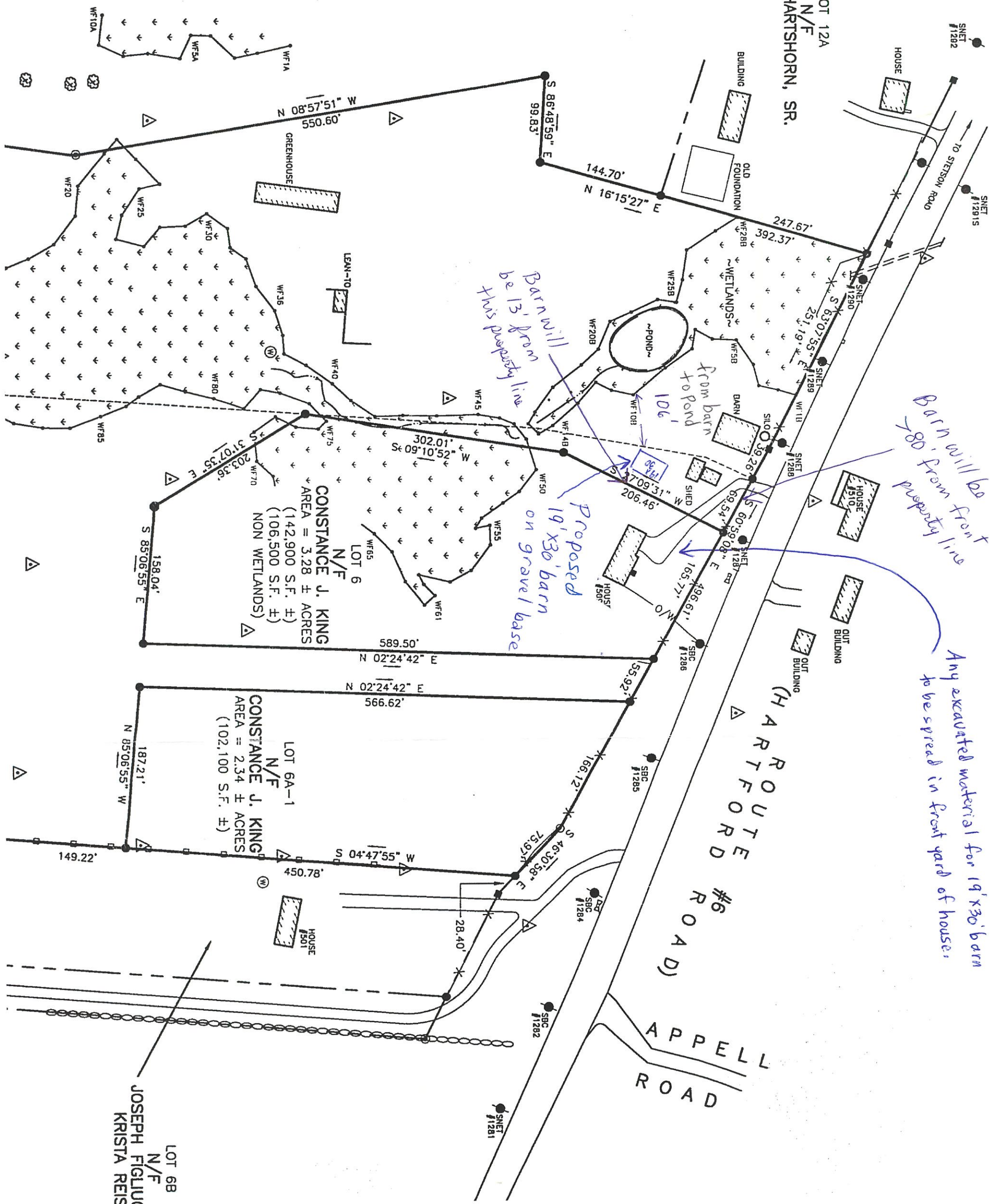
will Add 6-12" Prosess gravel Base

8x8 PT  
1 PEKS

Finish Grade  
6" level gravel.



1 A. HARTSHORN, SR.





Brooklyn Inland Wetlands  
Commission

P.O. Box 356  
Brooklyn, Connecticut 06234



April 22, 2020

Patrick Riley  
81 Preston Road  
Brooklyn, CT 06234

Re: IWWC Application #051220A

Dear Mr. Riley,

On April 22, 2020, your application #051220A, Patrick Riley, 211 Windham Road, Map 8, Lot 6-3, construction of a single family dwelling, driveway, well, septic system, grading and tree clearing within 85 feet of inland wetlands, was approved by the Wetlands Enforcement Officer, Margaret Washburn, as an action by a Duly Authorized Agent with the following conditions:

1. Prior to starting any excavation, install properly entrenched silt fence between the proposed work and wetlands as shown on the approved plan.

All work is to be completed in accordance with all materials submitted with the application.

You are required within **ten days** of the date of such approval to publish at your expense, the notice of approval in a newspaper having a general circulation in the Town of Brooklyn **and to provide proof of publication the Authorized Agent.**

If you have any questions, please contact the Wetlands Enforcement Officer, Margaret Washburn, at (860) 779-3411 extension 31.

Sincerely,

A handwritten signature in cursive script that reads "Margaret Washburn". The signature is fluid and elegant, written in dark ink.

Margaret Washburn  
Wetlands Enforcement Officer

Town of Brooklyn  
Public Notice

On April 22, 2020, the Duly Authorized Agent of the Brooklyn Inland Wetlands and Watercourses Commission approved Application # 051220A for construction of a single family dwelling, driveway, well, septic system, grading and tree clearing within 85 feet of inland wetlands, at 211 Windham Road (Map 8, Lot 6-3), with the following condition:

1. Prior to starting any excavation, install properly entrenched silt fence between the proposed work and wetlands as shown on the approved plan.



DR 20-002

**NOTIFICATION OF TIMBER HARVEST****RECEIVED****MAY 21 2020**Town: BROOKLYN/HAMPTONDate: 5/10/20Property Location: GRANT HILL RD / SARAH PEARL RD**List all parcels:****Assessor's Info:**BROOKLYN  
HAMPTON

Map	Block	Lot
4	—	4
5-7	18	10

OR:

Unique ID

Total acreage of property(s): 63.4Total acreage of harvest area: 60<sup>±</sup>Landowner(s) of Record: MICHAEL SUKOLOWSKIMailing Address: 1367 BERLIN PIKETown: BERLIN Zip 06037Phone (860) 301-8430E-mail: MIKES@GDSCPAS.COMPrimary Contact: DUBOIS FORESTRYMailing Address: PO BOX 143Town: BROOKLYN Zip 06234Phone (860) 774-8654E-mail: DUBOISFORESTRY@GMAIL.COM

**Note:** Timber harvesting is a *Permitted as of Right Activity* pursuant to the Inland Wetlands and Watercourses Act, except for those practices regulated under Section 22a-36 through 22a-45 of the Connecticut General Statutes.

Is there a current forest management/stewardship plan for this property? ☒ Yes ☐ No

This timber harvest has been prepared by a State of Connecticut certified:

(Check one): ☒ Forester OR ☐ Supervising Forest Products Harvester

Forest Practitioner Certificate #: F000135Name: DONALD A. DUBOISAddress: PO BOX 143 BROOKLYN CT 06234E-mail: DUBOISFORESTRY@GMAIL.COMPhone #: (Business) (860) 774-8654 (Cell) (860) 382-3551**Property Boundaries:**Bounds are marked: ☒ Yes ☐ No**Timber Harvest Boundaries:**Have been marked or flagged: ☒ Yes ☐ No

Have owners of all lands within 100 feet of the harvest area been notified via first-class mail prior to filing this "Notification of Timber Harvest"? ☒ Yes ☐ No

Estimated starting date of timber harvesting operations: 9/1/2020**Description of Timber Harvest:**

Objective: TO REMOVE MOSTLY DEAD & DYING OAK TREES THAT RESULTED FROM RECENT DEFOLIATIONS BY THE GYPSEY MOTHS.  
 Treatment: SALVAGE/RELEASE THINNING PER SILVICULTURAL RECOMMENDATIONS CONTAINED IN THE FOREST MGMT. PLAN AS APPROVED BY THE USDA/NRCS.

**Amount of forest products to be harvested:**

120,000 Board feet 250 Cords — Cubic feet — Tons

**How have the trees to be harvested been designated?**

☒ They have been marked with paint at eye level and at ground level. Paint color(s): BLUE

☐ They have not been marked

This is not an official CT DEP form but it has been endorsed for town usage by: CT Farm Bureau Assoc., CT Forest & Park Assoc., CT Professional Timber Producers, Society of American Foresters - CT Chapter, and others.

## SOIL, WATER AND INLAND WETLANDS RESOURCES

### Actions Being Performed On This Land

(Check all that apply and locate on attached Timber Harvest Area map -- see information below on maps.)

<u>Crossings / Clearing</u> <input checked="" type="checkbox"/> Temporary stream/drainage crossing <input type="checkbox"/> Temporary wetlands crossing <input type="checkbox"/> Removal of trees in wetlands <input type="checkbox"/> Removal of trees in upland review area	<u>Erosion and Sedimentation Control Measures:</u> <input checked="" type="checkbox"/> Installation of water bars <input type="checkbox"/> Grading <input checked="" type="checkbox"/> Seeding <input type="checkbox"/> Other (describe below)
<u>Log landing area:</u> <input checked="" type="checkbox"/> anti-tracking pad <input type="checkbox"/> curb cut RIP-RAP STONE	<u>Roads</u> Are new roads, other than skid trails, to be constructed for transport of logs or other activities associated with this harvest? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Describe in further detail as necessary:

EXISTING LOG LOADING AREA WILL REQUIRE THE ADDITION OF RIP-RAP STONE OVER GEOTEXTILE FABRIC IN ORDER TO PREVENT THE MOVEMENT OF ORGANIC MATTER ONTO TOWN ROAD

The following maps are attached to this "Notification" (Check all that apply)

- ☒ Copy of USGS topographic map with property outlined
- ☒ Copy of Assessor's map with property outlined
- ☒ Timber Harvest Area map showing outline of harvest area, main skid road locations, log landing area, truck access roads, inland wetlands, watercourses and any crossings

*The undersigned hereby swear that the information contained in this application is true, accurate and complete to the best of my (our) knowledge and belief and that the timber harvest will be conducted in accordance with the specifications outlined in this "Notification of Timber Harvest."*

Signature of Landowner(s): Michael Sokolowski Date: 5-15-20

Print/Type Name: Michael Sokolowski

Signature of Landowner(s): \_\_\_\_\_ Date: \_\_\_\_\_

Print/Type Name: \_\_\_\_\_

Signature of Certified Forest Practitioner: Donald A. Dubois Date: 5/10/20

Print Name: DONALD A. DUBOIS

Certificate #: F000135 Expiration Date: 10/1/20

#### Complete and Submit to:

- The Municipal Inland Wetlands Agency/ies in which the property is located, and
- A courtesy copy of this Notification Form should also be sent to The Department of Environmental Protection, Division of Forestry  
79 Elm Street, Hartford, CT, Tel: (860) 424-3630

*This is not an official CT DEP form but it has been endorsed for town usage by: CT Farm Bureau Assoc., CT Forest & Park Assoc., CT Professional Timber Producers, Society of American Foresters - CT Chapter, and others.*





Necog GIS Site



0.1 0 0.07 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.



1: 4,514

Legend

- Town
- Buildings 2012
- Parcels

Notes

Property of Michael Sokolowski, et al(Hampton)

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may not be accurate, current, or otherwise reliable.

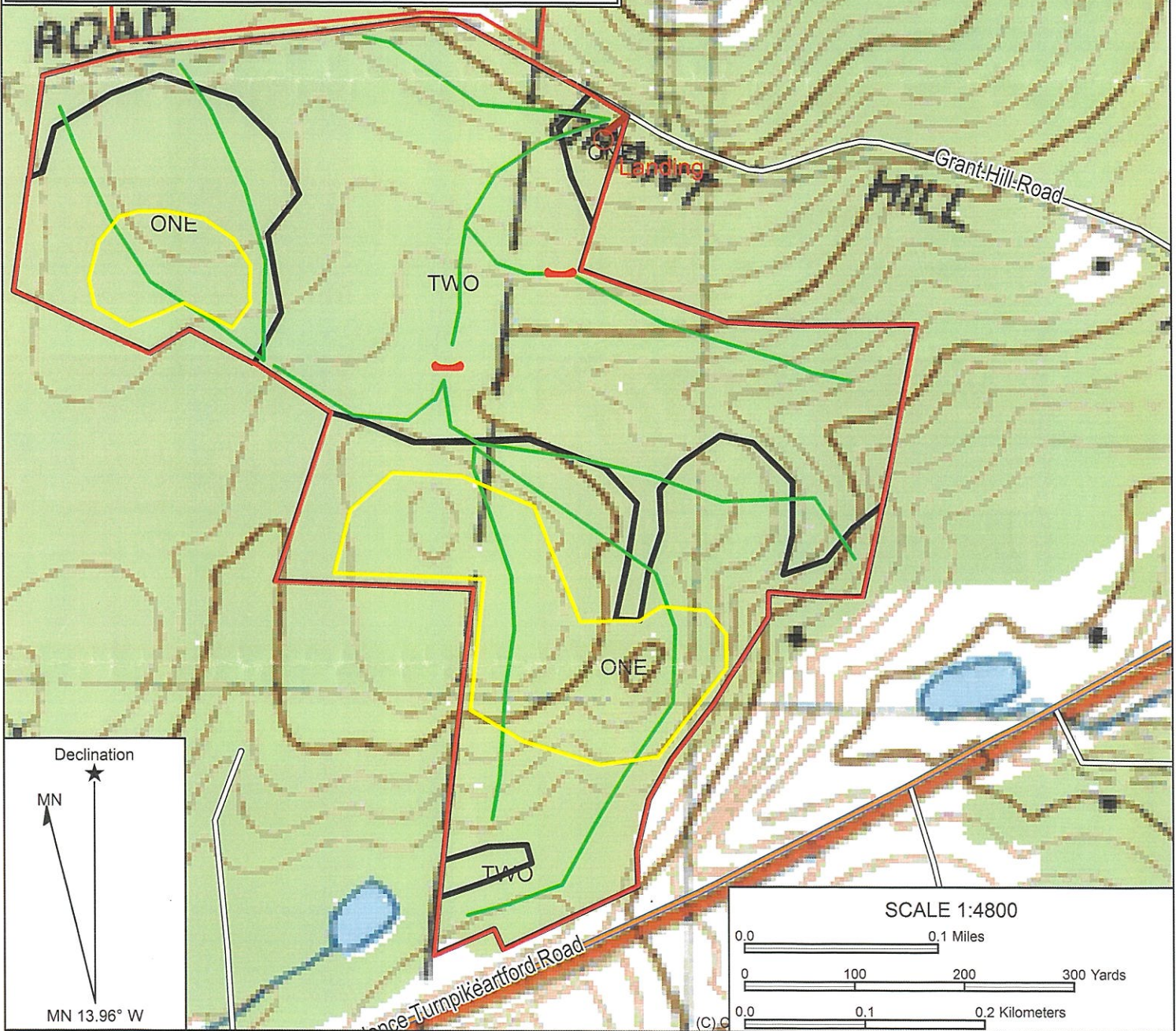
THIS MAP IS NOT TO BE USED FOR NAVIGATION



## LEGEND

- Property Perimeter
- Vegetation Type Boundary
- Proposed Skid Trails
- Proposed Patch Cuts
- Access Road Upgrades
- Log Loading Area
- Temporary Stream Crossing

PROPERTY OF MICHAEL  
SOKOLOWSKI, ET. AL., SARAH  
PEARL ROAD AND GRANT HILL  
ROAD, HAMPTON AND BROOKLYN,  
CONNECTICUT



Declination

MN

MN 13.96° W

SCALE 1:4800

0.0 0.1 Miles

0 100 200 300 Yards

0.0 0.1 0.2 Kilometers

Name: HAMPTON  
Date: 12/12/19  
Scale: 1 inch = 400 ft.

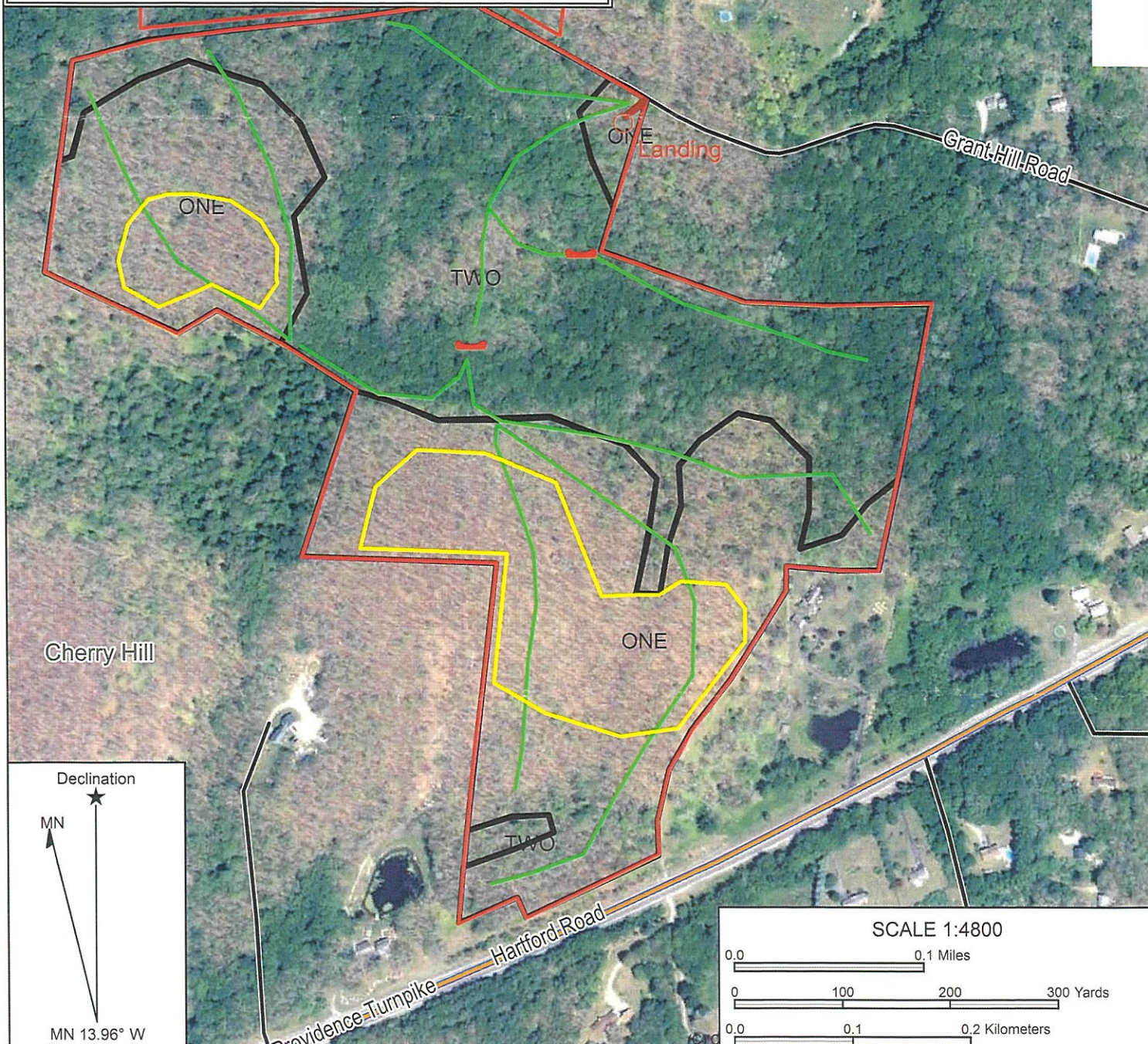
Location: 041° 47' 16.3401" N, 072° 01' 00.1968" W  
**TOPOGRAPHICAL MAP**



## LEGEND

- Property Perimeter
- Proposed Skid Trails
- Proposed Patch-Cuts
- Vegetation Type Boundary
- Access Road Upgrades
- Log Loading Area
- Temporary Stream Crossing

PROPERTY OF MICHAEL  
SOKOLOWSKI, ET. AL., SARAH  
PEARL ROAD AND GRANT HILL  
ROAD, HAMPTON AND BROOKLYN,  
CONNECTICUT



Name: HAMPTON SE, CT  
Date: 12/12/19  
Scale: 1 inch = 400 ft.

Location: 041° 47' 14.9319" N, 072° 01' 01.2543" W  
**VEGETATION TYPE MAP**



## TOWN OF BROOKLYN

## Expenditure Report

Fiscal Year: 2019 - 2020

From Date: 3/1/2020 To Date: 5/31/2020

Account Number	Description	Adj. Budget	Current	YTD	Balance	Encumbrance	Budget Bal	%Bud
1005.41.4163.51900	Inland Wellands-Wages-Recording Secretary	\$1,200.00	\$125.00	\$1,075.00	\$125.00	\$0.00	\$125.00	10.42%
1005.41.4163.53020	Inland Wellands-Legal Fees	\$2,500.00	\$1,288.00	\$1,288.00	\$1,212.00	\$0.00	\$1,212.00	48.48%
1005.41.4163.53400	Inland Wellands-Professional Services	\$1,000.00	\$0.00	\$65.00	\$935.00	\$0.00	\$935.00	93.50%
1005.41.4163.55400	Inland Wellands-Advertising & Legal Notices	\$500.00	\$205.80	\$499.80	\$0.20	\$0.00	\$0.20	0.04%
1005.41.4163.55500	Inland Wellands-Printing & Publications	\$200.00	\$0.00	\$0.00	\$200.00	\$0.00	\$200.00	100.00%
1005.41.4163.56900	Inland Wellands-Other Supplies	\$200.00	\$0.00	\$0.00	\$200.00	\$0.00	\$200.00	100.00%
Grand Total:		\$5,600.00	\$1,618.80	\$2,927.80	\$2,672.20	\$0.00	\$2,672.20	47.72%

End of Report



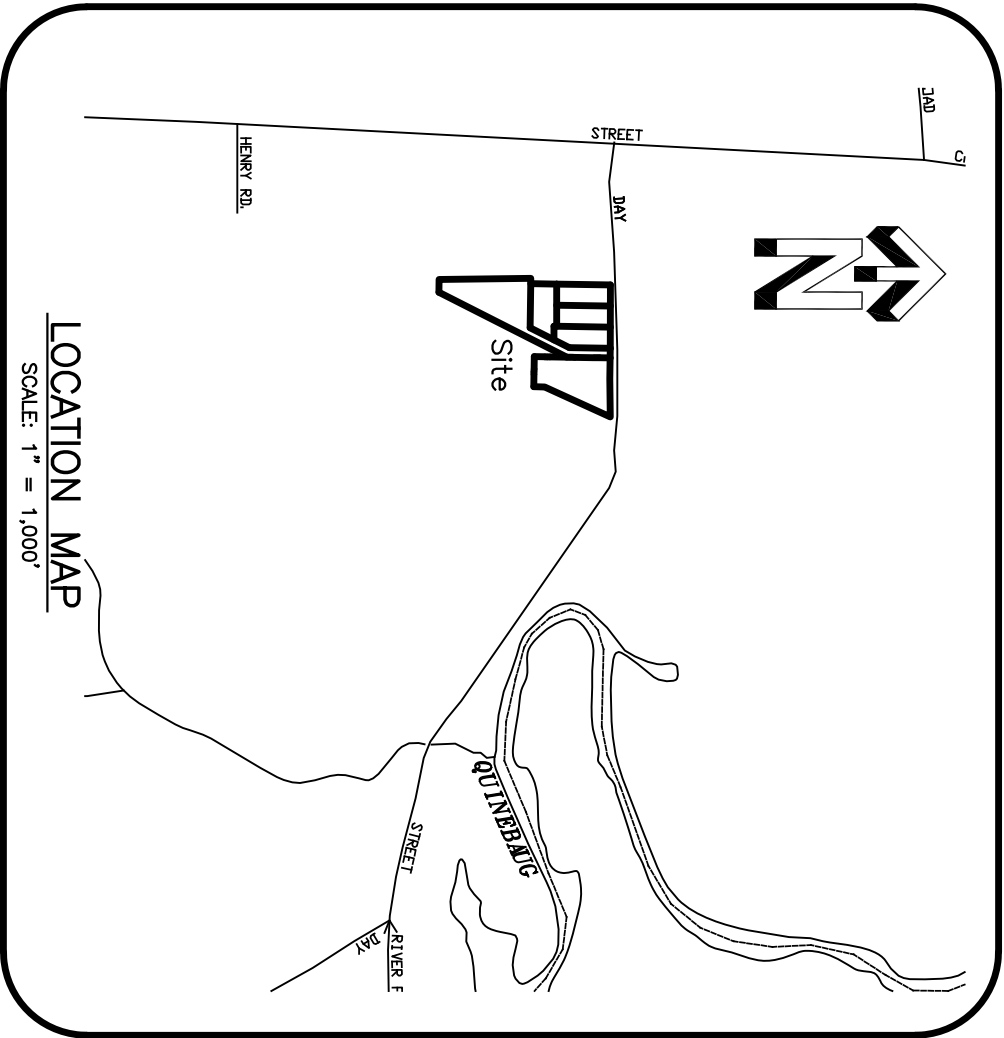
# 6 LOT SUBDIVISION

PREPARED FOR

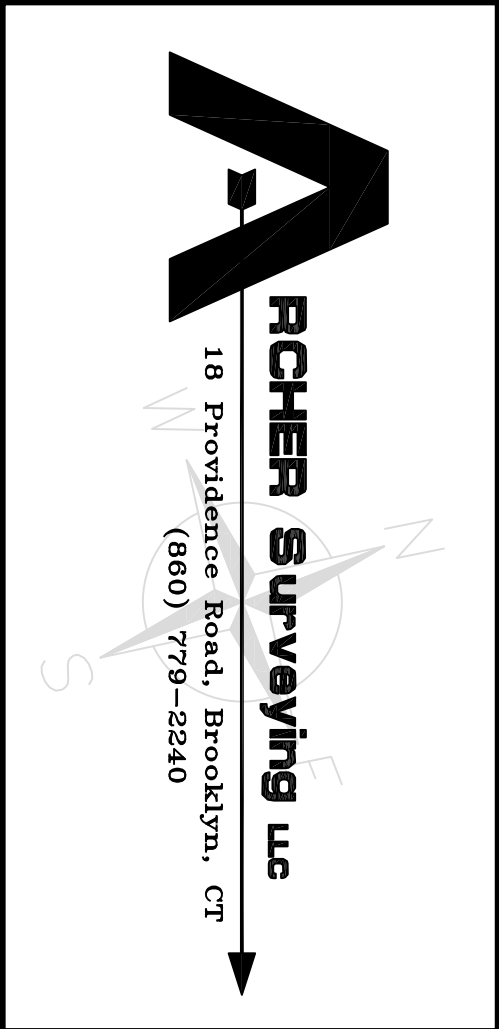
Jeffrey Weaver

Day Street  
Brooklyn, Connecticut

February 7, 2020



PREPARED BY



## INDEX OF DRAWINGS

COVER SHEET	SHEET 1 OF 6
SUBDIVISION	SHEET 2 OF 6
SITE DEVELOPMENT PLAN	SHEET 3 OF 6
DETAIL SHEET #1	SHEET 4 OF 6
DETAIL SHEET #2	SHEET 5 OF 6
HISTORY & PARCEL MAP	SHEET 6 OF 6

APPROVED BY THE BROOKLYN  
INLAND WETLANDS COMMISSION

CHAIRMAN DATE  
Expiration date per section 22A-42A of the Connecticut  
General Statutes. Date: \_\_\_\_\_

APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

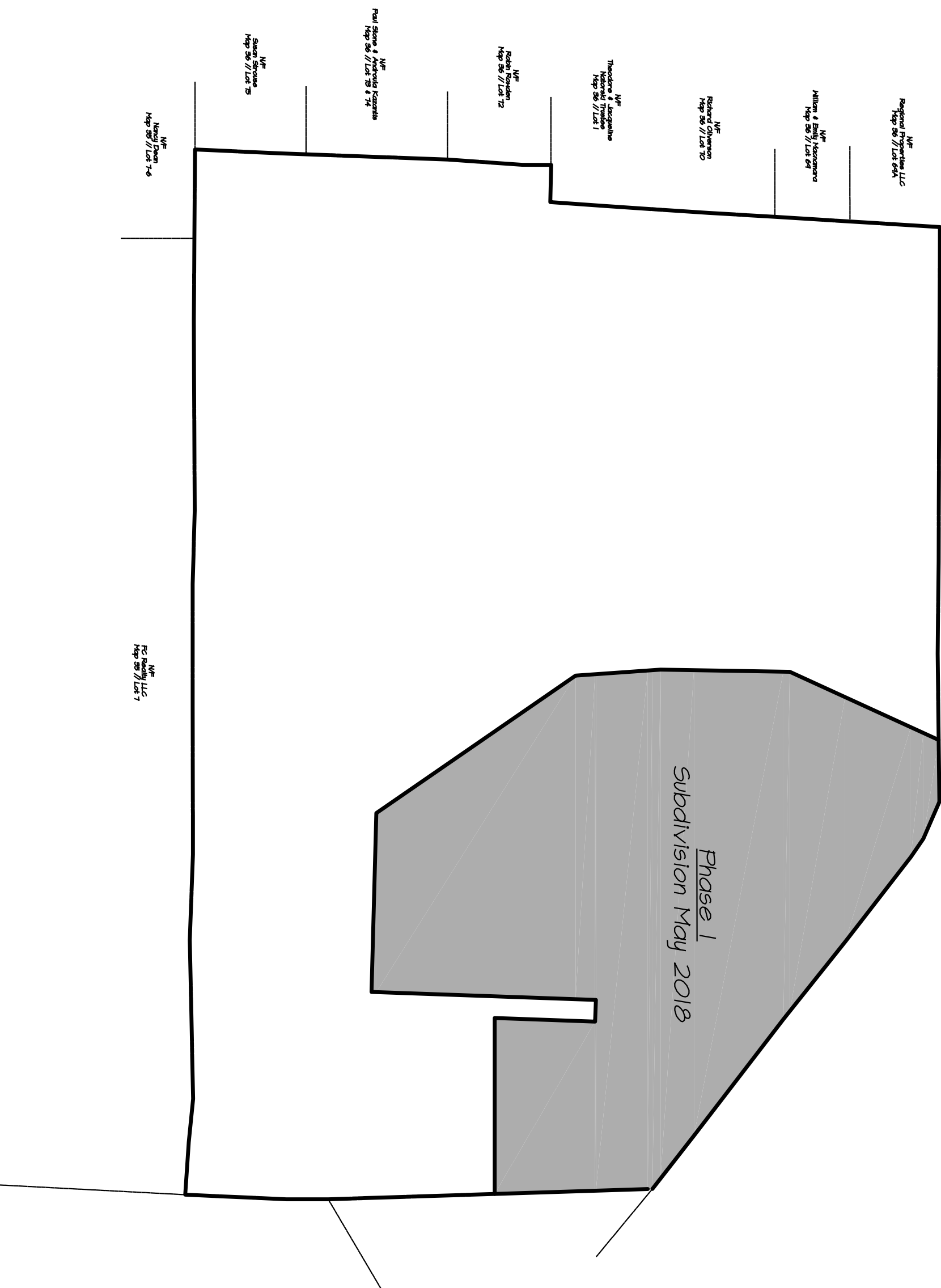
CHAIRMAN DATE  
Expiration date per section 8-26C of the Connecticut  
General Statutes. Date: \_\_\_\_\_

I have reviewed the inland-wetlands shown on this plan  
and they appear to be substantially the same as those  
which I delineated in the field.

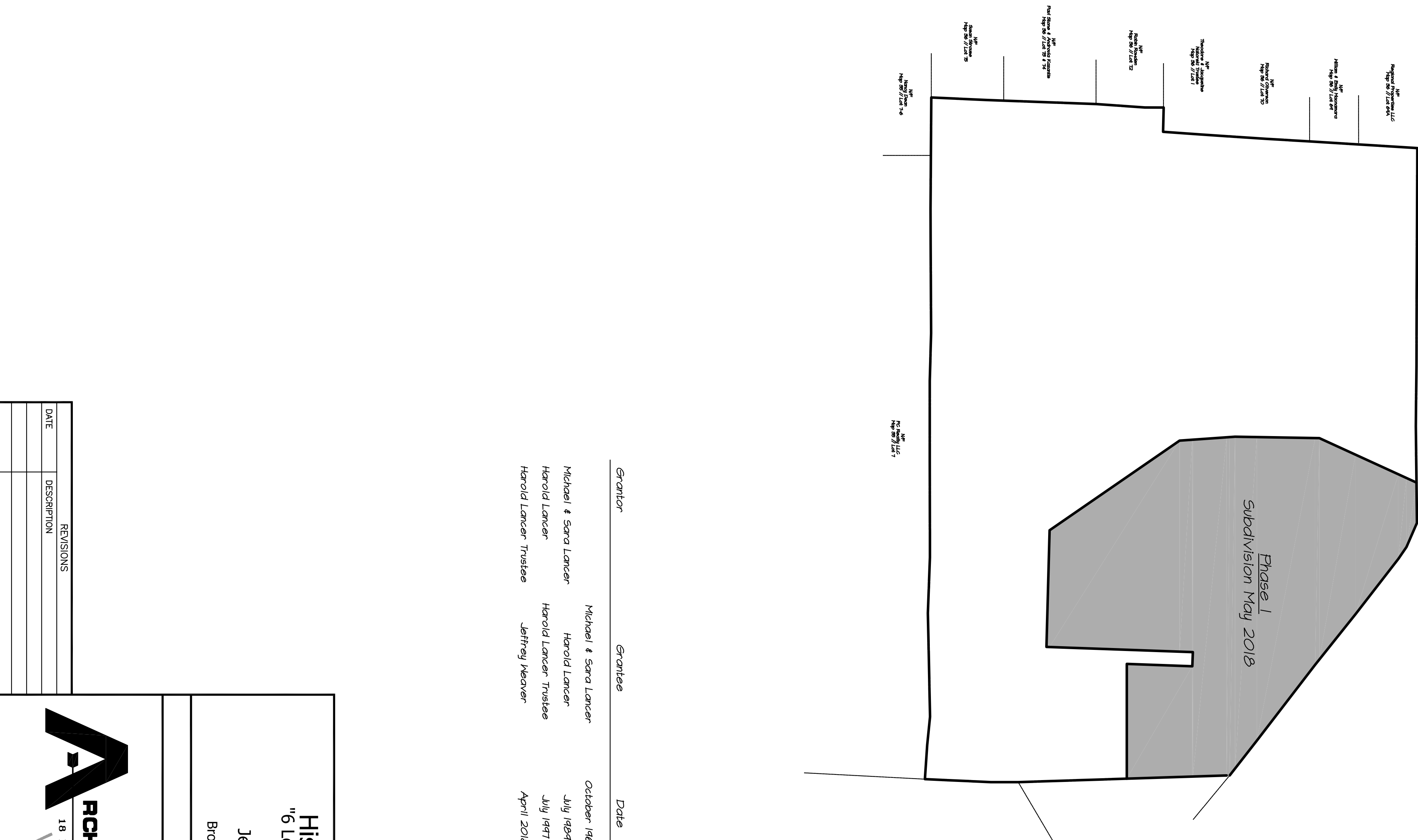
Certified Soil Scientist \_\_\_\_\_

**Provoost & Doyere, Inc.**

Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering  
57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06324  
(860) 238-8839 • FAX (860) 238-8860  
www.provoostinc.com

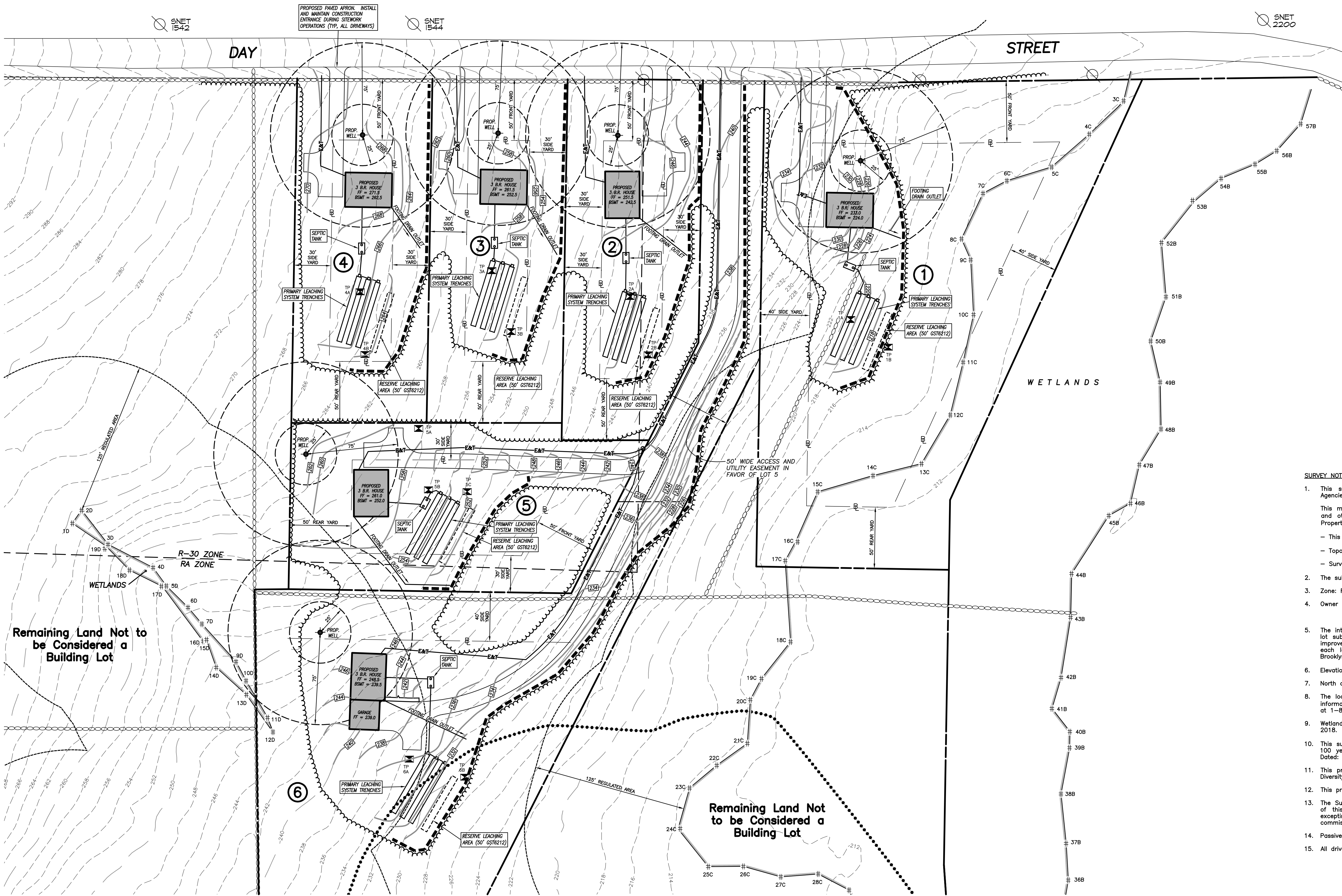


Grantor	Grantee	Date	Vol. / Pg.
Michael & Sara Lancer	Michael & Sara Lancer	October 1984	48 / 206
Harold Lancer	Harold Lancer	July 1984	46 / 374
Harold Lancer	Harold Lancer Trustee	July 1977	184 / 84
Harold Lancer Trustee	Jeffrey Weaver	April 2018	608 / 294



REVISIONS	
DATE	DESCRIPTION





LEGEND

- TEST PIT
- WETLAND FLAG
- STONE WALL
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED UTILITIES
- PROPOSED CLEARING LIMITS
- PROPOSED SILT FENCE
- PROPOSED RETAINING WALL
- BUILDING SETBACK LINE
- 100 YEAR FLOOD ZONE

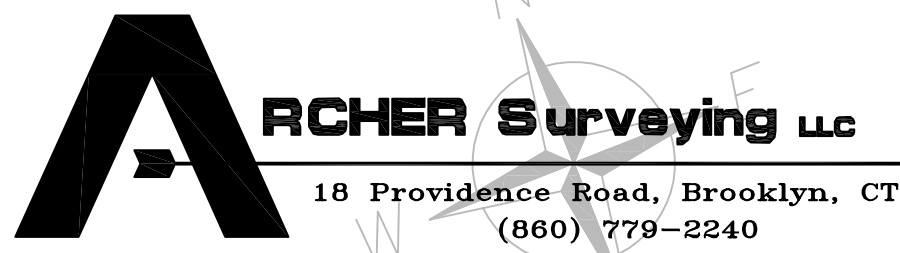


- SURVEY NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 as amended on October 26, 2018; This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
    - This survey conforms to a Class "C" horizontal accuracy.
    - Topographic features conform to a Class "T-2" accuracy.
    - Survey Type: General Location Survey.
  - The subject parcel is shown as lot #6, on assessor's map #43.
  - Zone: RA and R-30.
  - Owner of record: Jeffrey Weaver  
P.O. Box 9  
Brooklyn, CT 06234
  - The intent of this survey is to show conceptual development plans for each lot in a 6 lot subdivision. Proposed houses, wells, septic systems, driveways grading and other improvements are conceptual in nature and intended to demonstrate the suitability of each lot for development and compliance with the Brooklyn Zoning Regulations and Brooklyn Subdivision Regulations.
  - Elevations based on NAVD 1988. Contour interval = 2'.
  - North orientation is referenced to Connecticut State Plane Coordinates, NAD83.
  - The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
  - Wetlands were flagged in the field by Joseph Theroux, certified soil scientist in April, 2018.
  - This subdivision includes land areas within the Federal Emergency Management Agency's 100 year flood hazard area as shown on Flood Insurance Rate Map 090164 003 A, Dated: January 3, 1985.
  - This project is not located within an area of concern on the December 2019 Natural Diversity Data Base map for the Town of Brooklyn.
  - This project does not lie within an aquifer protection area.
  - The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications which are on file in the office of the commission.
  - Passive solar energy techniques were considered in the design of this subdivision.
  - All driveways with slopes <10% are to be gravel surfaced.

Site Development Plan  
"6 Lot Subdivision"

Prepared For:  
Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=40'



Sheet No. 3 OF 6 Project No. AS 1033 Date: February 7, 2020

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering  
57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 • FAX: (860) 230-0860  
info@provostinc.com  
www.provostinc.com

REVISIONS	
DATE	DESCRIPTION

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL M. ARCHER LLS #70013 DATE

3/12/2020

ENGINEER DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.





EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklyn will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, disking, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedlings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 24" or larger in any dimension will be removed or buried.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work time and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 — October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

— Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree walls.

— Route traffic patterns within the site to avoid existing or newly planted vegetation.

— Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

— Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.

— Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

— Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

— Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

— Segregate construction waters from clean water.

— Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

— Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

— Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

— Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

— Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

— Grade and landscape around buildings and septic systems to divert water away from them.

DEEP TEST PIT DATA / SOIL DESCRIPTIONS

PERFORMED BY: Sherry McGann	
WITNESSED BY: Northeast District Department of Health	DATE: 1/27/2020

TEST PIT: 1A	
0" - 12" Topsoil	
12" - 32" OB Fine Sandy Loam	
32" - 69" GR Compact Gravelly Loamy Med Sand	
69" - 82" Ground Water	
MOTTLES: 32"	
GROUNDWATER: 69"	
LEDGE: NO	
ROOTS: 26"	
RESTRICTIVE: NO	

TEST PIT: 1B	
0" - 11" Topsoil	
11" - 20" BR Fine Sandy Loam	
20" - 36" TN Med Coarse Sand	
36" - 82" Ground Water	
MOTTLES: 34"	
GROUNDWATER: 36"	
LEDGE: NO	
ROOTS: 20"	
RESTRICTIVE: NO	

TEST PIT: 2A	
0" - 6" Topsoil	
6" - 21" RB/OB Fine Sandy Loam	
21" - 42" TN Med Loamy Sand	
42" - 88" GR Mod. Compact Gravelly Loamy Med Sand	
MOTTLES: 42"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 33"	
RESTRICTIVE: NO	

TEST PIT: 2B	
0" - 6" Topsoil	
6" - 22" RB/OB Fine Sandy Loam	
22" - 40" TN Med Loamy Sand	
40" - 96" GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 36"	
RESTRICTIVE: NO	

TEST PIT: 3A	
0" - 4" Topsoil	
4" - 23" OB Fine Sandy Loam	
23" - 36" TN Fine Loamy Sand	
36" - 96" TN/GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 36"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 26"	
RESTRICTIVE: NO	

TEST PIT: 3B	
0" - 5" Topsoil	
5" - 11" OB Fine Sandy Loam	
11" - 40" TN Fine-Med Loamy Sand	
40" - 96" GR Mod Compact Gravelly Loamy Med Sand	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 25"	
RESTRICTIVE: NO	

TEST PIT: 4A	
0" - 10" Topsoil	
10" - 21" RB Fine Sandy Loam	
21" - 31" TN Fine Loamy Sand	
31" - 90" GR Compact Gravelly Loamy Fine Sand	
MOTTLES: 31"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 31"	
RESTRICTIVE: NO	

TEST PIT: 4B	
0" - 7" Topsoil	
7" - 17" RB Fine Sandy Loam	
17" - 32" TN Fine Loamy Sand	
32" - 96" GR/TN Compact Gravelly Loamy Med Sand	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 28"	
RESTRICTIVE: NO	

TEST PIT: 5A	
0" - 7" Topsoil	
7" - 36" OB Fine Sandy Loam	
36" - 52" TN Fine Loamy Sand	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: 52"	
ROOTS: 29"	
RESTRICTIVE: NO	

TEST PIT: 5B	
0" - 8" Topsoil	
8" - 36" OB/TN Fine Sandy Loam	
36" - 96" GR/TN Mod.Compact Gravelly Loamy Sand	
MOTTLES: 36"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 30"	
RESTRICTIVE: NO	

TEST PIT: 5C	
0" - 6" Topsoil	
6" - 24" OB Fine Sandy Loam	
24" - 40" TN Med Loamy Sand	
40" - 98" GR/TN Mod. Compact Gravelly Loamy Fine Sand w/ Cobbles, Stones, Boulders	
MOTTLES: 40"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: 36"	
RESTRICTIVE: NO	

TEST PIT: 6A	
0" - 7" Topsoil	
7" - 32" RB Fine Sandy Loam	
32" - 80" GR Compact Gravelly Loamy med Sand w/ Cobbles, Stones	
MOTTLES: 32"	
GROUNDWATER: NO	
LEDGE: 52"	
ROOTS: 30"	
RESTRICTIVE: NO	

TEST PIT: 6B	
0" - 6" Topsoil	
6" - 34" RB/OB Fine Sandy Loam	
34" - 51" GR Compact Gravelly Loamy Fine Sand	
MOTTLES: 34"	
GROUNDWATER: NO	
LEDGE: 51"	
ROOTS: 34"	
RESTRICTIVE: NO	

PERCOLATION DATA PERC 1 - DEPTH 20"	
TIME	Drop (Inches)
10:23	4.0
10:33	14.0
10:43	18.5
10:54	21.0 Dry
PERCOLATION RATE > 4.4 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 2 - DEPTH 21"	
TIME	Drop (Inches)
11:02	5.0
11:15	15.5
11:25	19.5
11:37	22.5 Dry
PERCOLATION RATE > 4 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 3 - DEPTH 20"	
TIME	Drop (Inches)
11:13	3.0
11:23	12.0
11:33	16.0
11:43	19.0
11:52	20.0 Dry
PERCOLATION RATE > 9 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 4 - DEPTH 20"	
TIME	Drop (Inches)
11:55	4.5
12:05	13.5
12:15	16.0
12:25	18.0
PERCOLATION RATE > 5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 5 - DEPTH 20"	
TIME	Drop (Inches)
11:59	5.0
12:09	18.0
12:16	20.0 Dry
PERCOLATION RATE > 3.5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

PERCOLATION DATA PERC 6 - DEPTH 18"	
TIME	Drop (Inches)
12:34	5.25
12:47	12.5
12:58	16.0
1:08	18.0
PERCOLATION RATE > 5 MIN./IN.	
NOTES: PERCOLATION TEST PERFORMED ON 1/27/2020 PERFORMED BY Terre Hendricks	

SEPTIC SYSTEM DESIGN CRITERIA

LOT 1  
TP 1A & 1B  
Depth to restrictive layer = 32 in.  
Slope % = 9.5 %  
Number of Bedrooms = 3  
Percolation rate = 4.4 min/in  
Max. depth into exist. grade = 8 in.  
System Size = 495 s.f.

Hydraulic Factor = 24  
Flow Factor = 1.50  
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 2  
TP 2A & 2B  
Depth to restrictive layer = 40 in.  
Slope % = 10.8 %  
Number of Bedrooms = 3  
Percolation rate = 4.0 min/in  
Max. depth into exist. grade = 16 in.  
System Size = 495 s.f.

Hydraulic Factor = 18  
Flow Factor = 1.50  
Perc Factor = 1.00

18 x 1.50 x 1.00 = 27.0'

MLSS = 27.0'

LOT 3  
TP 3A & 3B  
Depth to restrictive layer = 36 in.  
Slope % = 11.4 %  
Number of Bedrooms = 3  
Percolation rate = 9.0 min/in  
Max. depth into exist. grade = 18 in.  
System Size = 495 s.f.

Hydraulic Factor = 20  
Flow Factor = 1.50  
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 4  
TP 4A & 4B  
Depth to restrictive layer = 31 in.  
Slope % = 8.3 %  
Number of Bedrooms = 3  
Percolation rate = 5.0 min/in  
Max. depth into exist. grade = 7 in.  
System Size = 495 s.f.

Hydraulic Factor = 24  
Flow Factor = 1.50  
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

LOT 5  
TP 5B & 5C  
Depth to restrictive layer = 32 in.  
Slope % = 12.9 %  
Number of Bedrooms = 3  
Percolation rate = 3.5 min/in  
Max. depth into exist. grade = 8 in.  
System Size = 495 s.f.

Hydraulic Factor = 20  
Flow Factor = 1.50  
Perc Factor = 1.00

20 x 1.50 x 1.00 = 30.0'

MLSS = 30.0'

LOT 6  
TP 6A & 6B  
Depth to restrictive layer = 32 in.  
Slope % = 9.5 %  
Number of Bedrooms = 3  
Percolation rate = 5.0 min/in  
Max. depth into exist. grade = 8 in.  
System Size = 495 s.f.

Hydraulic Factor = 24  
Flow Factor = 1.50  
Perc Factor = 1.00

24 x 1.50 x 1.00 = 36.0'

MLSS = 36.0'

Detail Sheet No. 1  
"6 Lot Subdivision"

Prepared For:

Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut

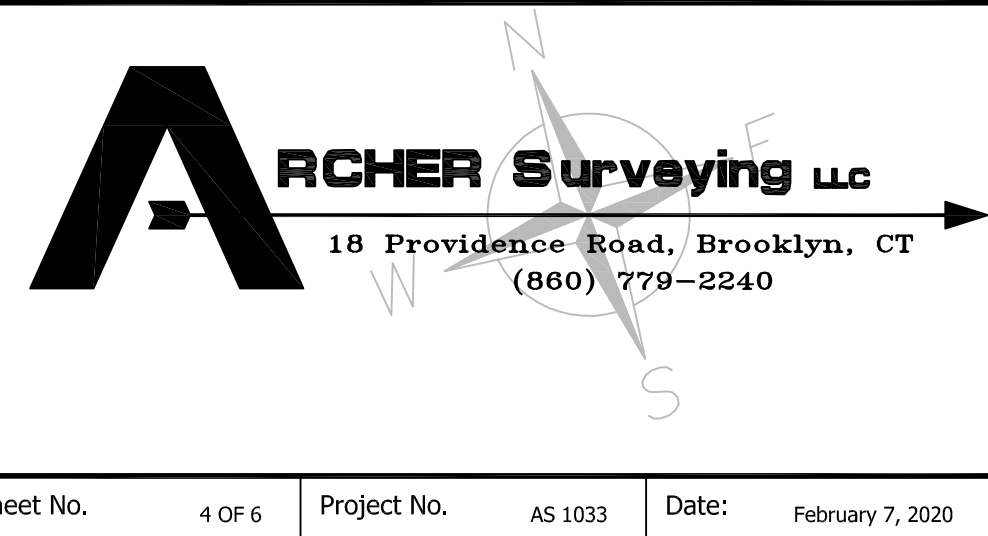
DRAWING SCALE: AS SHOWN

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning  
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191  
Plainfield, Connecticut 06374  
(860) 230-0856 • FAX: (860) 230-0860  
info@provost-rovero.com  
www.provost-rovero.com

REVISIONS	
DATE	DESCRIPTION



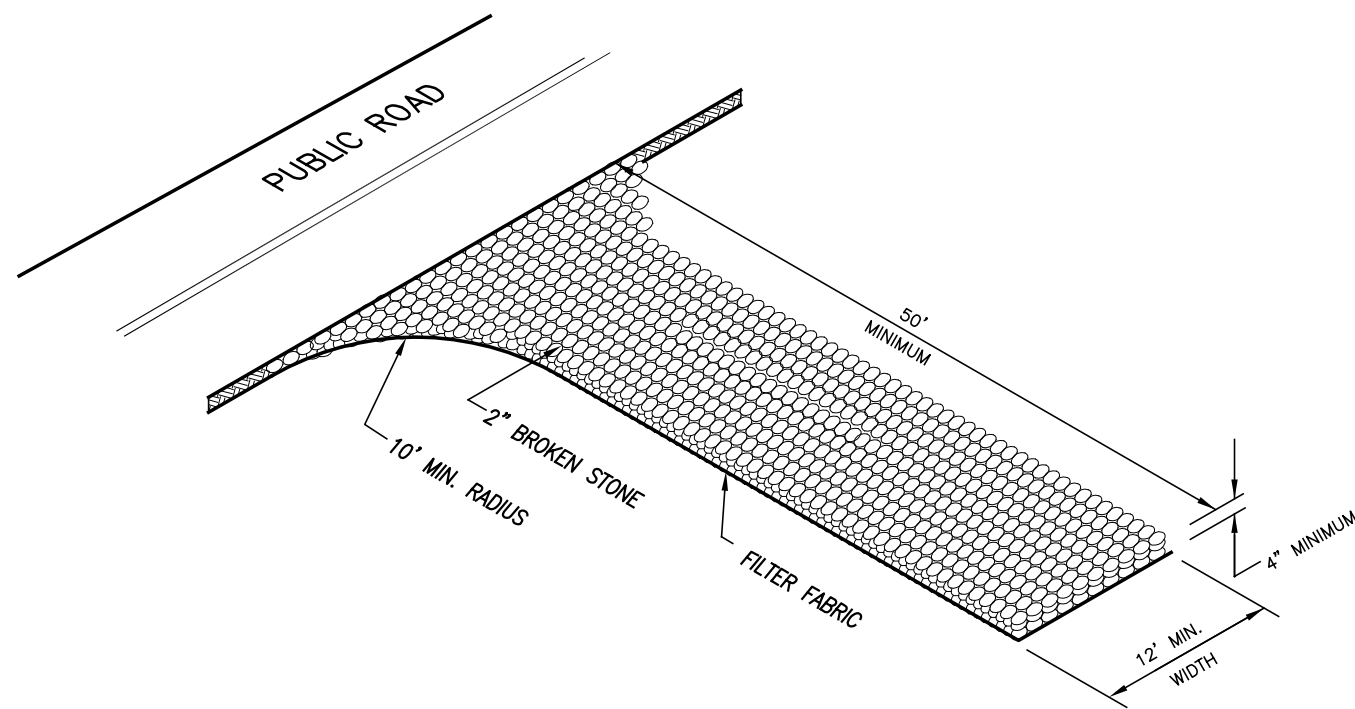
**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240

Sheet No. 4 OF 6Project No. AS 1033Date: February 7, 2020

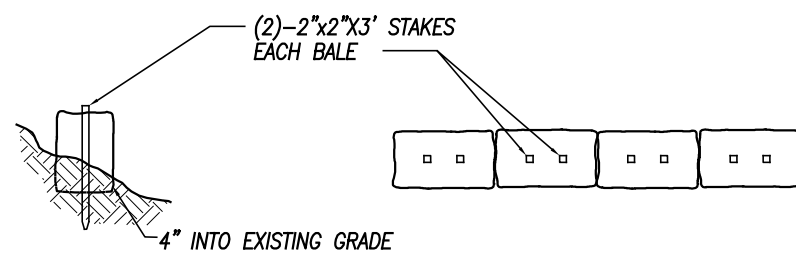


3/12/2020	
ENGINEER	DATE

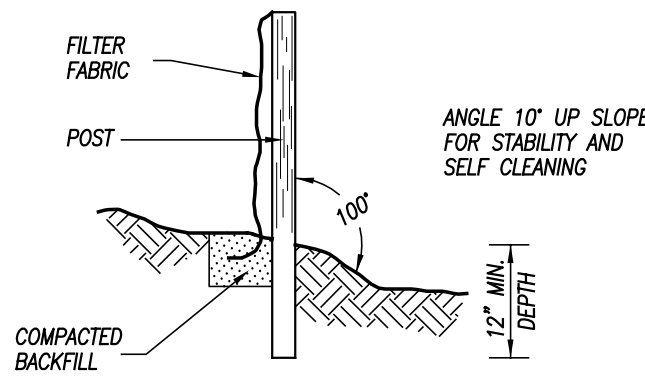




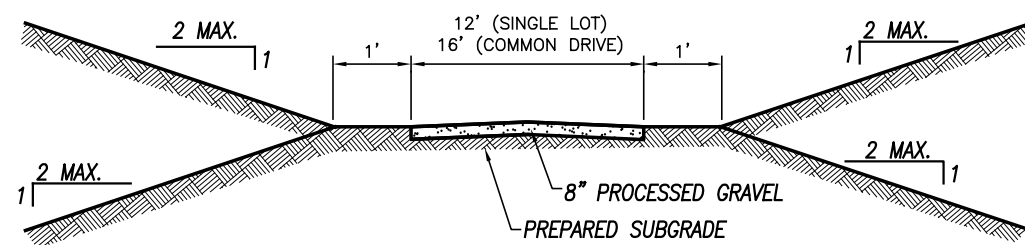
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NOT TO SCALE



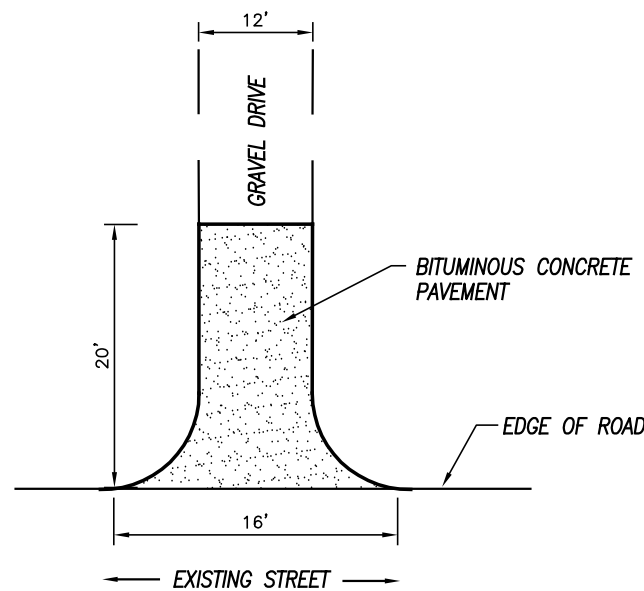
HAYBALE BARRIER  
NOT TO SCALE



SILT FENCE  
NOT TO SCALE



GRAVEL DRIVE DETAIL  
NOT TO SCALE



PAVED APRON  
SINGLE DRIVE  
NOT TO SCALE



ENGINEER	3/12/2020
DATE	

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info@provovinc.com  
www.provovinc.com

REVISIONS	
DATE	DESCRIPTION

Detail Sheet No. 2  
"6 Lot Subdivision"

Prepared For:  
Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: AS SHOWN



Sheet No. 5 OF 6 Project No. AS 1033 Date: February 7, 2020



Day Street

## LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- STONEWALL
- STONEWALL REMAINS
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- WETLANDS FLAG
- BUILDING SETBACK
- IRON PIN FOUND
- PROPERTY POINT
- UTILITY POLE

N/E  
Regional Properties LLC  
Map 36 of Lot 64A

N/E  
William & Emily Macnamara  
Map 36 of Lot 64

N/E  
Richard Olliverson  
Map 36 of Lot 70

Zone: R-30  
Zone: RA

Remaining Land Not to be  
Considered a Building Lot

Remaining Land Not to  
be Considered a  
Building Lot

## NOTES

- The survey has been prepared pursuant to the Regulations of Connecticut's State Agencies Section 20-300b-20, and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1986.
- This survey conforms to a Class "A2" Horizontal Accuracy.
- Survey Type: Conservation Subdivision Plan.
- Boundary Determination: Reserve on Existing Boundary.
- Intent: 6 Lot Subdivision.
- Total Area of Subdivision = 154 Acres.
- Zone = RA.
- Owner / Applicant = Jeffrey Weaver, P.O. Box 4, Brooklyn, CT 06234.
- Parcel is shown as Lot 46 on Assessor's Map #43.
- This Subdivision does include land areas within the Federal Emergency Management Agency's 100 year flood hazard area.
- Wetlands shown were flagged in the field by Joseph Theroux, Certified Soil Scientist in April 2016.
- There are not known endangered species or species of special concern on the subject property nor within 2 miles of the subject property per the December 2006 Natural Diversity Data Base Mapping.
- Parcel does not lie within an aquifer protection area.
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the subdivision map and the inclusion of all necessary annotations or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83).
- Passive Solar Energy techniques were considered in the design of the subdivision.
- The Subdivision Regulations of the Town of Brooklyn are a part of this plan. Approval of this plan is contingent on completion of the subdivision map and the inclusion of all necessary annotations or modifications are on file in the office of the commission.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD83).
- Passive Solar Energy techniques were considered in the design of the subdivision.

Paul N. Archer LL.S. #10013

Date

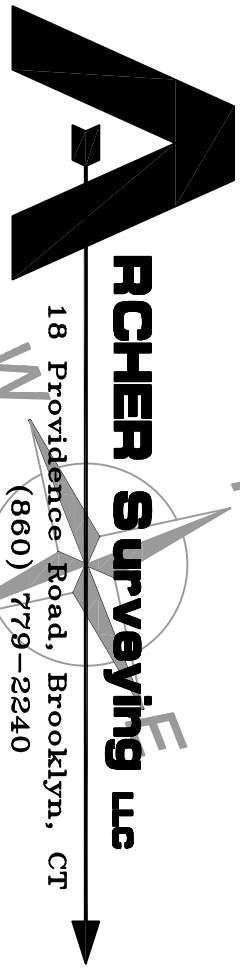
No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

## Subdivision Plan "6 Lot Subdivision"

Prepared For:  
Jeffrey Weaver  
Day Street  
Brooklyn, Connecticut

DRAWING SCALE: 1"=50'

0 25 50 100



18 Providence Road, Brooklyn, CT  
(860) 779-2240

## REVISIONS

No.	Description	Date

Sheet No. 2 of 6 Project No. 1768 Date: February 7, 2020



**Brooklyn Inland Wetlands Commission  
Regular Meeting Minutes  
March 10, 2020**

**Call to Order:** The meeting was called to order at 6:03 p.m.

**Members Present:** Jeffrey Arends, Demian Sorrentino, George Sipila, Richard Oliverson and James Paquin.

**Absent:** None.

**Staff Present:** Margaret Washburn, Wetlands Agent, Audrey Cross-Lussier, Recording Secretary.

**Also Present:** Norm Thibeault, Attorney Harry Heller, John Malarkey, Jeffrey Weaver, Madilyn Smith, public in attendance.

**Seating of Alternates:** None.

**Election of Officers:**

**Chairman:** A motion was made by Jeff Arends to nominate Demian Sorrentino as Chairman. Mr. Sorrentino declines the nomination as Chairman.

A motion was made by Richard Oliverson to nominate Jeff Arends as Chairman. George Sipila seconds this motion. No discussion held. Motion passes unanimously. Jeff Arends accepts the nomination as Chairman although makes note of his hectic work schedule.

**Vice Chairman:** A motion as made by Jeff Arends to nominate Demian Sorrentino as Vice Chairman. Jim Paquin seconds this motion. No discussion held. All in favor. Motion passes unanimously. Mr. Sorrentino accepts the nomination.

**Public Commentary:** None.

**Additions to the Agenda:** None.

**Approval of Minutes:** Regular Meeting Minutes of February 11, 2020. Minutes were approved as written with no change.

Chairman Arends stated he listened to the recordings of the January 14, 2020 and the February 11, 2020 meetings.

**Public Hearings:**

**1. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing.**

A motion was made by Jim Paquin to open the public hearing. Demian Sorrentino seconds the motion. No discussion held. All in favor. The motion passes unanimously.

Norm Thibeault, Killingly Engineering, represents the applicant. Vachon Chevrolet is the former Premier Chevrolet. Vachon Chevrolet purchased King Cadillac in Putnam, CT. They plan to move all operations to this facility. The proposal is two vehicle storage areas to store new vehicles. The intention is to bring customers to these storage areas by golf carts to look at the vehicles. The first area is adjacent to Aldin Associates Limited Partnership, gas station and convenience store. There will be a small area that will store two dozen cars in total. The second one is located in the north rear of the lot. They are anticipating 120 to 140 vehicles stored there.

The first wetland impact is in the southwest portion off the existing parking area. In constructing the access drive there will be a small impact of 1200 sq. ft. The second area described was an agricultural crossing with old photos from the 1930's showing this clearly. The wetlands are essentially scrub shrub wetland with red maple overstory. Mr. Thibeault reviews Joe Theroux, Soil Scientist, reports dated 11/14/19 and 3/5/20 (see attached).

Mr. Thibeault stated they are proposing a total of 3,100 sq. ft. of wetland impacts. Over 1,200 ft in area one at the southeast portion and at the existing agricultural crossing 1,800 sq. ft. They are proposing to put two 30-inch culverts, counter sunk into the soil, provide a natural bottom in the pipes filled with sediment and organic material to keep the consistency of the area. There was a pipe there with work having been done previously when Premier Chevrolet owned the property. The pipe is no longer in place. The wetland crossing does not provide any flow in one direction or the other, it is from or to the wetland. The area is flat. The intention of the two pipes is not to provide a mechanism for any significant flow, it is to keep the current hydrologic conditions. To balance the areas of impact, two wet basins are proposed. The bottom of the basins will be constructed down into the water table, organic material placed upon them and a wetland seed mixture applied to the bottom of the basin. The bottoms of the basins are slightly over 4,000 sq. ft. compared to the 3,100 sq. ft. of proposed impact.

During construction super silt fence is proposed around the perimeter of the site especially where wetland impacts are conducted and where excavation is being proposed adjacent to the wetland. Silt fence backed with hay bales or wood chip berms are proposed in the area of the crossing. There will be a temporary corduroy crossing where the pipes are going during tree removal. Once the trees and stumps are removed and the significant machine activity is completed the crossing will be removed, pipes will be installed.



The total area of pavement is slightly over 30,000 sq. ft. There will be some stormwater detention. Two basins are proposed. The smaller parking area basin will be a water quality basin. The larger basin rear of the site northern portion will act as a stormwater retention basin and water quality basin. The wet basin will provide a filtering mechanism for sediment transported off the paved areas. To increase the retention time within the basin it has a berm in the middle and created a pathway for the water to funnel through the basin with a series of check dams prior to reaching the outlet. The outlet is a tier outlet shown on sheet 5 of the plans. Mr. Thibeault discusses the drainage computations.

Mr. Thibeault commented per Ms. Washburn the plans have not been reviewed by Syl Pauley, P.E., NECCOG.

Chairman Arends asked if there be any kind of controls for oil and gasoline leaks for vehicles stored in the larger lot. Mr. Thibeault commented there will be new vehicles stored there. Mr. Arends commented that once the IWWC approves the application they can put anything back there. Mr. Thibeault and the applicant will look at this and propose something acceptable to the Commission.

Mr. Sipila asked if this will be a fenced in area. Mr. Thibeault stated yes, it will be fenced, landscaped and gated.

Chairman Arends asked if the crossing is still there from the 1934 aerial photo. Mr. Thibeault stated it is still there. Ms. Washburn reviews photos from her inspection report.

Mr. Arends asked if this will be the predominant crossing for the construction phase. Mr. Thibeault stated it will be the spot for the construction phase and the permanent access.

Mr. Sorrentino recommends conditioning the lot to have only new vehicles stored there, Mr. Thibeault agrees.

Mr. Sorrentino asked Ms. Washburn if it is commonplace to utilize stormwater basins for wetland mitigation. Ms. Washburn stated no. Discussion ensued with regards to stormwater maintenance.

Ms. Washburn asked where the stumps will be stockpiled. Mr. Thibeault stated they will be taken off site. Ms. Washburn questioned on site stump grinding. Mr. Thibeault stated it is on site chipping.

Ms. Washburn asked where the proposed chipping stockpile will be? Mr. Thibeault commented towards the top of the site where the loam stockpile is located.

Ms. Washburn asked how long will this project take to complete? Mr. Thibeault would have to check with contractor, perhaps 60 to 90 days. Ms. Washburn asked when would the start date be? Mr. Thibeault would like to start as soon as possible. The application has not been submitted to PZC. They are hoping to start end of May 2020.

Mr. Sorrentino asked if Ms. Washburn has visited the site. She stated yes. Mr. Sorrentino asked if she saw any other area for potential mitigation other than the stormwater basin. Mr. Thibeault reviewed the site plan with members to show where Ms. Washburn and he inspected.

Ms. Washburn asked if it is possible to do plantings in the wet basins? Mr. Sorrentino asked if the lots will be sanded? Discussion ensued.

Ms. Washburn asked if the Commission has asked for off site mitigation. Chairman Arends does not think they have ever done in his time on the Commission. Ms. Washburn feels it is allowed per regulations. Mr. Sorrentino does not have a problem with this. Discussion ensued.

Commission members discussed having a site walk. Mr. Thibeault will check with the owner to grant permission.

Chairman Arends opens up public commentary from the audience:

Pat Morgan, 49 Westview Drive: How close will this project be to the residential property line. Mr. Thibeault stated the asphalt will be 50-feet from the property line with the fence being 10-feet from the property line. Ms. Morgan asked if there will be any leveling of the property. Mr. Thibeault stated they are going to cut down into the embankment to push material forward. They are not proposing to lower the grade up against the property, the grades will be lowered from the property line. Ms. Morgan asked if any trees will be taken down. Mr. Thibeault stated there will be trees taken down that are necessary, but the intention is to keep a good stand of trees. The standing trees will be approximately 40-50-feet from the parking area with grading of the embankment. There will also be plantings that grow anywhere from 10 to 20-feet high providing a year-round evergreen screening. Ms. Morgan asked if the same thing will be done on the Eversource side, leaving 50 feet of trees. Mr. Thibeault stated yes. Ms. Morgan asked what kind of lighting will be used? Mr. Thibeault stated the lighting will be dark sky compliant lighting, low intensity security lighting. It is the intention of the owner to keep the pole heights down 10 to 12 feet high.

Gary Marquis, 43 Westview Drive: How high and what type of fence will be used? Mr. Thibeault stated it will be 6-feet high, most likely chain linked with privacy slats.

Chairman Arends asked if there will be a speaker system back there. Mr. Thibeault stated no, there will be security cameras back there.

Mr. Oliverson asked how many lamp posts will be on the back lot. Mr. Thibeault stated they are showing approximately 8.

Ms. Washburn asked if there are catch basins in the parking lot. Mr. Thibeault stated no it is all sheet flow.

Gary Marquis – concerns are with the drainage from the hard ball onto his property. Mr. Thibeault stated the drainage is going to the south, none towards the Marquis property.



Mr. Marquis stated there is an outlet on 43 Westview Drive located on the northeast side of the wetlands. Mr. Marquis questions if this drainage will be sufficient? Mr. Thibeault stated they cannot increase the rate of flow off of the property by regulations which is the intention of the stormwater basins. Mr. Thibeault further explains this.

Mr. Sorrentino asks based on his review of the drainage area, which direction is the hydraulic gradient, west or east. Mr. Thibeault demonstrates on the site plan and discusses.

Ms. Washburn asked both areas where fill is proposed up to the edge of wetlands, is there silt fence and double staked hay bales? Mr. Thibeault stated yes.

Ms. Washburn discusses the Japanese knotweed present on the site. It may be difficult to prevent it from growing in the basins. Would the IWWC wish to establish a plan for controlling the knotweed if and when it becomes established in the detention basins? Mr. Sorrentino asked if it is prevalent throughout the site or is it isolated. Mr. Thibeault states it is isolated, on the edge of existing parking lot. As part of mitigation of invasive species, eradication can be offered yearly for a few years to try to remove the invasive species. Discussion ensued.

Gary Marquis: With the tree line at 50-feet, how will this affect the rooting system of the big pines back there. Mr. Thibeault stated the intention is to remove the ones that could intentionally be impacted and keep the ones intact where the roots are not disturbed. Mr. Marquis asked if the fence is going to be along the entire property line. Mr. Thibeault stated yes and demonstrates this on the site plan.

Chairman Arends asked if what was submitted is an example of the plantings. Mr. Thibeault stated yes.

Mr. Sorrentino commented to members of the public that are concerned about the site plan elements, lighting, fencing, clearing, these are out of the jurisdiction of the IWWC. These concerns are best addressed with Planning and Zoning Commission during the public hearing.

Mr. Marquis: How will snow removal be handled? Mr. Thibeault stated it will be pushed in the direction of the flatter area (demonstrated on site plan).

Nick, 49 Westview Drive: Who would be in charge of cleaning out the culvert, is it the town or the property owner? Mr. Thibeault and Chairman Arends stated it would be the property owner.

Ms. Morgan asked what will this do to their property values? Mr. Arends cannot answer that question. Mr. Sorrentino stated it is not the jurisdiction of the IWWC.

A motion was made by George Sipila to continue the public hearing to next month's meeting April 14<sup>th</sup>. Richard Oliverson seconds this motion. No discussion held. All in favor. The motion passes unanimously.

**Old Business:**

- 1. 102219B Strategic Commercial Realty, Inc., d/b/a Rawson Materials, Maynard Road, Map 29, Lot 5, RA Zone: Excavation of approximately 1.2 million cubic yards of sand and gravel.**

Chairman Arends stated the public hearing is now closed and deliberations are to begin.

Mr. Sorrentino stated that they have received comments from Syl Pauley, P.E., NECCOG, but with the public hearing closed, his comments cannot be included into the record.

Chairman Arends addressed IWWC with his concerns; dust control-the methodology prevents dust, he could not find this in any of the notes whatsoever in the plans, he does not believe this. With regards to a watering truck that can shoot a volume of water sufficient enough to go up a 60 degree bank, 100 feet, to prevent dust control, he has not seen any specs of any trucks that can do this at a gravel site. Putting together wind, geography, and the reduced natural buffer to the watercourse, there goes margin of error. The 75-feet is too close. By reducing the natural vegetation between the disturbance and the watercourse, you are eroding the canopy. The water temperature has to be considered especially in the kettle wetlands; the canopy provides dust protection. Reducing to 75-feet is asking for trouble. Mr. Arends attended State sanctioned inland wetland watercourse training for commissioners and agents and it was recommended to have a 200-foot setback from all continuous watercourses. Mr. Arends stands by this, there should be a 200-foot setback from the Quinebaug River. Mr. Arends is open to suggestions for the kettle wetlands.

Mr. Sorrentino stated that the only recommendation that can be taken other than their own personal opinions is the recommendations from the consultant of GZA who were hired to review this plan. Mr. Sorrentino believes their recommendation was to adhere a 125-foot setback from the kettle wetland. The IWWC did not ask them to review anything associated with the Quinebaug River and they did not provide any information on recommended setbacks from the Quinebaug River.

Deliberations ensued. Commission Members polled:

George Sipila 175-feet from the kettle wetland, 175-feet from the edge of Quinebaug River

Richard Oliverson 125-feet from kettle wetland, 175-feet from the edge of Quinebaug River.

Jim Paquin 125-feet from the kettle wetland, 175-feet from the edge of Quinebaug River.

Demian Sorrentino 125-feet from the kettle wetland, 175-feet from the edge of Quinebaug River.

Jeff Arends 125-feet from the kettle wetland, 200-feet from the edge of the Quinebaug River.

Mr. Sorrentino stated the condition of the 125-foot of the kettle wetland is consistent with the GZA recommendation.



A motion was made by Demian Sorrentino to approve application 102219B Strategic Commercial Realty, Inc., d/b/a Rawson Materials, Maynard Road, Map 29, Lot 5, RA Zone: Excavation of approximately 1.2 million cubic yards of sand and gravel based on plans stamped received 2/10/20 with the following conditions:

1. That the grading plans be revised to reflect a 125-foot non-disturbance setback from the kettle wetland and a 175-foot non-disturbance setback from the ordinary high watermark of the Quinebaug River.
2. Standard Conditions of the IWWC shall apply. The operator shall meet with the Wetlands Enforcement Officer prior to disturbance of the soil to review these conditions.
3. After clearing limits have been flagged by a licensed land surveyor, the applicant shall contact the Wetlands Enforcement Officer to inspect the limits of work prior to starting any clearing of vegetation.
4. Wetlands flagging shall be maintained throughout the duration of the permit.
5. Permit Duration: The permit duration is controlled by the Inland Wetlands and Watercourses Regulations Section 11.6. Pursuant to this Section, this permit shall be valid for 5 years.
6. Final Plans: The final plans shall place the approval motion on one sheet. One set of final plans shall be submitted with the live signatures and seals of all design professionals with a signature block on each sheet for signature by the IWWC Chair.
7. When the excavation is approximately 20-feet above the proposed bottom elevation, contact the Land Use Department to schedule witnessing deep test pits in order to evaluate the depth to seasonal high ground water. If no seasonal high groundwater indicators are observed, when the excavation is approximately 10-feet above the proposed bottom elevation, contact the and Use Department to schedule witnessing deep test pits in order to evaluate the depth to seasonal high ground water to review limits or work prior to starting any clearing of vegetation.
8. Within 12 months after clearing the site, the applicant shall contact the Wetlands Enforcement Officer to inspect the wetland buffer signs.

Jim Paquin seconds this motion. Mr. Arends feels dust control is very questionable. No further discussion held. In favor – Demian Sorrentino, George Sipila, James Paquin, Richard Oliverson. Not in favor – Jeffrey Arends. The motion passes 4-1.

- 2. 021120B Vachon Brooklyn, LLC, 512 Providence Road, Map 41, Lot 13A/14, PC Zone; Construction of (2) 16 ft. wide access driveways to access proposed new vehicle storage lots. Drive to the larger of the two proposed parking areas will be in an area historically used for an agricultural crossing.**

A motion was made by Demian Sorrentino to table application 021120B to next month's regular meeting April 14, 2020. George Sipila seconds this motion. No discussion held. All in favor. Motion passes unanimously.

**New Business:**

- 1. John P. Malarkey, 66 Riverfarm Drive, previously approved application 121118A, construction of a single-family dwelling, septic system, well, driveway and site grading within 125-feet of wetland.**

Mr. Malarkey currently resides at 20 Day Street. He owns the property at 66 Riverfarm Drive. Paul Terwilliger, PC Survey, surveyed the lot. There are some trees Mr. Malarkey would like to cut down as they are a hazard to where the new home will be built with fear of them falling on the new construction and propane tanks. He would like to cut these trees and leave the stumps. Ms. Washburn visited and reviewed the site and marked the trees with green tape. Eight trees are on the east side which will be close to the new construction. The house will move a bit.

Ms. Washburn reviews photos with the Commission Members. Ms. Washburn does not object to any of the tree removal. She gave him permission to remove a few trees on a knoll. He moved the sediment controls.

Mr. Oliverson asked if the trees will be removed from the site. Mr. Malarkey stated he will remove the trees and leave the stumps low.

Mr. Malarkey asked if he could place stones at the entrance of his property to be used as a driveway tracking pad. Ms. Washburn and the Commission Members agreed with this.

A motion was made by Demian Sorrentino to amend application 121118A to include the cutting of the additional trees and leaving the stumps. George Sipila seconds this motion. No discussion held. All in favor. The motion passes unanimously.

- 2. 031020A Darko Krsulic/Owner, Evan Sigfridson/Applicant, 293 Hartford Road, Map 16, Lot 39, RA Zone; Demolish remainder of collapsed coop, dig and pour frost walls for proposed 24 x 34 ft. accessory building.**

No one was present to represent the application.

Ms. Washburn stated there were no maps received where the work is proposed. There is no map to show the wetlands or the work in relation to wetlands. The wetlands according to GIS, shows the barn is in or next to wetlands. They want to demolish chicken coops. There is no wetlands delineation done. Discussion ensued.

A motion was made by Demian Sorrentino to not receive application 031020A, table the application and advise the Wetlands Agent to have the applicant get a wetlands delineation and a site plan for this application. Jim Paquin seconds this motion. No discussion held. All in favor. The motion passes unanimously.



**3. 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6-lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading.**

Jeff Weaver represents application 031020B. The proposed 6-lot subdivision is west of the current 10-lot subdivision on Day Street. The wetlands touch to the back of Lot #6. No work or crossing is being proposed in the wetlands. Mr. Sorrentino asked if Mr. Oliverson is a direct abutter to the property. Mr. Weaver stated not to the subdivision but of the remaining land he is an abutter.

Ms. Washburn has not visited the site. Ms. Washburn would like to receive the delineation report. Revised plans will be submitted from David Held, Provost and Rovero.

Mr. Sorrentino asked if there are any direct impacts. Mr. Weaver stated Lot #1 is in the upland review, Lot#6 the wetland are approximately 200 feet back from the wall.

Commission Members feel there is no significant impact. No public hearing is required.

Ms. Washburn asked if they wish her to do the site visit or would the Commission like to go. Chairman Arends asks Ms. Washburn to do a site visit and report back to the Commission.

Mr. Weaver commented there are 5 lots in the R30 Zone and 1 lot in the RA Zone.

A motion was made by Jim Paquin to receive application 031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6-lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading and continue to next month's meeting April 14, 2020.

Ms. Washburn stated she has informed Syl Pauley, P.E., NECCOG, that the application has been received and requires a review. As soon as Mr. Archer receives the stamped plans from David Held, he will e-mail them to Ms. Washburn and Mr. Pauley.

George Sipila seconds this motion. No further discussion held. All in favor. The motion passes unanimously.

**Communications:**

**1. Budget Update:** Budget reviewed.

**2. Wetland Agent's Monthly Report:**

Ms. Washburn introduces Sharon Diamen who lives on Barrett Hill Road. She is interested in becoming a Wetlands Member. She is a retired physician. She lived in Chester, CT for 34 years living next to a flood plane and the Connecticut River. Chairman Arends commented there are on-line courses that are available for new members to take. Mr. Arends commented that the

Commission would love to have Ms. Diamen as a new member. She is recommended to meet with the First Selectman Rick Ives for an appointment.

Ms. Washburn met with Anne Opperman who lives at 33 Pomfret Road (Route 169). She would like to remove hazardous trees along her driveway the edge of Route 169. Also, removal of multiflora rose. Ms. Washburn would like guidance from the Commission if this will require a permit to do the work and if the wetlands should be delineated.

Chairman Arends considers this function of maintenance, not going in with heavy equipment, no digging involved, a bucket truck is okay. Mr. Sorrentino states that it is safe to advise people they can trim brush, cut trees, especially dead trees, as long as they are not disturbing the earth or creating a potential for erosion and sedimentation, it is their right to do so.

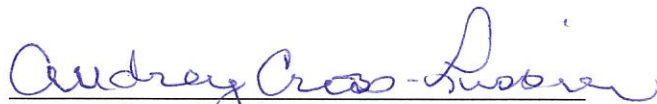
Ms. Washburn met with Sara Hemingway (Audubon Society) who said that Paula may be willing to train and organize volunteers if this Town wanted to do a vernal pool survey. Ms. Washburn mentioned this to Chairman Arends, and he said the Conservation Commission may like to do this.

Seth Duval, Woodward Rd, is planning to be ready for an inspection, Ms. Washburn will call him in April 6<sup>th</sup> to report at the April 14<sup>th</sup> meeting. Ms. Washburn invites any Commission Members to come along.

Mark Curreri, Appell Rd, has resolved his issues with Yee Kim Timber.

**Public Commentary:** None.

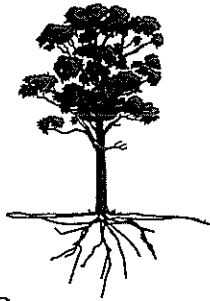
**Adjourn:** A motion was made by Jim Paquin to adjourn the meeting at 8:00 p.m. Richard Oliverson seconded this motion. No discussion held. All in favor. The motion passes unanimously.

  
Audrey Cross-Lussier, Recording Secretary



RECEIVED

MAR 09 2020



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments  
Wetland Delineations and Permitting ~ E&S/Site Monitoring  
Wetland function and value assessments

11/14/19

Killingly Engineering Associates

P.O. Box 421

Dayville, CT. 06241

Re: Wetland delineation, Vachon Chevrolet site, Brooklyn, CT.

Dear Mr. Glaude,

At your request I have delineated the inland wetlands/watercourse on the above referenced 4.68 acre & 5.84 properties shown as lot#13A and lot 14.

These wetlands have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Sections 22A-38.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and the inland wetlands/watercourse that was found.

Flag numbers WF-1 thru WF-21, WF-1-1 thru WF-1-12 and WF-1A thru WF-18A delineate the southern boundary of the palustrine forested/scrub-shrub wetland/watercourse that bisect the properties.

Flag numbers WF-1B thru WF42B delineate the northern boundary of the palustrine forested/scrub-shrub wetland/watercourse. This wetland was inundated on the date of the delineation, (11/14/19).

Flag numbers WF-1C thru WF-11C delineate an isolated pocket of wetland soils that have formed in an old shallow excavated area. As this depressed area was partially inundated on the date of the delineation and has no inlet or outlet, it may be classified as a vernal pool or as vernal habitat.

These wetland soils are characterized by thick mineral and/or organic "A" horizons and low chroma colors within 20 inches of the soil surface.

The remainder of these parcels was inspected for inland wetlands and watercourses and none were found.

In conclusion, if you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

A handwritten signature in black ink, appearing to read 'J. R. Theroux', written in a cursive style.

Joseph R. Theroux  
Certified Soil Scientist  
Member SSSSNE, NSCSS.



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MAR 09 2020



## Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

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P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Wetland Impact Assessments

Wetland Delineations and Permitting ~ E&S/Site Monitoring

Wetland Function & Value Assessments

3/5/20

Killingly Engineering Associates  
P.O. Box 421  
Dayville, CT. 06241

Re: Wetland function/value and impact assessment report for proposed parking expansion for Vachon Chevrolet, Providence Road, Brooklyn, Connecticut.

Dear Mr. Glaude,

At your request, I have reviewed the site plans entitled: "PROPOSED PARKING EXPANSION, "VACHON CHEVROLET" PROVIDENCE ROAD (ROUTE 6) BROOKLYN CONNECTICUT, dated 1/7/2020 and the above referenced property for the purposes of assessing the wetland functions and values and potential impacts to the inland wetlands and watercourses in proximity to the proposed parking area expansion.

The wetland function and value assessment was conducted on 2/26/20.

### **Existing Conditions**

The property composed by two separate lots is 10.52 acres in size and is located on the north side of Providence Road, (Route 6), in Brooklyn, CT.

The southeast portion of the site is occupied by the car dealership with both paved and gravel parking areas. The remaining portion of the property is occupied by a large palustrine forested/scrub-shrub wetland & watercourse complex and adjacent forested uplands.

### **Upland Review Areas**

The 125 foot upland review area around the delineated forested/scrub-shrub wetland/watercourse is vegetated in the overstory with a mix of white pine and mixed hardwoods in the sawtimber and polewood size classes. The mixed hardwoods include white and scarlet oaks, and red maple.

The understory is comprised of polewood and saplings in these species as well as shrub species such as highbush blueberry. Herbaceous vegetation includes hay scented ferns and miscellaneous grasses.

## **Wetlands**

A palustrine forested/scrub-shrub wetland/watercourse was delineated in the central portion of the property. (See wetland delineation report). The wetland was inundated on the date of the delineation, (11/14/19) and the assessment, (2/26/20).

This area has formed due to the presence of a perched or seasonal ground water table that provides the hydrology to allow it to remain inundated throughout the year.

The wetland/watercourse is vegetated around its perimeter with scarlet oaks, white pine and red maple in the sawtimber size classes.

The majority of this wetland/watercourse is densely vegetated with red maple saplings and typical wetland shrub species such as highbush blueberry, speckled alder, sweet pepperbush, winterberry and spicebush.

Herbaceous vegetation included sphagnum moss, sensitive & cinnamon ferns, sedges, rushes, skunk cabbage, tussock sedges and misc. grasses. Floating duckweed was also noted in one area.

Wildlife tracks/sign found and directly observed in and adjacent to the wetland/watercourse included mammals and bird species such as: white tailed deer, eastern coyote, red tailed fox, raccoon gray & red squirrels, red tailed hawk, American crow, red wing blackbird, and numerous songbird species.

Due to the time of year, no amphibians or reptiles were observed although undoubtedly the main wetland/watercourse serves as habitat for numerous species.

A small depressed area containing wetland soils was also delineated in the northeast portion of the property, (delineated by the "C" series flags). This area was most likely a historic excavation, in which these wetland soils have formed due to prolonged wetness.

The perimeter of this area is vegetated in the overstory with red maple sawtimber and polewood, and the understory is comprised of shrubs such as highbush blueberry, and speckled alder. Herbaceous vegetation included sensitive and cinnamon ferns. Sedges were found within the inundated portion of the wetland.

It is my opinion that this small wetland may possibly serve as vernal habitat, although no wood frogs, salamanders or egg masses were found on the date of the assessment, (2/25/20).

## **Wetland Functions and Values**

The forested/scrub-shrub wetland/watercourse, and the small wetland were inspected to determine wetland functions and values utilizing the Army Corps. Of Engineers methodology as outlined in "The Highway Methodology Workbook Supplement".



This methodology recognizes 8 separate wetland functions: groundwater recharge/discharge, floodflow alteration/storage, fish/shellfish habitat, sediment/toxicant/pathogen retention, nutrient removal/retention/transformation, production export, sediment/shoreline stabilization and wildlife habitat. The 4 wetland values include: recreational value, educational/scientific value, uniqueness/heritage value and threatened/endangered species habitat.

For each wetland function or value to be determined, 2 to 31 different considerations/or qualifiers are considered as rationale to apply or eliminate that specific function or value.

#### **Palustrine forested/scrub-shrub wetland/watercourse functions:**

The following is a list of the wetland functions exhibited by this wetland/watercourse and their descriptions:

**Floodflow alteration:** the large wetland/watercourse exhibits flood storage potential due to the flat topography, and valuable properties, structures and resources are located adjacent to the wetland.

**Ground water recharge and discharge:** Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

**Sediment/toxicant retention:** herbaceous vegetation, shrubs and flat topography in the wetlands can effectively trap sediments/toxicants from surface flows from the adjacent topography and gravel parking areas.

**Nutrient removal/retention:** herbaceous and shrub vegetation in the wetlands can effectively trap and utilize potential nutrients before reaching watercourses. Nitrogen fixing bacteria in wetland soils also trap nitrogen. Although with no current sources of nutrients present, this wetland has little opportunity to provide this function.

**Production export:** numerous tree, shrub and herbaceous plant species in the wetlands provide food, berries and seeds for wildlife. Amphibians provide food for birds and mammals.

**Sediment and shoreline stabilization:** Roots from herbaceous grasses and plants, shrub species and trees found in wetlands bind and stabilize soils which helps prevent erosion along steeper edges of wetlands. Although with no significant currents or shoreline waves, this wetland/watercourse has little opportunity to provide this function.

**Wildlife habitat:** Numerous amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat. Wildlife habitat is another primary function of this wetland.

This wetland did not exhibit the wetland functions of fish habitat due to the lack of significant deep water habitat areas capable of sustaining fish.

### **Palustrine forested Scrub-shrub Wetland/Watercourse Values**

The following wetland values were exhibited by this wetland/watercourse:

**Educational/scientific value:** this wetland/watercourse is relatively undisturbed, contains multiple wetland classes, and is considered as valuable wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

**Uniqueness/heritage value:** this wetland/watercourse serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as valuable wildlife habitat.

**Visual/aesthetic value:** the wetland/watercourse is visible from multiple viewing locations, it contains a diversity of vegetation that turns vibrant colors during different seasons, it is considered valuable wildlife habitat, and is not significantly disturbed.

This wetland/watercourse did not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

### **“C Series” Wetland Functions:**

The following is a list of the wetland functions exhibited by this wetland and their descriptions:

**Ground water recharge and discharge:** Ground water recharge function is possible due to the perched water table being trapped and slowly infiltrating during dry season. This is a primary function of this wetland.

**Wildlife habitat:** It is possible that amphibians, reptile, mammal, and bird species inhabit this wetland. The wetland and upland riparian zones adjacent to the wetland serve as wildlife habitat.

This wetland did not exhibit the wetland functions of floodflow alteration, sediment/toxicant retention, nutrient removal/retention, production export, sediment & shoreline stabilization and fish habitat due to the lack of floodwater storage capacity, its small area, lack of dense vegetation, lack of significant deep water habitat areas capable of sustaining fish, and it is not associated with stream flows or a large body of water.

### **“C Series” Wetland Values**

The following wetland values were exhibited by this wetland:

**Educational/scientific value:** this wetland is relatively undisturbed, and is considered as wildlife habitat, although with no public access on this property, this wetland has little opportunity to provide this value.

**Uniqueness/heritage value:** this wetland serves an important role in the ecological system of the area, it is a typical wetland class for the area, and serves as wildlife habitat.



This wetland did not exhibit the visual/aesthetic value as it is not visible to the public, and does not contain vegetation that turn vibrant colors. It does not exhibit the value of threatened/endangered species habitat as the site was not shown within the shaded areas on the current natural diversity database maps.

### **Potential wetland impacts**

The project plans and site were reviewed to assess the potential impacts to the wetlands from the proposed parking area expansion.

On the two parcels, an expansion of the existing parking areas is proposed, one area in the northern portion of both of the lots, and one in the southern portion of lot 13A.

#### **Northern parking area:**

In order to access the uplands in the northern portion of the parcels, a 1,860 square foot direct wetland disturbance is proposed for the 12 foot wide paved access drive. This will consist of excavation and installation of two 30 inch diameter class IV concrete pipes which will be filled along the bottom with native soil material.

Within the majority of the 125 foot upland review area and remaining uplands, the 12 foot wide access drive and a 340 foot long by 60 foot wide paved parking area is proposed with a storm water treatment basin located to the south of the parking area. In the bottom of the storm water basin, a 2,850 square foot wetland mitigation is also proposed. This area is designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

The clearing limits and E&S measures shown on the plans vary from approx. 40 feet in width to immediately adjacent to the wetlands.

The topsoil stockpile is shown a reasonable distance from the wetlands and silt fencing is shown along the southern side.

#### **Southern parking area:**

In order to access the proposed 112 foot long by 44 foot wide paved parking area, a 1,250 square foot direct wetland disturbance is proposed for the construction of the access road.

To the north of the paved parking area, a storm water treatment basin is shown, and in the bottom of the basin a 1,150 square foot wetland mitigation is proposed. This area is also designed to have a wet bottom which will fluctuate with the existing water table and will be seeded in with New England Wetmix.

Also shown on the project plans are proposed plantings of common spicebush and sweetgale shrubs along the northern edge of the storm water treatment basin, to help revegetate and stabilize the side slopes.

The clearing limits and E&S measures on the plans for the most part are depicted immediately adjacent to the wetlands.

No topsoil stockpile is shown for this small construction area so I would assume that the topsoil will be hauled off site, or stored elsewhere on site, preferably with silt fencing around the perimeter.

#### **E&S Measures:**

The submitted project plans show the proposed E&S measures around the perimeter of the clearing limits adjacent to the wetlands as silt fencing and/or staked hay bales.

*It would be my recommendation that the E&S measures be installed as soon as possible after the initial timber cutting and before the stumping and topsoil removal operation. It is during this phase where the most likely opportunity will occur for erosion and sedimentation. In some areas the slopes adjacent to the wetlands are steep, and the excavation, filling and grading are proposed directly adjacent to the wetlands.*

*Along the clearing limits adjacent to the wetlands, I would recommend either super silt fencing or silt fencing backed by staked hay bales should be proposed and implemented. This silt fencing will also prevent reptiles and amphibians from entering the excavation areas.*

*I would recommend that the storm water basins be constructed first before the remaining areas so they can serve as temporary sediment basins until the parking areas are constructed.*

*I would also recommend that E&S inspections be conducted on a frequent basis during the land clearing/stumping/topsoil stripping phases, and prior to significant storm events.*

#### **Direct wetland impacts:**

The combined direct wetland disturbance for both of the wetland crossings totals 3,110 square feet. In this area all the specifically listed wetland functions and values for each wetland will be negated.

It is my opinion however, that the proposed 4,000 square foot wetland mitigation will compensate for this loss.

#### **Potential short term impacts:**

The potential short term impacts associated with the land clearing, stumping, top soil stripping and construction would be limited to potential sediment discharges during significant storm events.

Provided that the proposed/recommended E&S measures/inspections are correctly implemented and maintained throughout the project timeframe, the disturbance directly



adjacent to the wetlands will not significantly impact the wetlands or their existing functions due to erosion and sedimentation. Once the top soils are removed, the well-drained, sandy/gravelly soils will allow for good infiltration of storm water runoff until the construction is complete.

The quick and permanent establishment of vegetation in the disturbed areas is crucial to the prevention of erosion. To minimize the potential for these impacts, E&S control measures have been incorporated into the project plans on sheet 5 of 5.

### **Potential long term impacts:**

#### **Wetland hydrology**

I see no direct or long term impacts to the wetland hydrology as a result of the proposed access roads, parking areas or storm water treatment basins. As the access drives and parking areas are paved, storm water runoff will be an input to the existing hydrology, through some minor overland flow, but mostly through the storm water basins, as ground water recharge or as direct discharge during significant storm events after treatment.

#### **Water quality:**

Due to the incorporation of the paved parking surfaces, stone water quality trenches, storm water treatment basins, and some direct infiltration of storm water in the well-drained, sandy, gravelly soils, I see no significant or adverse impacts to the existing water quality of the wetlands from storm water discharges.

#### **Adjacent upland wildlife habitat**

Potential long term impacts to the upland habitat from the project would include the loss of a significant portion of the URA serving as riparian zones and upland wildlife habitat adjacent to the wetlands. This intrusion will force wildlife into the narrow vegetated corridor in and around the wetlands during and after the construction timeframe, and into other areas where the uplands are not disturbed. However, because this vegetated wildlife corridor is not proposed to be totally cleared and still exists in minimal widths in some areas, the wetlands and adjacent riparian zone will still provide for some wetland function and wildlife habitat.

It is my opinion that the proposed 4,000 square foot wetland mitigation will help compensate for these impacts to the upland/riparian habitat.

In summary, the design of the project implements features intended to minimize or eliminate potential impacts to the wetlands such as storm water runoff, significant loss of wetland habitat, and erosion and sedimentation associated with construction activities.

I feel these proposed measures are adequate to protect the wetlands provided that the recommended erosion and sedimentation control features are implemented and maintained throughout the excavation and reclamation timeframe.

The construction of the proposed 4,000 square foot wetland mitigation will assist in the remaining wetlands ability to provide the same wetland functions and values they currently provide.

If you have any questions concerning the site assessment or this report, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "J. R. Theroux", written in a cursive style.

Joseph R. Theroux  
Certified Forester and Soil Scientist  
Member SSSSNE, NSCSS, SSSA



# PROPOSED PARKING EXPANSION

## “VACHON CHEVROLET”

PROVIDENCE ROAD (ROUTE 6)  
BROOKLYN, CONNECTICUT

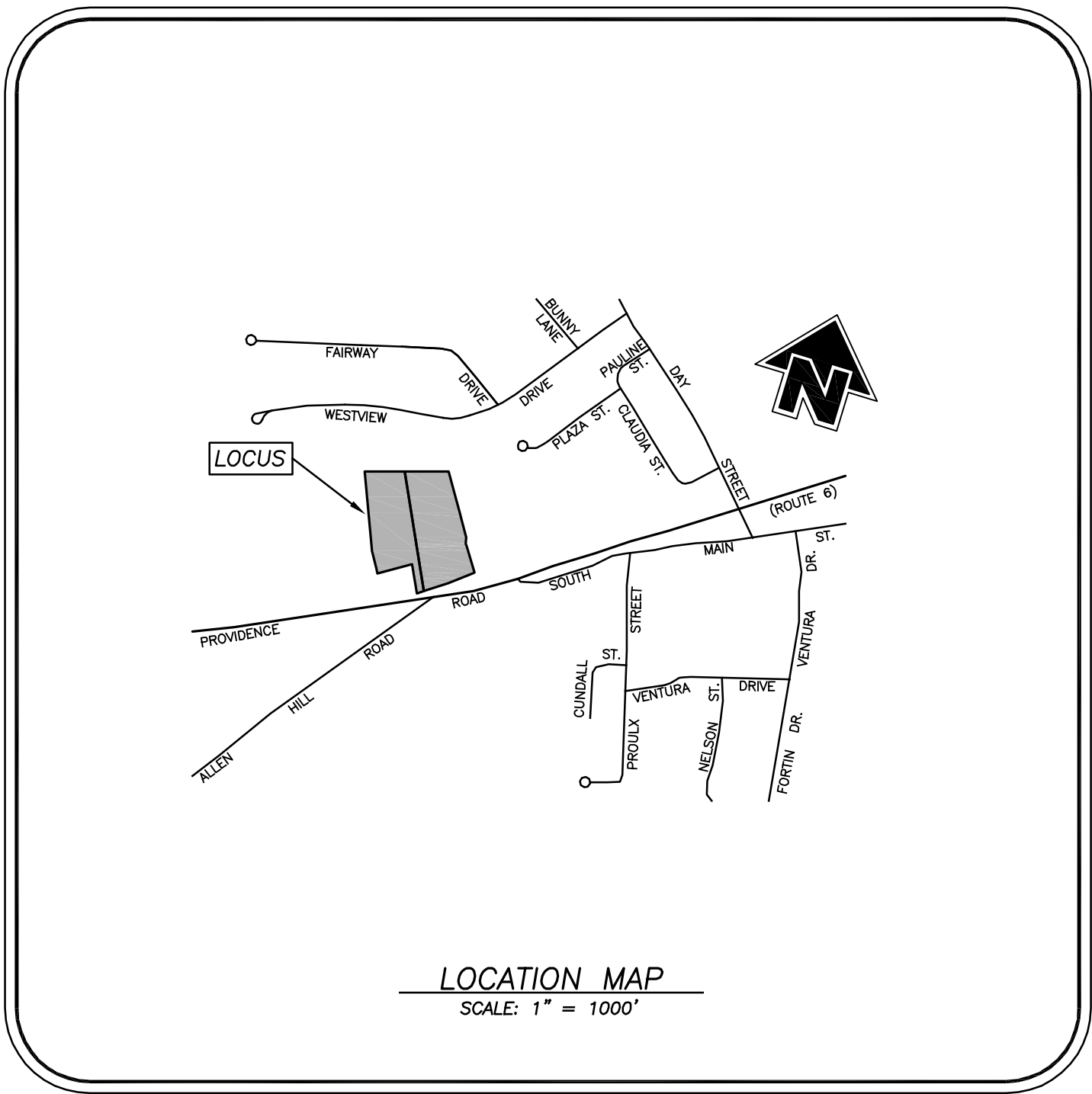
PREPARED FOR:  
VACHON BROOKLYN, LLC

### CONSTRUCTION NOTES/GENERAL PROVISIONS

- The locations of existing utilities are based upon visible field observations, record mapping and interviews with the property owner and abutting property owners. They are shown for informational purposes only. Contractor shall coordinate exploratory test hole excavation with the Engineer if necessary to verify and/or determine actual locations of some utilities & structures. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.
- All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
- All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 816", and supplements thereto.
- The Contractor shall obtain copies of all regulatory agency permits from the Owner prior to any site disturbance.
- Unless otherwise noted on the plans, the contractor shall use the geometry provided on the construction plans. Benchmark information shall be provided to the contractor by the Owner or the Owner's surveyor. Any discrepancies between field measurements and construction plan information shall be brought to the attention of the Engineer or Surveyor immediately.
- The Contractor shall not revise elevations or locations of items shown on the plans without written consent of the project Engineer or Surveyor.
- The Contractor shall protect benchmarks, property corners, and other survey monuments from damage or displacement. If a marker needs to be removed, it shall be referenced by a licensed land surveyor and replaced as necessary by the same.
- The Contractor shall be responsible for preparing and compacting base for proposed pavement. Owner shall provide general fill to establish subgrade - contractor shall spread and compact. Contractor shall provide, spread and compact required processed aggregate
- The entire project site shall be thoroughly cleaned at the completion of the work. Clean all installed paved areas, accumulated silt and sediment, plus all adjacent areas affected by the construction activities as directed by the Owner or the jurisdictional Agency.

### LEGEND

●	IRON PIN TO BE SET
○	IRON PIN FOUND
□	CONCRETE MONUMENT FOUND
CHD	CHD MONUMENT POINT
FNT	SIGN
4	UTILITY POLE
CB	CATCH BASIN
MH	MANHOLE
SMH	SANITARY SEWER MANHOLE
W	INLAND WETLANDS FLAG
100	EXISTING CONTOURS
100	PROPOSED CONTOURS
---	SILT FENCE



### INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 5
EXISTING CONDITIONS MAP	2 OF 5
SITE DEVELOPMENT PLAN 1	3 OF 5
SITE DEVELOPMENT PLAN 2	4 OF 5
DETAIL SHEET	5 OF 5

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CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

PREPARED BY:

REVISIONS		Killingly Engineering Associates Civil Engineering & Surveying
DATE	DESCRIPTION	
3/10/2020	PER SOIL SCIENTIST & STAFF	 114 Westcott Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7299 www.killinglyengineering.com

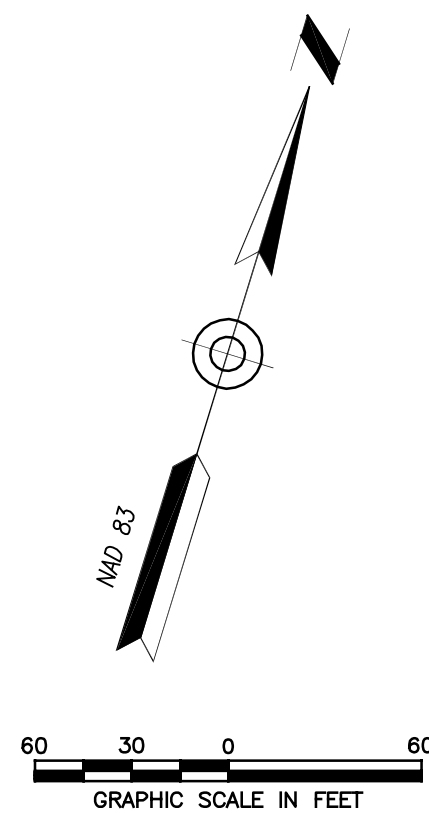
**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

APPROVED BY THE BROOKLYN PLANNING AND ZONING COMMISSION	
CHAIRMAN	DATE
Expiration date per Sec. 8.26C, Connecticut General Statutes: _____	

ENDORSED BY THE BROOKLYN INLAND WETLANDS COMMISSION	
CHAIRMAN	DATE

JANUARY 2020

NORMAND THIBEAULT, JR., P.E. No. 22834	
DATE	



CURVE DATA		
C1 R = 5680.00' D = 1°45'30" L = 174.32' CH = S 71°56'28" W 174.32'	C2 R = 5680.00' D = 0°30'33" L = 50.48' CH = S 73°04'30" W 50.48'	C3 R = 5680.00' D = 2°15'41" L = 224.18' CH = S 74°27'37" W 224.16'

LINE DATA	
L1	N 14°49'40" W 34.19'
L2	S 06°00'57" W 43.34'
L3	S 23°24'09" E 17.56'
L4	S 68°21'47" W 89.41'

#### MAP REFERENCES:

- "Connecticut State Highway Department - Right of Way Map - Town of Brooklyn - Brooklyn-Danielson Road - From the Old Pomfret Road - Easterly About 12,000 Feet - Route U.S.6. - Scale: 1" = 40', Date: June 29, 1934 - Number 19-06 - Sheet No. 4 of 4."
- "Town of Brooklyn - Map Showing Land & Easement Acquired By - The State of Connecticut - From - Mildred Chase Hopkins - Relocation of Route U.S. 6 - Scale: 1" = 40' - Date: June 1953 - Town No. 19 - Project No. 43 - Serial No. 1 - Sheet 1 of 1 - Prepared by: Ernest T. Perkins." On file in the Brooklyn Land Records as Map Book 2 Page 98.
- "Boundary Survey - property of - Stephen Castle - Route 6, Brooklyn, Conn. - Scale: 1" = 40' - Date: July 30, 1964 - Sheet 1 of 1 Prepared by: Morton S. Fine & Associates." On file in the Brooklyn Land Records as Map Book 3 Page 52.
- "Map Showing Portion of Land of - Stephen Castle - Brooklyn, Connecticut - Scale: 1" = 20' - Date: March 19, 1982 - Prepared By: Thomas A. Brennan, Jr." On file in the Brooklyn Land Records as Map Book 7 Page 18.
- "Subdivision Map - Prepared for - Gary D. Kuchy - Westview Drive Brooklyn, Connecticut - Scale: 1" = 80' - Date: June 16, 1999 Revised to: 11/1/99 - Sheet 1 of 11 - Prepared by: J&D Civil Engineers and Provost Rovero Fitzback." On file in the Brooklyn Land Records.
- "Boundary Survey - Property of Gertrude M. Markley - Providence Road - Route 6 - Brooklyn, Connecticut - Scale: 1" = 40' - Date: Nov, 2002 - Sheet No. 1 - prepared by: Archer Surveying, LLC." On file in the Brooklyn Land Records as Map Book 15 Page 90.
- "Improvement Location Survey - Prepared for - Premier Chevrolet 512 Providence Road (Route 6) - Brooklyn, Connecticut - Scale: 1" = 50' - Date: 10/12/2011 - Sheet 1 of 1 - Prepared by: Killingly Engineering Associates." On file in the Brooklyn Land Records.
- "Property Survey - Property Line Relocation - Prepared for KCT Properties, LLC - Route #6 (Providence Road) - Brooklyn, Connecticut - Scale: 1" = 20' - Date: October 2016 - Revised to: 1/5/2017 - Sheet No. 1 of 1 - Prepared by: PC Survey Associates." On file in the Brooklyn Land Records.

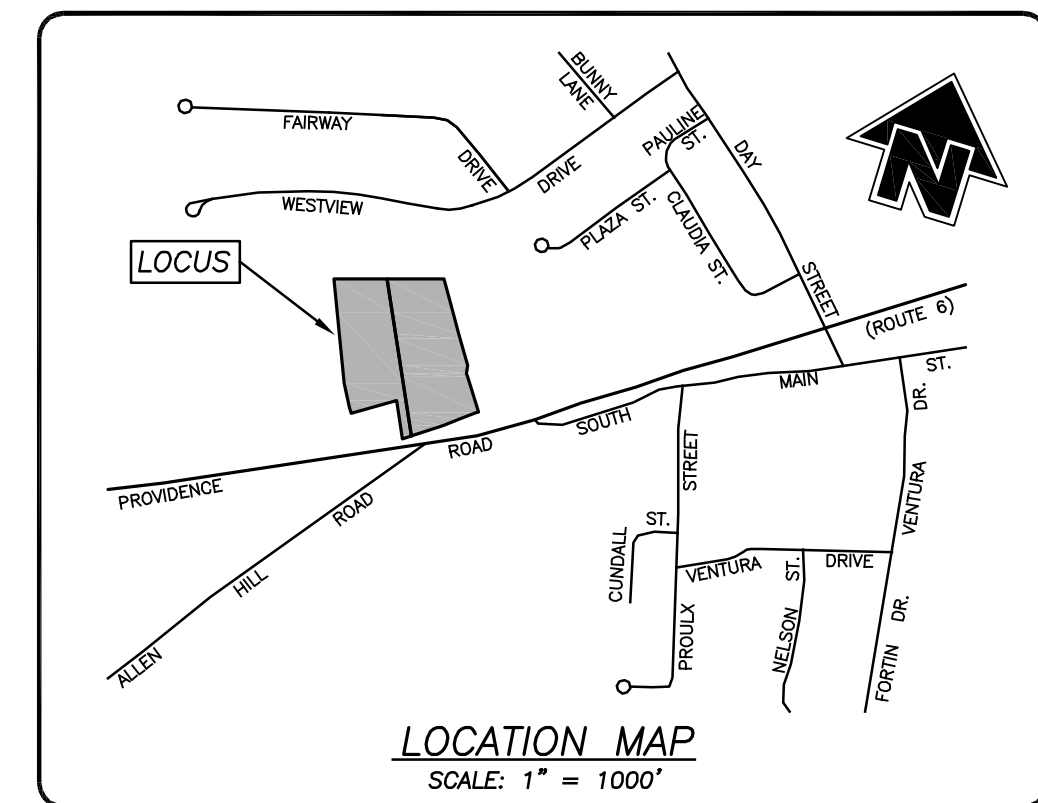
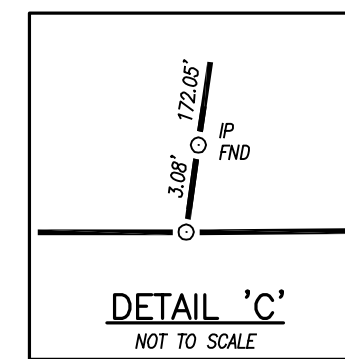
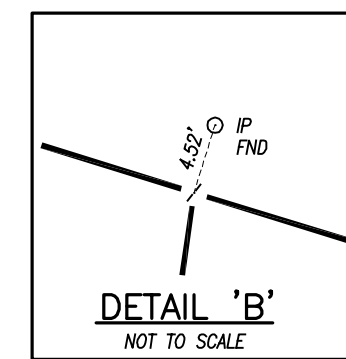
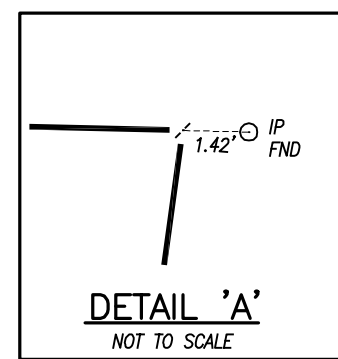
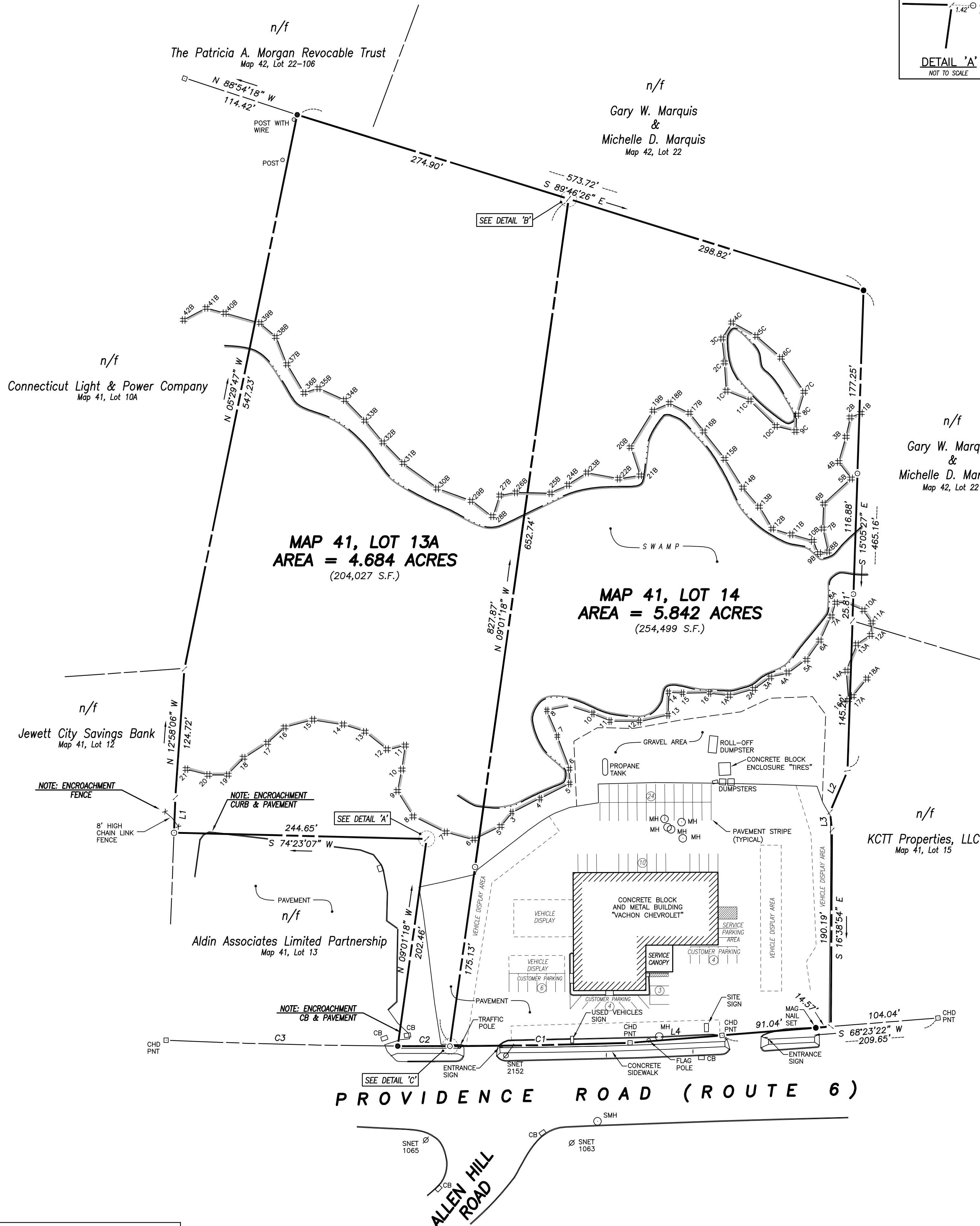
APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

Expiration date per Sec. 8.26C,  
Connecticut General Statutes: \_\_\_\_\_

ENDORSED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



#### LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- CONCRETE MONUMENT FOUND
- CHD PNT CHD MONUMENT POINT
- ⊕ SIGN
- ⊗ UTILITY POLE
- CB CATCH BASIN
- MH MANHOLE
- SMH SANITARY SEWER MANHOLE
- INLAND WETLANDS FLAG

#### NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category: Dependent Resurvey.
- Zone = PC.
- Owner of record:
  - Map 41, Lot 14 = Vachon Brooklyn, LLC  
957 Washington St., Attleboro, MA 02703  
Volume 620, Page 163
  - Map 41, Lot 13A = Vachon Brooklyn, LLC  
957 Washington Street, Attleboro, MA 02703  
Volume 632, Page 114
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, in September 2019.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from actual field measurements of CGS Random Points B9262 and B9264.

REVISIONS	
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS
DATE	DESCRIPTION

#### IMPROVEMENT LOCATION SURVEY SHOWING EXISTING CONDITIONS PREPARED FOR

VACHON BROOKLYN, LLC

PROVIDENCE ROAD (ROUTE 6)  
BROOKLYN, CONNECTICUT



Killingly Engineering Associates  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: NET
SHEET: 2 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. No. 70191 DATE \_\_\_\_\_

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.





### LEGEND

- NOTES:

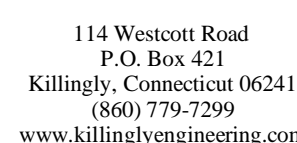
- IMPROVEMENT LOCATION SURVEY  
SITE DEVELOPMENT PLAN No. 1

PREPARED FOR

VACHON BROOKLYN, LLC

512 PROVIDENCE ROAD (ROUTE 6)  
BROOKLYN, CONNECTICUT

**Killingly Engineering Associates**  
*Civil Engineering & Surveying*



DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 3 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
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APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

Expiration date per Sec. 8.26C,  
Connecticut General Statutes: \_\_\_\_\_

ENDORSED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

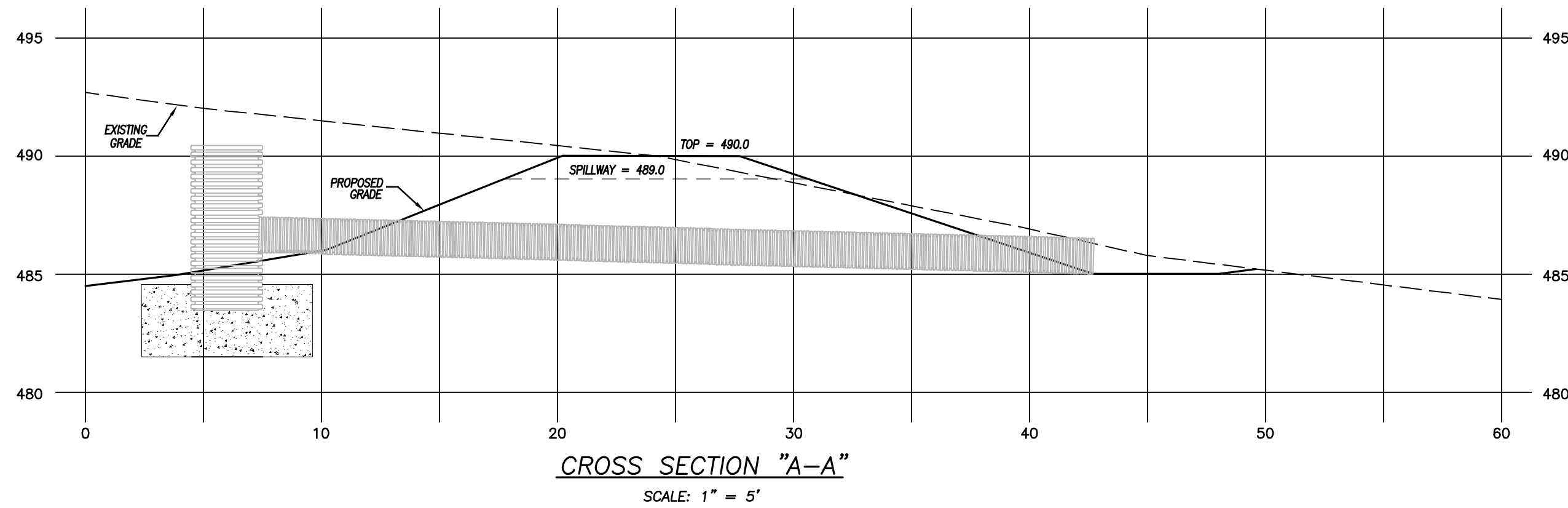
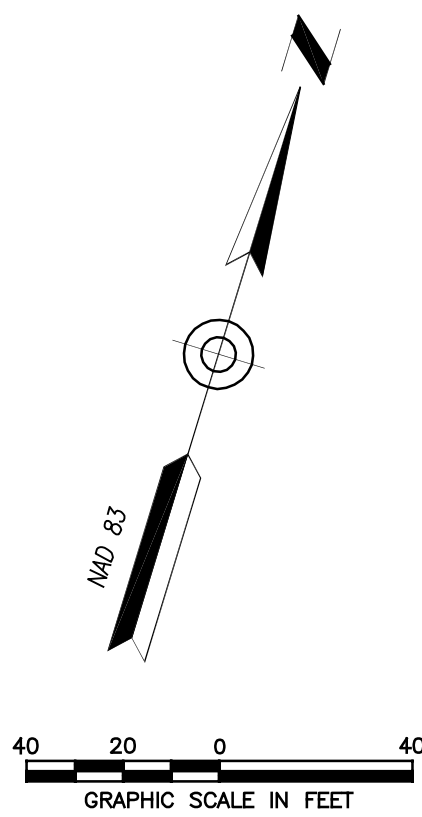
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CHAIRMAN

DATE

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**DIAL 811 OR 1-800-922-4455**

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	MATURE HEIGHT
	<i>Juniperus scopolorum</i>	Moonglow Juniper	18	5'	16'-20'
Exceptionally showy, silvery blue foliage and broad pyramidal form makes a most attractive screen. A tough plants with dense branching that grows to 20' tall.					
	<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum	17	3'-4'	6'-10'
This evergreen Viburnum (most are deciduous) has this olive green leaves that form a great green wall for screening. White fragrant flowers in the spring followed by red berries in the fall that provide food for birds.					
	<i>Acer rubrum</i>	Red Maple	5	3" Caliper	60'-80'

CURVE DATA		
C1 R = 5680.00' D = 1°45'30" L = 174.32' CH = S 71°56'28" W 174.32'	C2 R = 5680.00' D = 0°30'33" L = 50.48' CH = S 73°04'30" W 50.48'	C3 R = 5680.00' D = 2°15'41" L = 224.18' CH = S 74°27'37" W 224.18'

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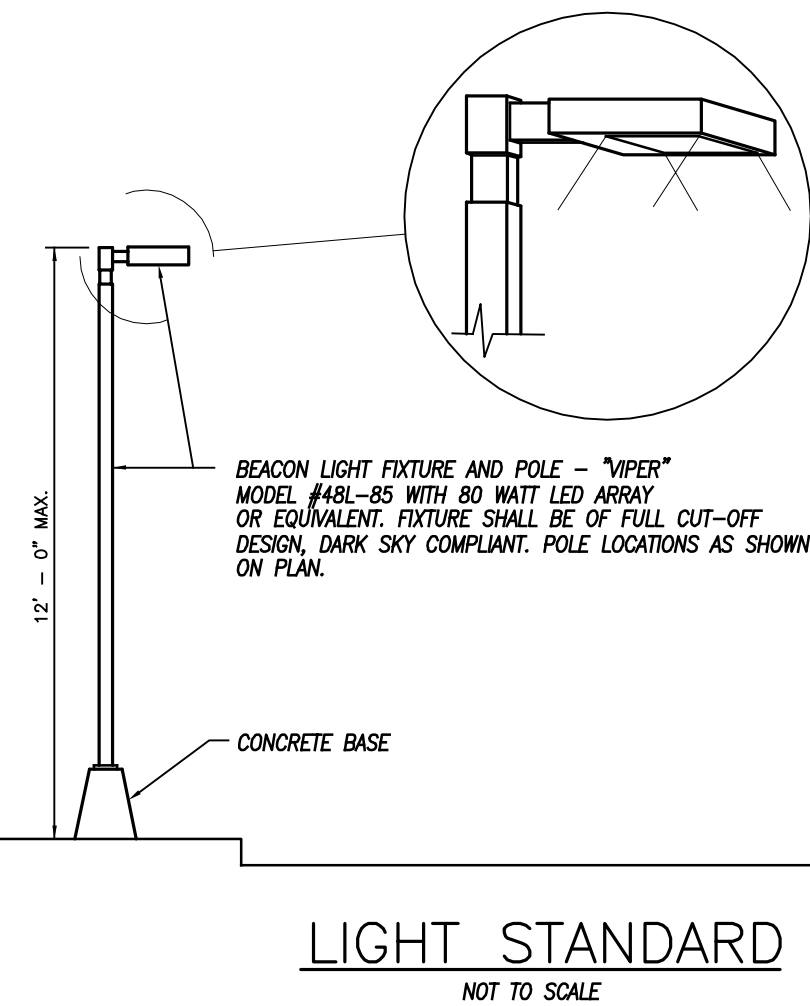
#### NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Topographic features conform to a Class "1-2", "V-2" vertical accuracy.
  - Survey Type: Improvement Location Survey.
- Zone = PC.
- Owner of record:
  - Map 41, Lot 14 = Vachon Brooklyn, LLC  
957 Washington St., Attleboro, MA 02703  
Volume 620, Page 163
  - Map 41, Lot 13A = Vachon Brooklyn, LLC  
957 Washington St., Attleboro, MA 02703  
Volume 632, Page 114
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, in September 2019.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from actual field measurements of CGS Random Points B9262 and B9264.
- Elevations shown are based on an assumed datum. Contours shown are taken from actual field survey. Contour interval = 2'.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

DATE	DESCRIPTION
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS
DATE	REVISIONS

IMPROVEMENT LOCATION SURVEY  
SITE DEVELOPMENT PLAN No. 2  
PREPARED FOR  
**VACHON BROOKLYN, LLC**  
512 PROVIDENCE ROAD (ROUTE 6)  
BROOKLYN, CONNECTICUT

<b>Killingly Engineering Associates</b> Civil Engineering & Surveying 114 Westcott Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7299 www.killinglyengineering.com	
DATE: 1/07/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 4 OF 5	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 19129



#### NOTES:

- PROVIDE JUTE NETTING OVER TOPSOIL & SEED MIX IN BASIN TO STABILIZED SLOPES.
- NO SALTS OR CHEMICAL APPLICATIONS SHALL BE USED FOR SNOW AND ICE REMOVAL IN PROPOSED PARKING AREAS.

n/f  
Connecticut Light & Power Company  
Map 41, Lot 10A

**MAP 41, LOT 13A**  
**AREA = 4.684 ACRES**  
(204,027 S.F.)

**MAP 41, LOT 14**  
**AREA = 5.842 ACRES**  
(254,499 S.F.)  
WATER ELEVATION = 482.0 (12/28/2019)

SEE SITE DEVELOPMENT PLAN No. 1

APPROVED BY THE BROOKLYN  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

Expiration date per Sec. 8.26C,  
Connecticut General Statutes: \_\_\_\_\_

ENDORSED BY THE BROOKLYN INLAND  
WETLANDS COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

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**DIAL 811 OR 1-800-922-4455**

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE \_\_\_\_\_

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE \_\_\_\_\_

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.



EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

- Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
- U.S.D.A. N.R.C.S. Web Soil Survey.

DEVELOPMENT CONTROL PLAN:

- Development of the site will be performed by the Contractor, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
- The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Brooklyn will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
- All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
- Dust control will be accomplished by spraying with water. The application of calcium chloride is not permitted adjacent to wetland resource areas or within 100' of these areas.
- The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
- Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

- Dig a 6" deep trench on the uphill side of the barrier location.
- Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
- Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
- Inspect and repair barrier after heavy rainfall.
- Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
- Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the Inland wetlands commission.
- Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

- Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
- Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
- Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
- Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
- Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, disking, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

- Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
- Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
- Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
- Inspect seedbed before seeding. If traffic has compacted the soil, retilt compacted areas.
- Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
- Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

DEVELOPMENT SCHEDULE/SEQUENCE OF OPERATIONS:

- Flag the limits of disturbance and schedule pre-construction meeting with Town of Brooklyn wetlands Agent.
- Install the anti-tracking construction entrance.
- Install temporary logging crossing (corduroy crossing or slash mat) in the area of the wetlands crossing to allow for logging access.
- Cut trees within the defined clearing limits and remove the cut wood.
- Install perimeter erosion and sedimentation controls in accordance with the site development plan.
- Excavate for proposed stormwater basin; area shall be utilized for a temporary sedimentation basin during construction.
- Chip brush and slash; stockpile chips for use on site or remove off site.
- When all logging activities have been completed, remove temporary crossing and install proposed pipes; counter sink pipes a minimum of 12" and fill bottoms with native material.
- Box out areas to be paved and stockpile topsoil in locations shown on the plans. Install erosion controls around stockpiles and apply temporary seeding and divert water around the perimeter of the stockpiles.
- Install and compact processed gravel for driveway and parking area base.
- Remove tree stumps and dispose of at an approved disposal site. Alternatively, stumps may be chipped in place. No stumps shall be buried on site.
- Make all required cuts and fills. Establish the subgrade for the driveway as required and install additional erosion controls as necessary and as shown on the plans.
- Inspect perimeter erosion and sedimentation controls weekly and after rain events in excess of 0.5". Repair any damaged controls and provide additional erosion control devices as necessary to address areas of concentrated runoff that may develop as a result of the construction activities. The contractor shall review discharge conditions with the design engineer or the Town of Brooklyn prior to installing additional erosion controls. Apply water as necessary for dust control.
- Install required utilities.
- Prepare sub-base for driveway and remainder of the parking areas for final grading.
- Remove anti-tracking construction entrance and install first course of pavement.
- When the remainder of the site work is near completion, sweep all paved areas for the final course of paving. Inspect erosion controls and remove any accumulated sediment. Clean accumulated sediment from the stormwater basin, apply topsoil & seed, and cover with jute netting.
- Install final course of pavement upon the completion of the final structure.
- Fine grade, rake, seed and mulch to within 2' of the pavement.
- Remove and dispose of all silt fence and hay bales after the site has been stabilized to the satisfaction of the Town of Brooklyn.

RESPONSIBLE PARTY FOR E&S MAINTENANCE:

Joe Simon  
Vachon Chevrolet  
512 Providence Road  
Brooklyn, CT 06234  
(401) 692-1459

WETLAND SEED MIX FOR WETLANDS MITIGATION

The New England Wetmix (Wetland Seed Mix) contains a wide variety of native seeds that are suitable for most wetland restoration sites that are not permanently flooded. All species are best suited to moist ground as found in most wet meadows, scrub shrub, or forested wetland restoration areas. The mix is well suited for detention basin borders and the bottom of detention basins not generally under standing water. The seeds will not germinate under inundated conditions. If planted during the fall months, the seed mix will germinate the following spring. During the first season of growth, several species will produce seeds while other species will produce seeds after the second growing season. Not all species will grow in all wetland situations. This mix is comprised of the wetland species most likely to grow in created/restored wetlands and should produce more than 75% ground cover in two full growing seasons.

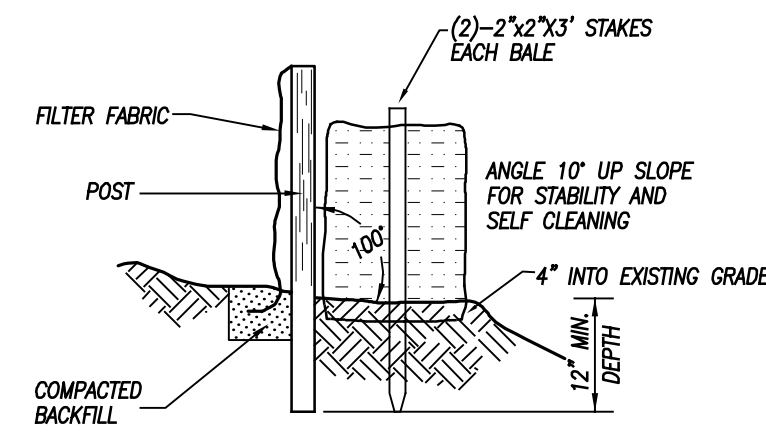
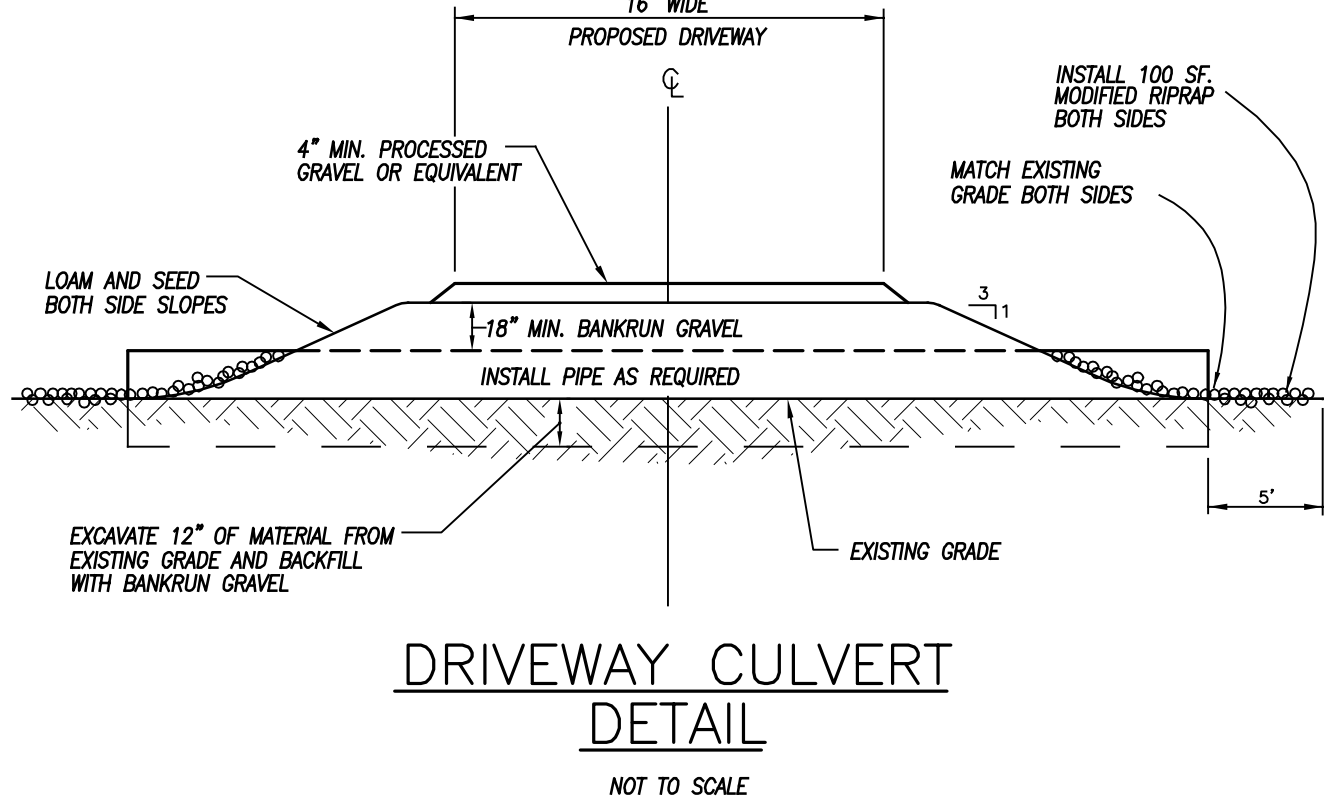
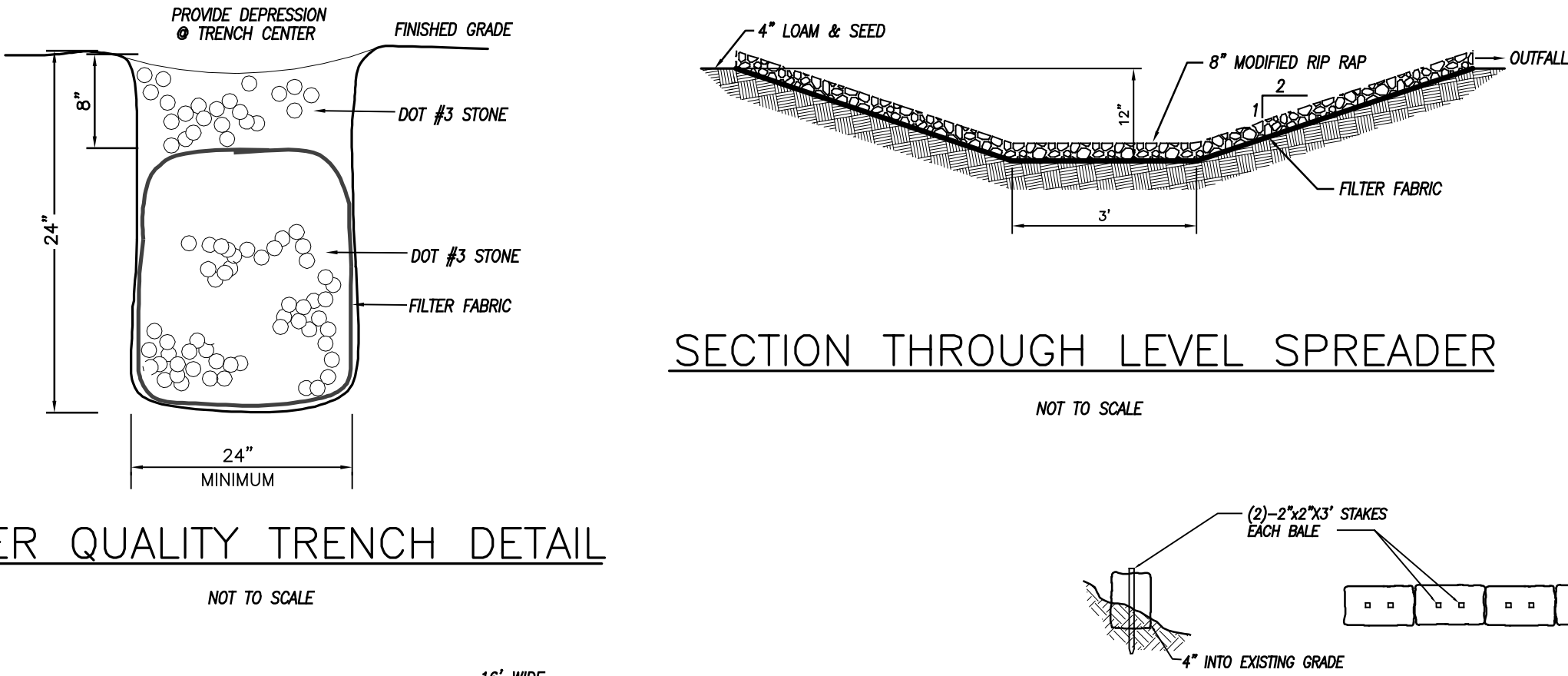
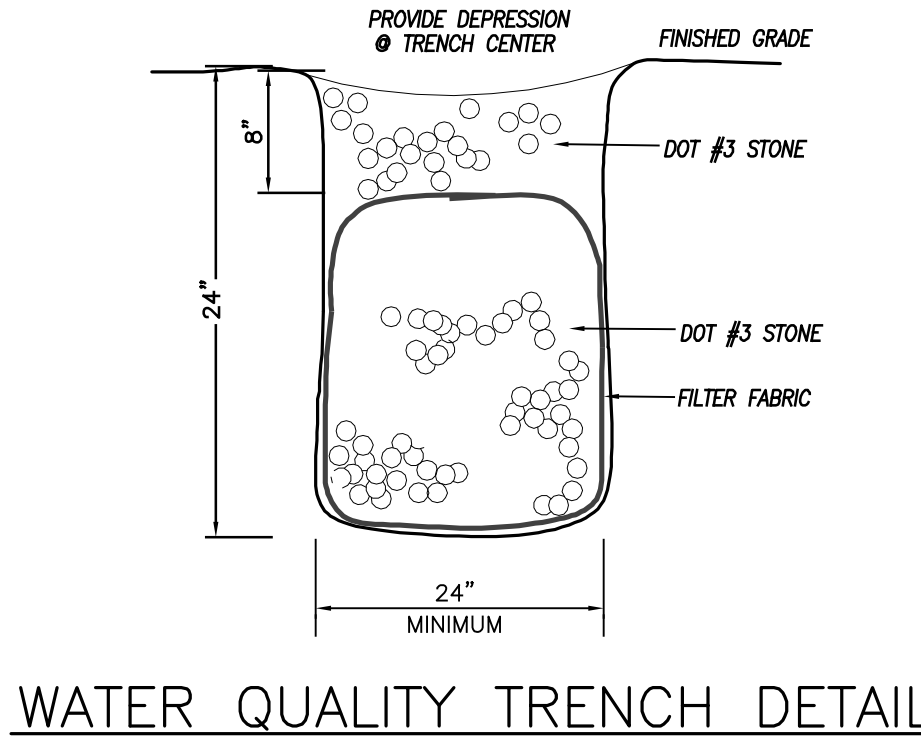
The wetland seeds in this mix can be sown by hand, with a hand-held spreader, or hydro-seeded on large or hard to reach sites. Lightly rake to insure good seed-to-soil contact. Seeding can take place on frozen soil, as the freezing and thawing weather of late fall and late winter will work the seed into the soil. If spring conditions are drier than usual watering may be required. If sowing during the summer months supplemental watering will likely be required until germination. A light mulch of clean, weed free straw is recommended.

APPLICATION RATE: 1 LB/2500 sq. ft

SPECIES: Fox Sedge, (Carex vulpinoidea), Lurid Sedge, (Carex lurida), Blunt Broom Sedge, (Carex scoparia), Sensitive Fern, (Onoclea sensibilis), Blue Vervain, (Verbena hastata), Hop Sedge, (Carex lupulina), Green Bulrush, (Scirpus atrovirens), Nodding Bur Marigold, (Bidens cer-nua), Bristly Sedge, (Carex comosa), Fringed Sedge, (Carex crinita), American Mannagrass, (Glyceria grandis), Wool Grass, (Scirpus cyperinus), Soft Rush, (Juncus effusus), Spotted Joe Pye Weed, (Eupatorium maculatum), Boneset, (Eupatorium perfoliatum), Mud Plantain, (Alisma subcordatum), New England Aster, (Aster novae-angliae), Rattlesnake Grass, (Glyceria canadensis), Purplestem aster (Aster puniceus), Soft Stem Bulrush, (Scirpus validus), Blueflag (Iris versicolor), Swamp Milkweed, (Asclepias incarnata), Monkey Flower, (Mimulus ringens). The functionality of each mix will remain unchanged, although mix composition may vary during the year.

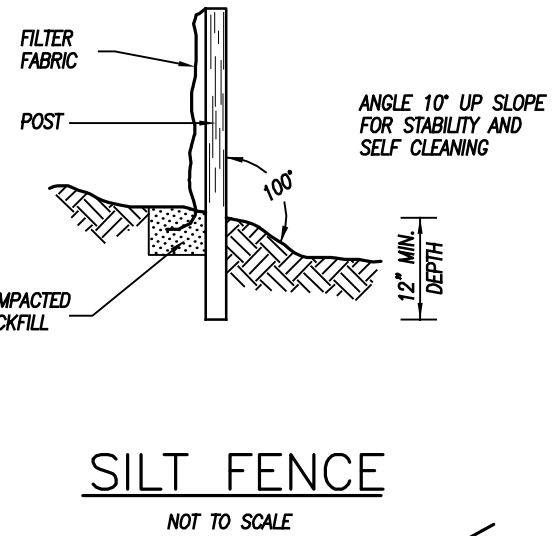
CONSTRUCTION NOTES/GENERAL PROVISIONS

- The locations of existing utilities are based upon visible field observations, record mapping and interviews with the property owner and abutting property owners. They are shown for informational purposes only. Contractor shall coordinate exploratory test hole excavation with the Engineer if necessary to verify and/or determine actual locations of some utilities & structures. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.
- All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
- All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 817", and supplements thereto.
- The Contractor shall obtain copies of all regulatory agency permits from the Owner prior to any site disturbance.
- Unless otherwise noted on the plans, the contractor shall use the geometry provided on the construction plans. Benchmark information shall be provided to the contractor by the Owner or the Owner's surveyor. Any discrepancies between field measurements and construction plan information shall be brought to the attention of the Engineer or Surveyor immediately.
- The Contractor shall not revise elevations or locations of items shown on the plans without written consent of the project Engineer or Surveyor.
- The Contractor shall protect benchmarks, property corners, and other survey monuments from damage or displacement. If a marker needs to be removed, it shall be referenced by a licensed land surveyor and replaced as necessary by the same.
- The Contractor shall be responsible for preparing and compacting base for proposed pavement. Owner shall provide general fill to establish subgrade - contractor shall spread and compact. Contractor shall provide, spread and compact required processed aggregate.
- The entire project site shall be thoroughly cleaned at the completion of the work. Clean all installed paved areas, accumulated silt and sediment, plus all adjacent areas affected by the construction activities as directed by the Owner or the jurisdictional Agency.



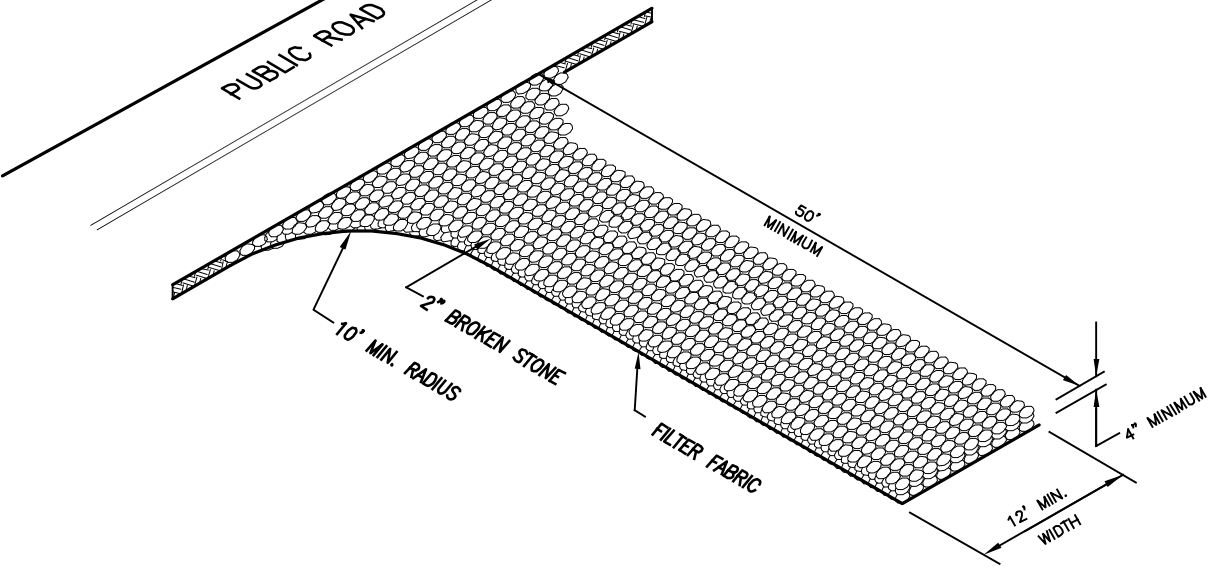
SILT FENCE - BACKED WITH HAYBALES

NOTE: SUPER SILT FENCE MAY BE UTILIZED IN LIEU OF SILT FENCE BACKED WITH STAKED HAYBALES OR WOOD CHIP BERMS MAY BE SUBSTITUTED FOR STAKED HAYBALES



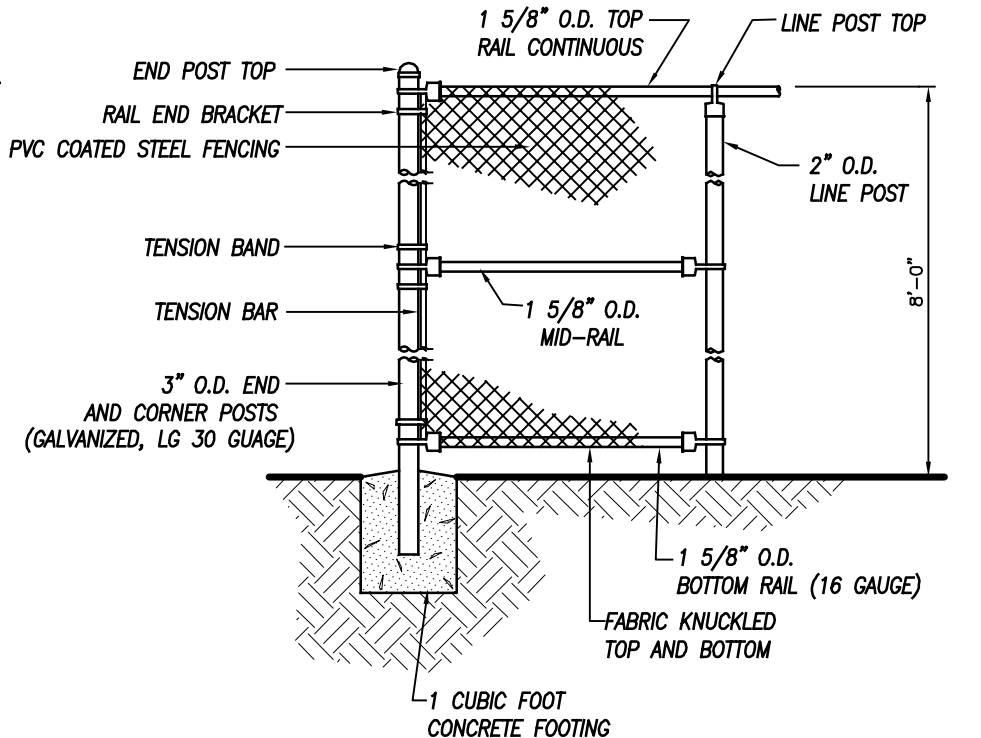
SILT FENCE

NOT TO SCALE



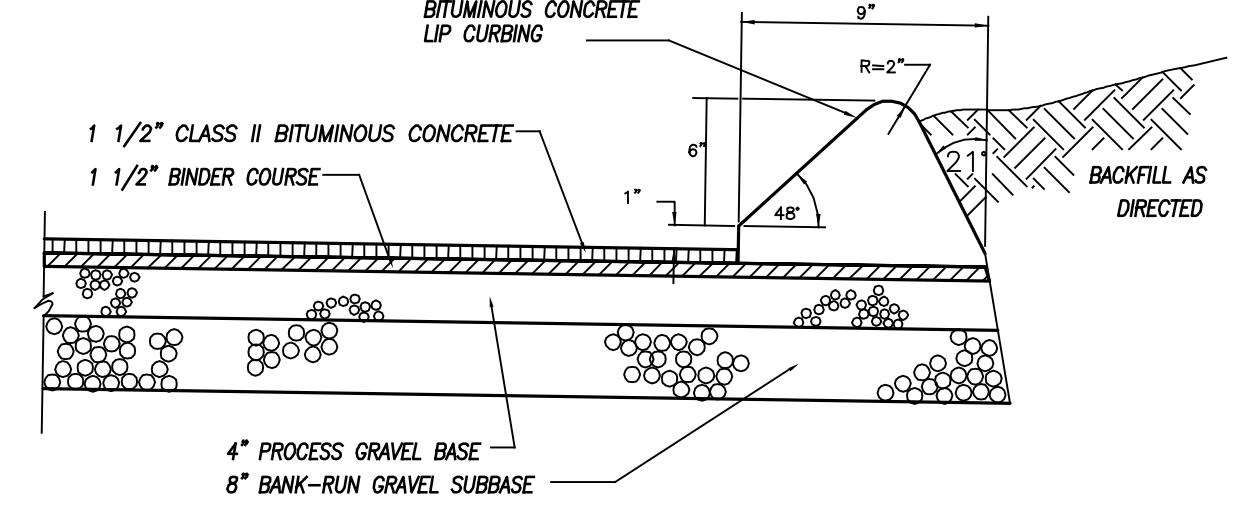
CONSTRUCTION ENTRANCE

NOT TO SCALE



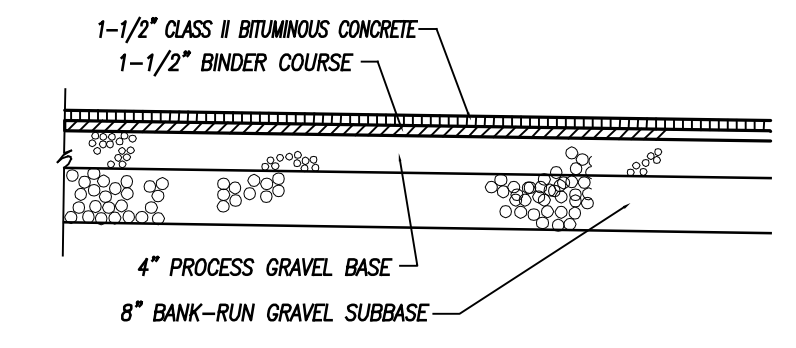
HAYBALE BARRIER

NOT TO SCALE



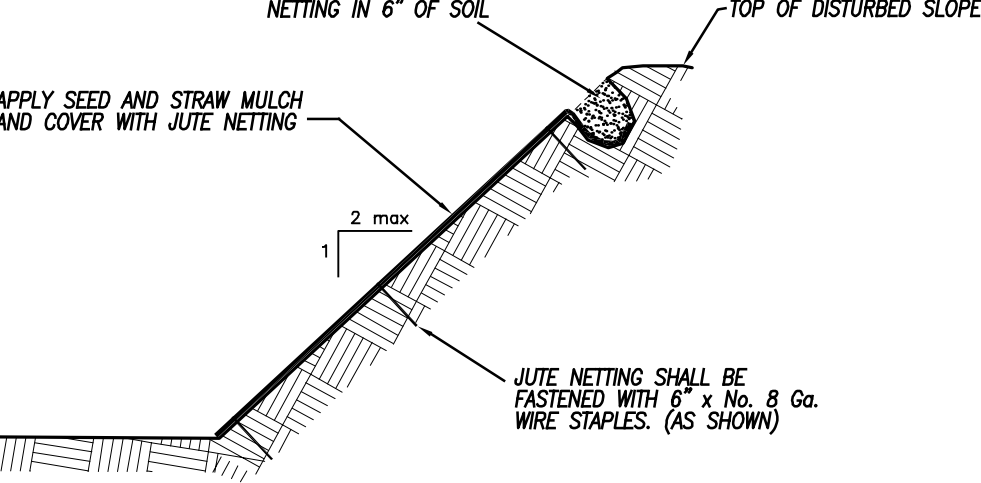
BITUMINOUS CONCRETE LIP CURBING

NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE



SLOPE STABILIZATION DETAIL

NOT TO SCALE

DATE	DESCRIPTION
03/31/2020	PER NECCOG REVIEW
03/10/2020	PER SOIL SCIENTIST REPORT & STAFF COMMENTS
DATE	REVISIONS

DETAIL SHEET

PREPARED FOR

VACHON BROOKLYN, LLC

PROVIDENCE ROAD (ROUTE 6)  
BROOKLYN, CONNECTICUT



DATE: 1/07/2020	DRAWN: AMR
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 5 OF 5	CHK BY: ---
DWG. NO: CLIENT FILE	JOB NO: 19129

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

# VIPER S

## STRIKE

SMALL VIPER LUMINAIRE

Cat.#

Job

Type

Approvals



**BEACON**  
design · performance · technology

### SPECIFICATIONS

#### Intended Use:

The Beacon Viper luminaire is available with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 400W MH or HPS.

#### Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

#### Electrical:

- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input.
- Power factor is  $\geq .90$  at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Surge protection - 20kA.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

#### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

#### Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

#### Certifications/Ratings:

- Certified to UL 1598, UL 8750 and CSA C22.2 No.250.0
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: <http://www.beaconproducts.com/products/vipersmall>

#### Warranty:

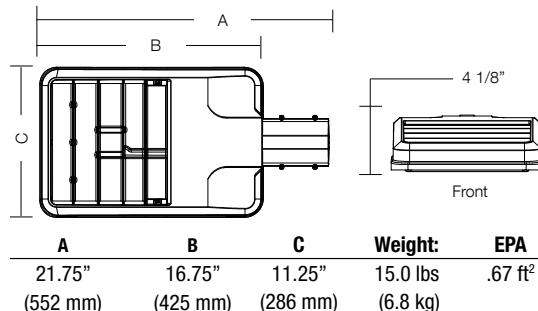
Five year limited warranty for more information visit: [www.hubbellighting.com/resources/warranty](http://www.hubbellighting.com/resources/warranty)

### PRODUCT IMAGE(S)

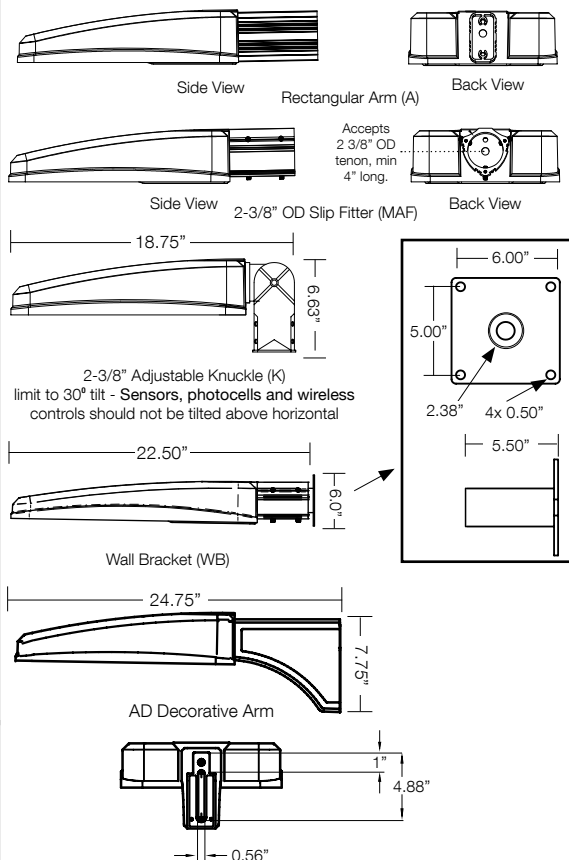


Turtle Friendly

### DIMENSIONS



### MOUNTING OPTIONS



### CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only



Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 864.678.1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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# ORDERING INFORMATION ORDERING EXAMPLE: VPS/24L-45/AM/4W/UNV/A/DBT/BC

SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS
VPS Viper	<b>24L-45</b> 45W, LED array <b>36L-65</b> 65W, LED array <b>48L-85</b> 80W, LED array <b>60L-105</b> 105W, LED array	<b>AM</b> Amber  <b>DISTRIBUTION</b> <b>FR</b> Type 1/Front Row <b>2</b> Type 2 <b>3</b> Type 3 <b>4F (formerly 4)</b> Type 4 <b>4W</b> Type 4 Wide <b>5QM</b> Type 5QM <b>5R</b> Type 5R (rectangular) <b>5W</b> Type 5W (round wide) <b>TC</b> Tennis Court	Leave blank for no rotation <b>L</b> <sup>1</sup> Optic rotation left <b>R</b> <sup>1</sup> Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured <b>COLOR OPTION</b> <b>CC</b> Custom Color	<b>CD</b> Continuous Dimming <b>F</b> Fusing <b>BSP</b> Bird Spikes <b>BC</b> Backshield (available for FR, 2, 3, 4, 4W Optics) <b>TB</b> Terminal Block

## HOUSE SIDE SHIELD ACCESSORIES

**HSS/VP-S/90-FB/XXX** 90° shield front or back  
**HSS/VP-S/90-LR/XXX** 90° shield left or right  
**HSS/VP-S/270-FB/XXX** 270° shield front or back  
**HSS/VP-S/270-LR/XXX** 270° shield left or right  
**HSS/VP-S/360/XXX** Full shield

(Replace XXX with notation for desired finish color)  
 (Refer to page 5 for shield images)

## MOUNTING ACCESSORIES

**VPL-AD-RPA3** 2.4"-4.1" Round Pole Adapter for AD arm  
**VPL-AD-RPA4** 4.2"-5.3" Round Pole Adapter for AD arm  
**VPL-AD-RPA5** 5.5"-5.9" Round Pole Adapter for AD arm  
**VPL-AD-RPA6** 6.0"-6.5" Round Pole Adapter for AD arm

## MOUNTING

**A** Rectangular Arm (formerly RA) for square or round pole  
**MAF** Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm  
**K** Knuckle (formerly PK2) limit to 45° tilt or 2-3/8" OD horizontal arm or vertical tenon  
**WB** Wall Bracket  
**AD** Universal Arm for square pole  
**AD3** Universal Arm for 2.4"-4.1" round pole  
**AD4** Universal Arm for 4.2"-5.3" round pole  
**AD5** Universal Arm for 5.5"-5.9" round pole  
**AD6** Universal Arm for 6.0"-6.5" round pole

## CONTROL OPTIONS

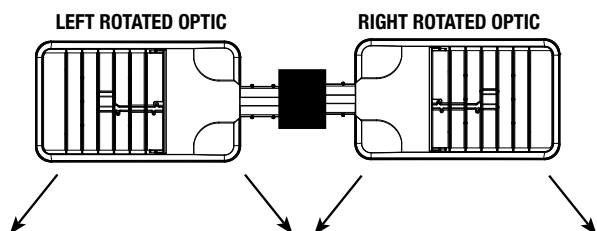
**7PR** 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others)  
**7PR-SC** 7-Pin Receptacle w/Shorting Cap  
**7PR-TL** 7-Pin Receptacle w/Twist Lock photo control

<sup>1</sup> Only available with 1A, 2, 3, 4, 4W and 5R distributions

**PRECOMMISSIONED SITESYNC ORDERING INFORMATION:** When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [www.hubbell-automation.com/products/sitesync/](http://www.hubbell-automation.com/products/sitesync/) or contact Hubbell Lighting tech support at 864-678-1000.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VPS/24L-55/4K7/3/UNV/A/DBT/SWP/ SiteSync only  
 VPS/24L-55/4K7/3/UNV/A/DBT/SWPM-40F/ SiteSync with Motion Control



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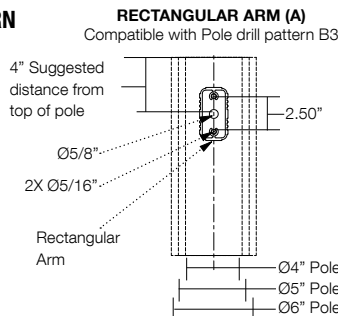
**PERFORMANCE DATA**

# LED'S	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
			LUMENS	LPW <sup>1</sup>	B	U	G
24	45W	FR	1238	28	0	0	0
		2	1194	27	0	0	0
		3	1171	26	0	0	1
		4	1152	26	0	0	0
		4W	1127	25	0	0	1
		5QM	1173	26	1	0	0
		5R	1181	26	1	0	1
		5W	1260	28	1	0	0
		TC	1204	27	0	0	0
36	65W	FR	1857	29	0	0	0
		2	1791	28	0	0	0
		3	1757	27	0	0	1
		4	1728	27	0	0	1
		4W	1690	26	0	0	1
		5QM	1759	27	1	0	0
		5R	1771	27	1	0	1
		5W	1726	27	1	0	0
		TC	1726	27	1	0	0
48	85W	FR	2476	29	0	0	0
		2	2389	28	1	0	1
		3	2343	28	0	0	1
		4	2304	27	0	0	1
		4W	2254	27	0	0	1
		5QM	2346	28	1	0	0
		5R	2362	28	1	0	1
		5W	2301	27	2	0	1
		TC	2408	28	0	0	0
60	105W	FR	3095	29	1	0	0
		2	2986	28	1	0	1
		3	2927	27	1	0	2
		4	2880	27	0	0	1
		4W	2817	26	0	0	1
		5QM	2933	27	1	0	0
		5R	2953	28	2	0	2
		5W	2879	27	2	0	1
		TC	3011	28	0	0	1

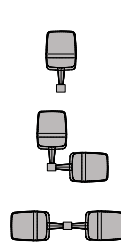
# LED'S	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
			LUMENS	LPW <sup>1</sup>	B	U	G
24	45W	FR-BC	1064	24	0	0	0
		2-BC	880	20	0	0	0
		3-BC	802	18	0	0	0
		4-BC	887	20	0	0	0
		4W-BC	2014	45	0	0	1
		TC-BC	930	21	0	0	0
		5R	2362	28	1	0	1
36	65W	FR-BC	1596	25	0	0	0
		2-BC	1320	20	0	0	0
		3-BC	1202	18	0	0	0
		4-BC	1330	20	0	0	0
48	85W	4W-BC	2014	31	0	0	1
		TC-BC	1396	21	0	0	0
		FR-BC	2128	25	0	0	0
		2-BC	1761	21	0	0	0
		3-BC	1603	19	0	0	1
		4-BC	1774	21	0	0	1
		4W-BC	1450	17	0	0	0
60	105W	TC-BC	1861	22	0	0	0
		FR-BC	2661	25	0	0	0
		2-BC	2201	21	0	0	0
		3-BC	2004	19	0	0	1
		4-BC	2217	21	0	0	1
		4W-BC	1813	17	0	0	1
		TC-BC	2326	22	0	0	0
		5R	2953	28	2	0	2
		5W	2879	27	2	0	1



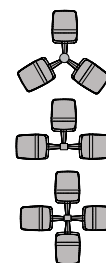
## DRILL PATTERN



## EPA



Config.	EPA
1	.67
2 @ 90°	1.06
2 @ 180°	1.34



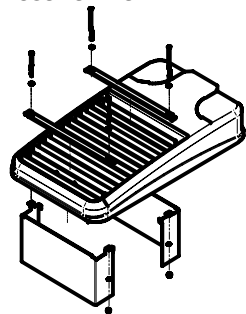
Config.	EPA
3 @ 120°	1.68
3 @ 90°	1.73
4 @ 90°	2.12

## TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

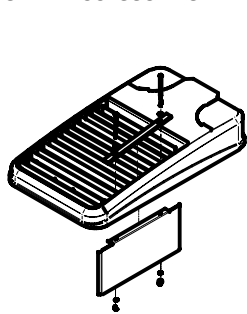
(2 3/8" OD tenon)

Catalog Number	Description
SETAVP-XX	Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
RETAVP-XX	Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
TETAVP-XX	Hexagonal tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
SETA2XX	Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
RETA2XX	Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only
TETA2XX	Hexagonal tenon adapter (3 at 120°) for AD - Universal Arm mounting option only

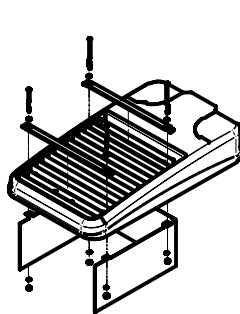
## HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



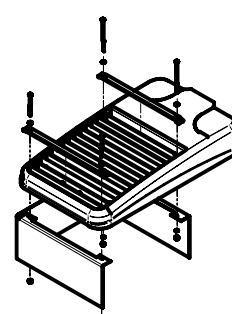
**HSS/VP-S/90-FB/XXX**  
90° shield front or back  
(2 shields shown)



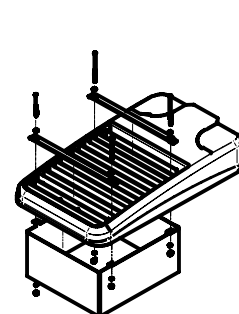
**HSS/VP-S/90-LR/XXX**  
90° shield left or right  
(1 shield shown in left orientation)



**HSS/VP-S/270-FB/XXX**  
270° shield front or back  
(1 shield shown in back orientation)

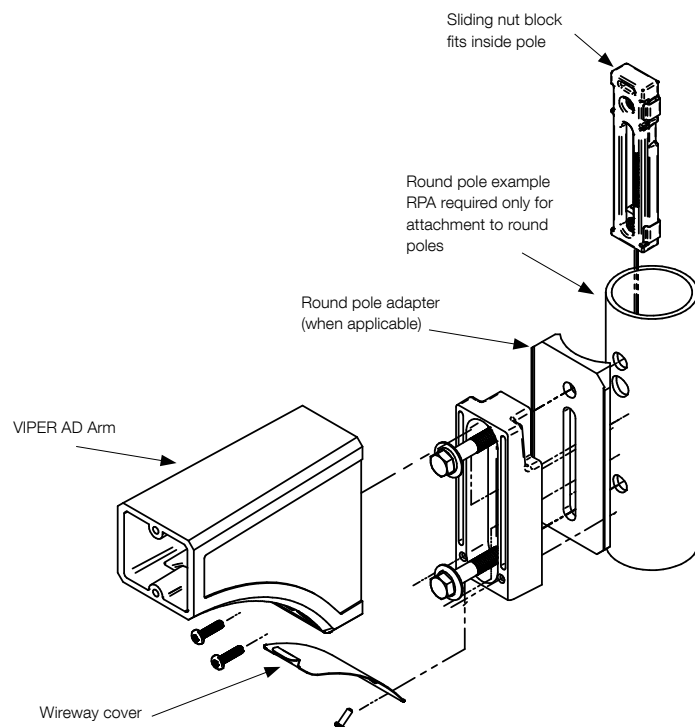


**HSS/VP-S/270-LR/XXX**  
270° shield left or right  
(1 shield shown in right orientation)



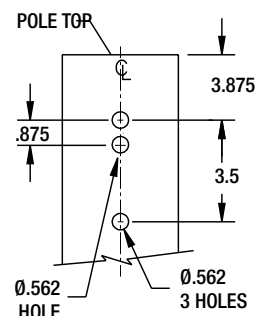
**HSS/VP-S/360/XXX**  
Full shield (1 shield shown)

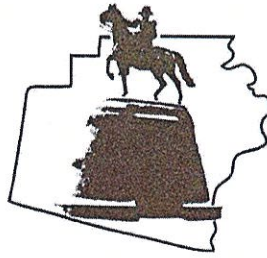
## AD ARM MOUNTING INSTRUCTIONS



## DECORATIVE ARM (AD)

Compatible with pole drill pattern S2





## Brooklyn Land Use Department

69 South Main Street  
Brooklyn CT 06234  
(860) 779-3411 x 31

Inland Wetlands ☒ Zoning Enforcement \_\_\_\_\_ Blight Enforcement \_\_\_\_\_

SITE INSPECTION NUMBER

1 2 3 4 5

Grant Hill Rd Map 4/Lot 4

6-2-2020

Address

Date

I met Don Dubois. We reviewed the NRCS -  
approved silvicultural plan. The goal is  
salvage and regeneration following gypsy moth kill-off.  
The job has not gone out to bid yet.

The landing will be hardened with riprap.

There will be a big <sup>patch</sup> ~~clearcut~~ close to  
Route 6. The Sokolowski frontage  
on Route 6 is extremely steep.  
That's why the only landing is on  
Grant Hill Rd.

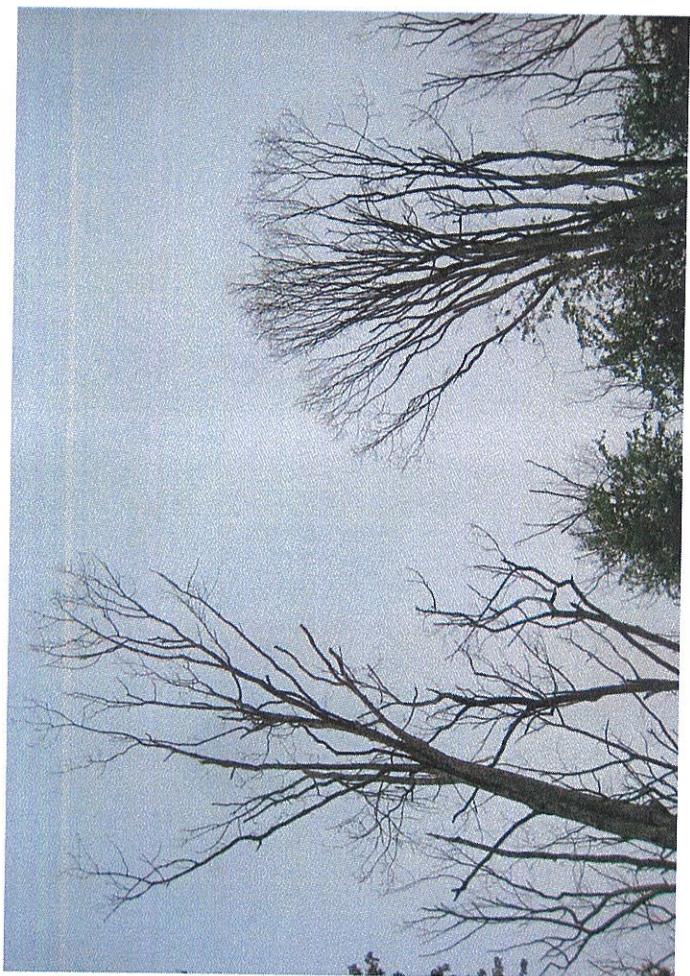
Commission Representative

M Washburn

Owner or Authorized Signature

DA Orr











## **Inland Wetlands Agent's Report**

**June 4, 2020**

### **Continued Public Hearing:**

**021120B Vachon Brooklyn LLC, 512 Providence Road, Map 41, Lots 13A and 14, PC Zone – Construction of two 16-foot wide access driveways to access proposed new vehicle storage lots.**

**Date of receipt: 2/11/2020.**

**Date public hearing opened: 3/10/2020.**

Site Plan dated 3/10/2020:

It is proposed to fill 3,110 square feet of wetlands, and to create 3,986 square feet of wetlands as mitigation. The mitigation consists of building wet basins and seeding the basin bottoms with New England Wet Mix seeds.

I inspected and took photos on 2/25.

There are no pipes visible at what Norm Thibault refers to as the “historic agricultural crossing”.

Sediment controls shown at the “historic agricultural crossing” consist of staked hay bales and silt fence where wetland filling is proposed.

At the southwestern wetland disturbance area, where 1,250 sf of alterations are proposed, erosion/sediment controls are shown as “super silt fence, silt fence backed with staked hay bales, or silt fence backed with wood chip berm”. I was not able to find a detail for super silt fence in the plans.

There is a development schedule/sequence of operations on the detail sheet.

Japanese knotweed is present on the site; it thrives on disturbance. It may be difficult to prevent it from growing in the basins, and extremely difficult to control if this happens. The IWWC may wish to require a plan **now** for controlling the Japanese knotweed if and when it becomes established in the detention basins. This issue was raised at the first public hearing. No documentation regarding proposed controls have been submitted.

Proposed special conditions (in addition to standard conditions):

- “The detention basins shall be constructed, stabilized and seeded before the parking lots are constructed.”
- “Install the sediment/erosion controls as shown on the approved plans and call the Wetlands Enforcement Officer at (860) 779-3411, extension 31, for an inspection prior to starting any earth disturbance activities. Written approval of the sediment/erosion controls must be given by the Wetlands Enforcement Officer prior to starting any earth disturbance activities.”
- At the first public hearing, Mr. Sorrentino recommended conditioning to have only new vehicles stored at “the lot” and Norm Thibault agreed. I defer to the Commission for the wording of any special condition regarding only new vehicles to be stored.
- I defer to the Commission for the wording of any special condition regarding control of invasive species.

**Old Business:**

**021120B Vachon Brooklyn LLC, 512 Providence Road, Map 41, Lots 13A and 14, PC Zone – Construction of two 16-foot wide access driveways to access proposed new vehicle storage lots.**

**121019A – Hearing for violation at 260 Woodward Road, Owner Richard and Sandra Duval.** Richard Oliverson and I inspected and took photos on 4/23. The inspection form and photographs are attached to the agenda.

**031020A Darko Krsulic/Owner, Evan Sigfridson/Applicant 293 Hartford Rd, Map 16, Lot 39, RA Zone; Demolish remainder of collapsed coop, dig and pour frost walls for proposed 24 x 32 ft accessory building.**

**Date of receipt: 3/10/2020.**

I called the applicant. His wife asked that this project be continued indefinitely, or as long as possible, due to COVID-19 concerns. No delineation has been performed or site plan prepared to date.



**031020B Jeffrey Weaver, Day Street, Map 43, Lot 6, RA/R30 Zone; 6 lot subdivision, work in upland review area, septic system, driveway, residential house, well, minor grading.**

**Date of receipt: 3/10/2020.**

**New Business:**

**Ernest Robillard, 509 Hartford Road. Agricultural exemption for two new barns near a pond.**

Mr. Robillard has requested to speak with the Commission about these exemptions after virtual meetings have ended.

**051220A Patrick Riley, 211 Windham Road, Map 8, Lot 6-3, RA Zone; Construction of single-family dwelling, driveway, well, septic system, grading, tree clearing within 85 feet of a wetland.**

A duly authorized agent approval was issued. Mr. Riley published the legal notice In the Turnpike Buyer.

**DR20-002 Grant Hill Road, Map 4, Lot 4 Timber Harvest, Michael Sokolowsky/Owner, Donald Dubois/Forester.**

I met Mr. Dubois, inspected and took photos on 6/2. The inspection form and photographs are attached to the agenda. There are no IWWC issues.

**Map 18/Lot 28 Woodward Road – William and Kathie Perron.** I received a complaint about excavating earth products and cutting trees near Blackwell's Brook. On 5/14, I viewed the subject property from 41 Woodward Road. A small area (approximately 25 feet wide on 5/14) where gravel was being mined and recently cut hardwoods close to the bank were visible. The inspection report and photographs are attached to the agenda. A Notice of Violation will be mailed ten days prior to the July 14 meeting to require the owners to attend a hearing. There will be a concurrent Zoning enforcement action due to the number of unregistered vehicles and/or other Zoning violations.